

DATE ISSUED: May 2, 2008 **REPORT NO. PC-08-047**

ATTENTION: **Planning Commission, Agenda of May 8, 2008**

SUBJECT: LINDA VISTA ROAD CENTER - PROJECT NO. 108435. PROCESS FIVE

**OWNER/
APPLICANT:** GTF Properties (Attachment 12)

SUMMARY

Issue(s): Should the Planning Commission recommend approval to the City Council for a Rezone from CN-1-2 to CC-1-1, an Easement Vacation and a Planned Development Permit to develop an 8,046 square foot retail center on a 60,134 square foot site in the Linda Vista Community Plan area?

Staff Recommendation:

1. Recommend that the City Council **Certify** Mitigated Negative Declaration No. 108435 and **Adopt** the Mitigation, Monitoring and Reporting Program (MMRP);
2. Recommend that the City Council **Adopt** Rezone No. 361571; and
3. Recommend that the City Council **Approve** Easement Vacation No. 532246 and Planned Development Permit No. 532247.

Community Planning Group Recommendation: On February 26, 2007, the Linda Vista Planning Committee voted 12-1-0 to recommend approval of the project with no conditions (Attachment 11).

Environmental Review: Mitigated Negative Declaration No. 108435 has been prepared for this project in accordance with the California Environmental Quality Act and a

Mitigation, Monitoring and Reporting Program would be implemented with this project to reduce potential impacts from Transportation to a level below significance

Fiscal Impact Statement: None with this action. The costs associated with the processing of this project are covered by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The proposed project to develop an 8,046 square foot retail development on a 60,134 square foot site is located on a site identified as Commercial in the Linda Vista Community Plan. In addition, the proposal includes a rezone from CN-1-2 to CC-1-1. Both the existing and proposed zones allow for development which may include a residential component. Although not a part of the proposed project, the proposed rezone would allow for Live/Work Quarters as a limited use, whereas, under the existing zone, Live/Work Quarters is not an allowed use. No residential units are proposed as part of this project.

BACKGROUND

The subject property is an approximately 1.38 acre site located at 7625-7631 Linda Vista Road in the Linda Vista Community Plan area (Attachment 1). The Linda Vista community is located in the central portion of the City of San Diego north of Interstate 8 and west of Highway 163 (Attachment 2). This site is located near the eastern and southern border of the Clairemont Community Plan area and west of the Kearny Mesa Community Plan area. The site is currently developed with a 2,272 square foot convenience store, built in 1972. The subject property is surrounded by a shopping center and single family homes to the west, multi-family development to the north, Highway 163 to the east and a vehicle service station to the south. Access to the subject property is limited to Linda Vista Road although there is frontage on Mesa College Drive (Attachment 3).

The applicant is requesting a rezone from CN-1-2 to CC-1-1 to allow the commercial use with a drive-through. The Linda Vista Community Plan and a Progress Guide and General Plan do not need to be amended as the proposed zoning is consistent with the neighborhood commercial designation.

DISCUSSION

Project Description:

The proposed Linda Vista Road Center project would include the development of an 8,046 square foot retail center on an infill site comprised of three lots. The project would also include 45 off-street automobile parking spaces including 2 accessible spaces, and 2 motorcycle spaces.

The project proposes the construction of two new buildings totaling 5,774 square feet for neighborhood commercial uses and a 2,272 square foot retail use structure to remain. The project would consist of one-story development approximately 30'-0" in height with architectural details and projections, and front on Linda Vista Road. The height and bulk is comparable to structures to the west and south and is less than the residential development to the north (Attachment 5).

The applicant is proposing two new structures to contain food services including one drive-through (Attachment 5). It is a condition of the draft permit that the hours of operation be limited from 6am to 12 midnight.

Approval Descriptions:

The project as proposed requires a Rezone (Process Five) to rezone the property from the existing CN-1-2 zone to the proposed CC-1-1 zone; an Easement Vacation (Process Five) to vacate a slope easement adjacent to Highway 163 and Mesa College Drive; and a Planned Development Permit (Process Four) for development which proposes to deviate from the regulations of the underlying zone.

The request for the Rezone and Easement Vacation requires the Planned Development Permit to be decided in accordance with Process 5 (City Council as the Decision Maker). Since the Municipal Code requires that approvals be consolidated, the proposed project must be considered by the Planning Commission prior to a final decision by the City Council (Attachment Nos. 6-10).

Community Plan Analysis:

Community Plan Consistency

The proposed project is located on a site designated as Neighborhood Commercial in the Linda Vista Community Planning area. The proposed project to develop an 8,046 square foot retail development on a 60,134 square foot site is consistent with the Neighborhood Commercial land use designation and is compatible with the surrounding land use pattern. Design concepts relating to significant landscaping, outdoor seating, enhanced pavement materials and minimizing curb cuts were incorporated into the project design to implement the community plan goals and policies. The proposed project characteristics are consistent with its surroundings and in conformance with the Community Plan's intent to provide for neighborhood-serving retail and commercial services. Therefore, as proposed, the project would not adversely impact the goals and recommendations of the Linda Vista Community Plan.

Environmental Analysis:

Mitigated Negative Declaration No. 108435 has been prepared and finalized for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. During the environmental review of the project, the City of San Diego conducted an Initial Study, which

determined that there was a potential for significant adverse impacts from Transportation. A Mitigation Monitoring and Reporting Program would be implemented with this project to reduce potential impacts to a level below significance

Using the City's cumulative trip generation rates (which account for pass-by and diverted trips), the proposed project would add 759 new daily trips, 67 new AM peak hour trips, and 55 new PM peak hour trips after taking credit for the trips generated by the existing restaurant (which was demolished). Therefore, the applicant would be required to provide a 15.8 percent fair share contribution to the construction of a raised median on Linda Vista Road from Markham Drive to Baltic Street. The implementation of the proposed mitigation would reduce impacts from the proposed project to below a level of significance.

Project-Related Issues:

Deviations

The Municipal Code allows flexibility in the application of development regulations (deviations) for projects where strict application of the base zone development regulations would restrict design options and result in a less desirable project, through the processing of a Planned Development Permit. Staff believes that the Decision Maker can make the appropriate Planned Development Permit findings based on the following information.

The project exceeds the maximum front setback along Mesa College Drive (Table 131-05E)

The site has two street frontages: Linda Vista Road and Mesa College Drive. A portion of one of the two proposed buildings lies approximately 120 feet beyond the property line at Mesa College Drive (where 100 feet maximum is required). While Mesa College Drive is considered to be one of the two "frontage" exposures to the site, Mesa College Drive is approximately 10 to 15 feet above the grade on site. Mesa College Drive at that location is a major connector street over State Highway 163 and is not conducive to automobile or pedestrian access to the site. The proposed buildings are within the 100 foot maximum front yard setback along Linda Vista Road. There is no minimum front yard setback.

The project exceeds the maximum lot depth of 150 feet (Table 131-05E).

The lot's irregular shape results in a lot depth of approximately 260 feet at the greatest distance. The 'side yard' dimensions are approximately 168 and 159 feet, respectively, where a maximum of 150 feet is required. A depth limited to 150 feet would greatly curtail the development quality of the site, to the extent that a project of the nature and character of that proposed would be infeasible.

The project deviates from the building articulation requirement for the frontage facing Mesa College Drive (Section 131.0554)

Each of the two proposed building façades facing Mesa College Drive have a length of 60 linear feet. Articulation will be provided on each building frontage facing Mesa College

Drive as follows: four planes consisting of two with a separation of three inches, and two with a separation of 8 inches. Under 131.0554 for a building façade more than 50 feet but less than 100 feet, six planes are required, consisting of two with a minimum separation of three inches, two with a minimum separation of eight inches and two with a minimum separation of three feet. The Building frontages facing Mesa College Drive do not contain storefronts, and openings are limited to doors for service access. Mesa College Drive is a major connector street which is elevated 10 to 15 feet above the grade at the site and is not conducive to automobile or pedestrian access or exposure. The Linda Vista Road frontages of the proposed project comply with the building articulation requirement.

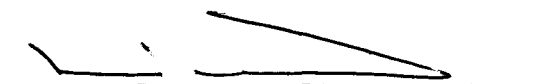
Conclusion

Other than the requested deviations, for which staff believes that findings can be made, staff finds the proposed project would be consistent with the recommended land use, design guidelines, and development standards in effect for this site per the San Diego Municipal Code, and would not have an adverse effect on the adopted Linda Vista Community Plan, and City of San Diego Progress Guide and General Plan.

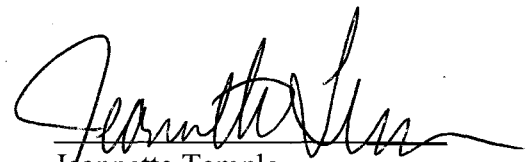
ALTERNATIVES

1. Recommend that the City Council **Certify** Mitigated Negative Declaration 108435; **Adopt** Rezone No. 147058; and **Approve** Easement Vacation No. 532246 and Site Development Permit No. 532247 with modifications.
2. Recommend that the City Council **Not Certify** Mitigated Negative Declaration 108435; **Adopt** Rezone No. 147058; and **Approve** Easement Vacation No. 532246 and Site Development Permit No. 532247, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



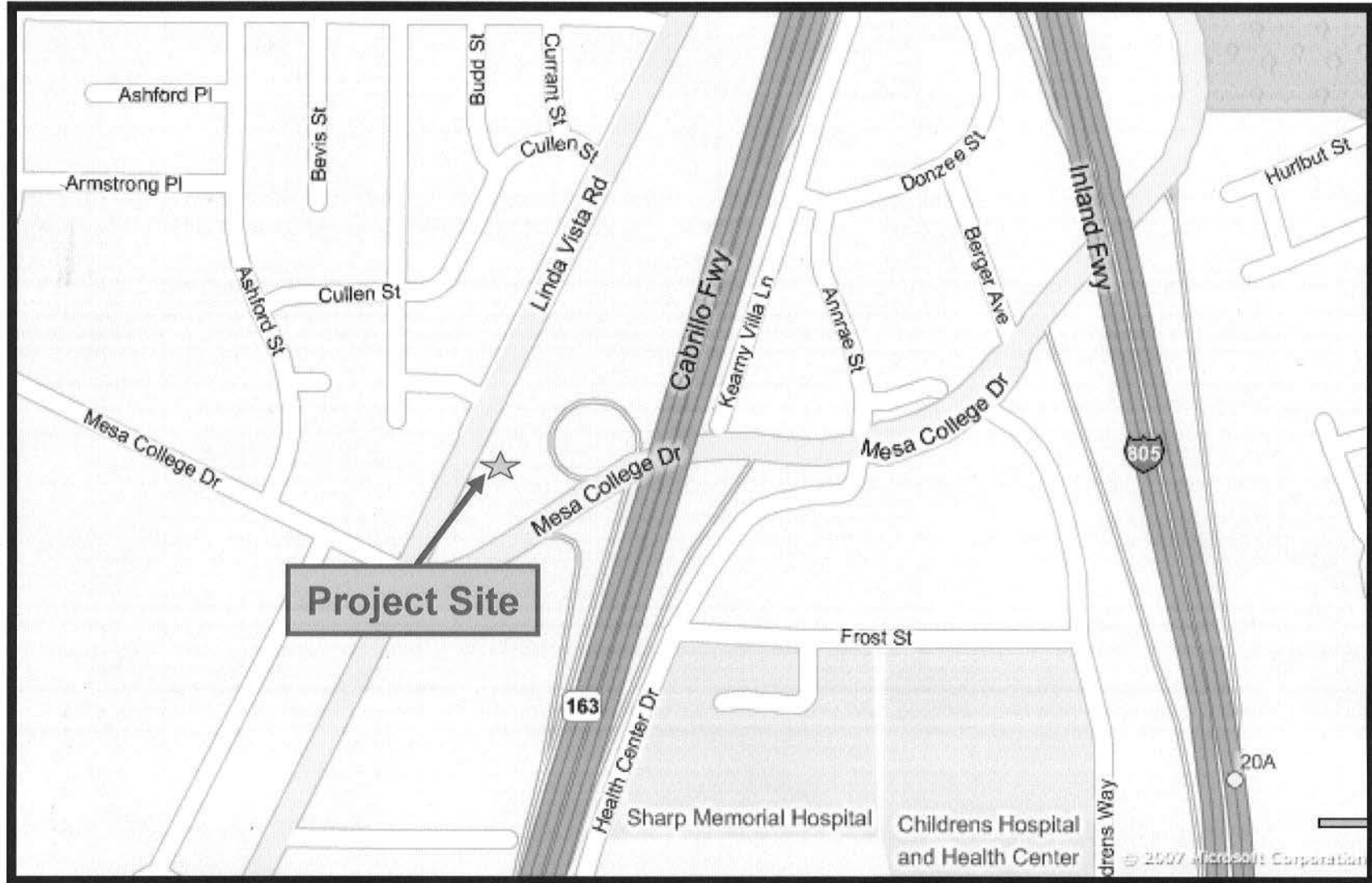
Jeannette Temple
Development Project Manager
Development Services Department

WESTLAKE/JCT

Attachments:

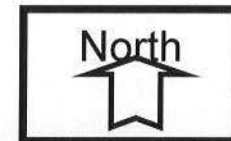
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet

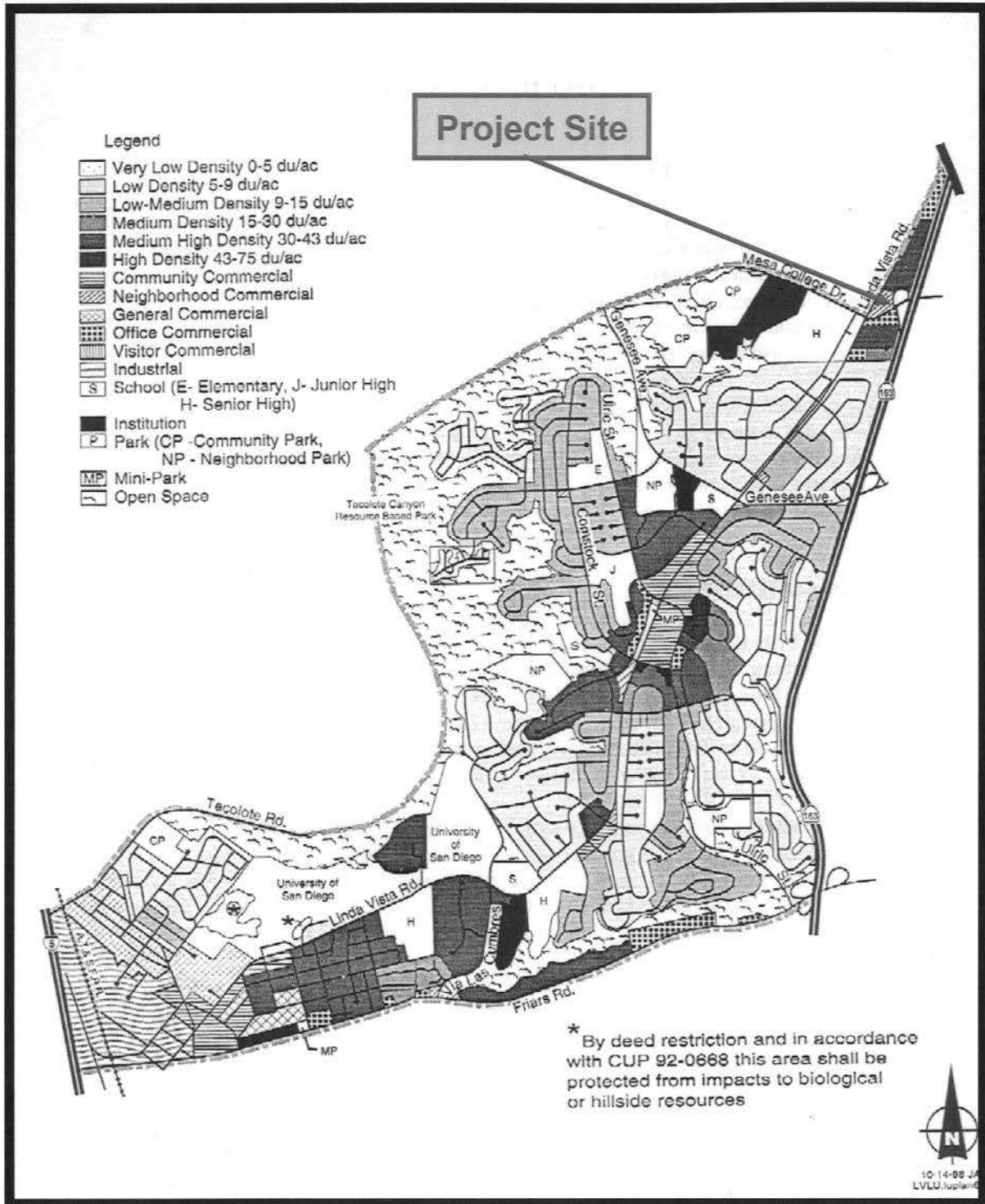
5. Project Plans including Easement Vacation
6. Draft Permit with Conditions
7. Draft Resolution with Findings
8. Draft Rezone Ordinance
9. Rezone Exhibit
10. Draft Easement Vacation Resolution
11. Community Planning Group Recommendations
12. Ownership Disclosure Statement
13. Project Chronology
14. Draft Planning Commission Resolution



Project Location Map

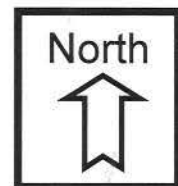
Linda Vista Road Center – PROJECT NUMBER 108435
7625-7631 Linda Vista Road





Community Plan Land Use Map

Linda Vista Road Center – PROJECT NUMBER 108435
7625-7631 Linda Vista Road





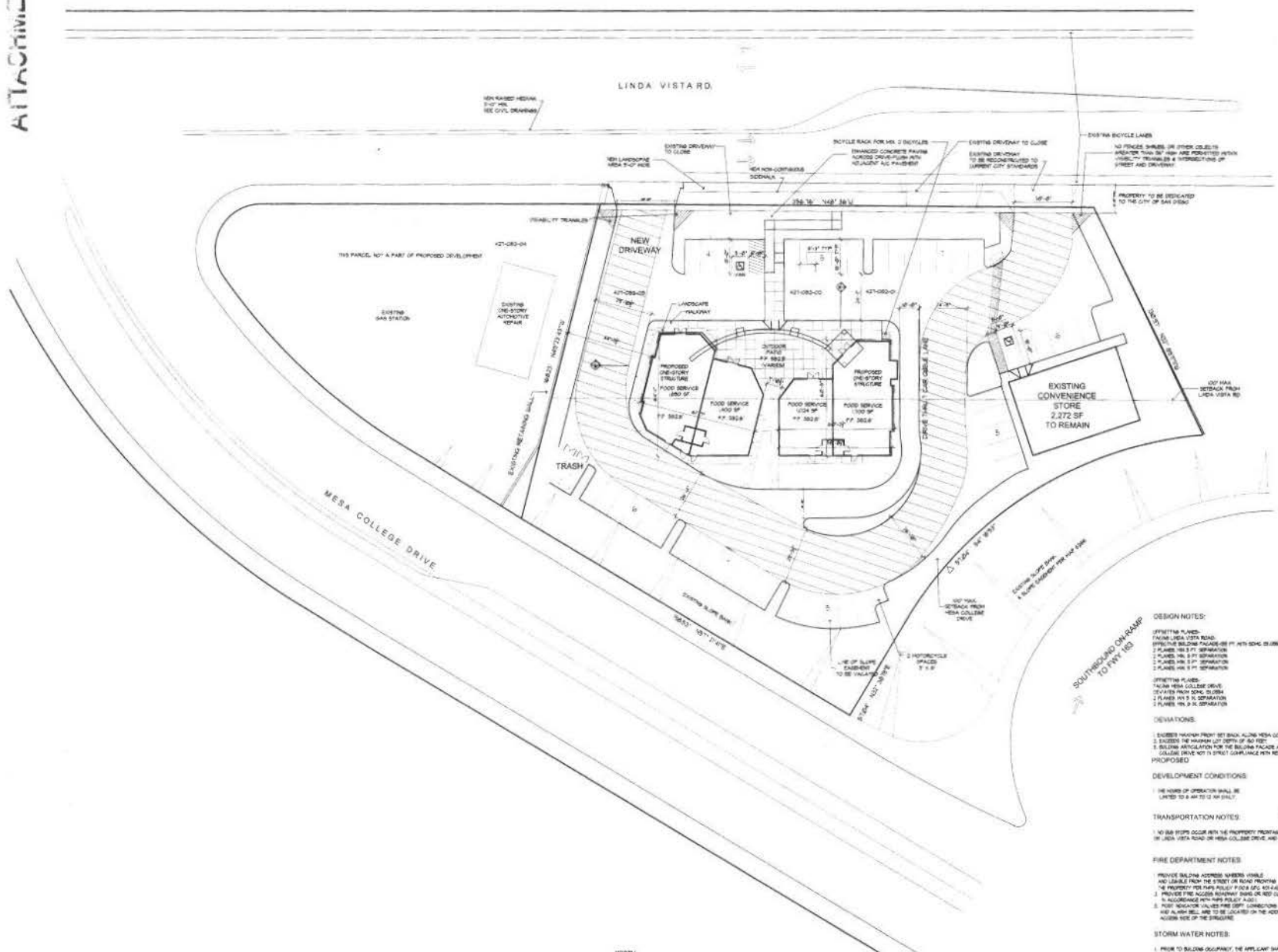
Aerial Photo

Linda Vista Road Center – PROJECT NUMBER 108435
7625-7631 Linda Vista Road



PROJECT DATA SHEET

PROJECT NAME:	Linda Vista Road Center	
PROJECT DESCRIPTION:	A Rezone from CN-1-2 to CC-1-1, Easement Vacation and Planned Development Permit to develop an 8,046 square foot retail development on a 60,134 square foot site	
COMMUNITY PLAN AREA:	Linda Vista	
DISCRETIONARY ACTIONS:	Rezone, Easement Vacation and Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Neighborhood Commercial	
<u>ZONING INFORMATION:</u>		
ZONE: Proposed CC-1-1 HEIGHT LIMIT: 30-Foot maximum height limit. LOT SIZE: 5,000 square-foot minimum lot size. FLOOR AREA RATIO: 0.75 maximum. FRONT SETBACK: no minimum, 100'-0" maximum SIDE SETBACK: 10 feet with 0'-0" option PARKING: 45 parking spaces required.		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential-Medium-High / RM-3-7	Multi-Family Residential
SOUTH:	Neighborhood Commercial / CN-1-2	Gas and Service Station
EAST:	Residential-Medium-High / RM-3-7	Multi-Family Residential
WEST:	Commercial / CN-1-2	Retail Commercial
DEVIATIONS OR VARIANCES REQUESTED:	<ol style="list-style-type: none"> 1. Setbacks 2. Lot Depth 3. Building Articulation 	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 26, 2007, the Linda Vista Planning Committee voted 12-1-0 to recommend approval of the project with no conditions.	



DEVELOPMENT SUMMARY

OWNER: GTF PROPERTIES
 2000 HUNTERS BLVD
 SAN DIEGO, CA 92108

2 1/2 ACRES: 162,100 SQ. FT.
 162,100 SQ. FT. (1.00 AC)

APN: 027-002-00-000

LEGAL DESCRIPTION: LOT 2 HUNTERS BLVD TRACT
 10.17 AC IN THE CITY OF SAN DIEGO COUNTY OF SAN
 DIEGO STATE OF CALIFORNIA ACCORDING TO THE
 PLANS HERETOFORE RECORDED IN THE OFFICE OF THE
 COUNTY RECORDER OF SAN DIEGO COUNTY ON JANUARY
 1, 1984

EXISTING ZONE: OX-2 OVERLAY RESIDENTIAL THREE PARKING
PROPOSED ZONE: CC-14
EXISTING USE: COMMERCIAL
PROPOSED USE: COMMERCIAL

GRAND TOTAL AREA: 50,000 SF (TOTAL OF PARCELS 0.02 AC)
SITE AREA AFTER DEDICATION: 30,000 SF
GROSS FLOOR AREA: 574 SF (NETS 522 SF EXISTING STORE TO REMAIN)
TOTAL BUILDING AREA: 504 SF
PARKING SPACES REQUIRED: 3 + 13 / 1,000 SF
PARKING SPACES PROVIDED: 48 + 14 / 1,000 SF
VEHICLE/STORAGE REQUIRED TO SF: PROVIDED: 270 SF
MAX. ALLOWABLE TOTAL AREA: 38
YEAR CONSTRUCTED: N/A
CONSTRUCTION TYPE: EXISTING AND PROPOSED TYPE I-4
OCCUPANCY: SA

SCOPE OF PLAN: DEDICATION OF A 2,272 SF RESTAURANT AND
 CONSTRUCTION OF 300
 ONE-STORY COMMERCIAL BUILDING OF 574 SF
 1. UNDER TAKE 48 PARKING SPACES AND ASSOCIATED STORMWATER
 IMPROVEMENTS. EXISTING COMMERCIAL STORE TO
 REMAIN. ZONE CHANGE FOR THESE PARCELS.

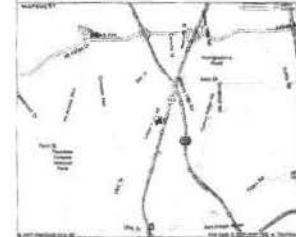
APPLICATION TYPE: SITE DEVELOPMENT PERMIT + RESOLVE FROM 04-2 TO CITY

PROJECT TEAM:
 ARCHITECT: LINDSAY ARCHITECTS
 CIVIL/MECHANICAL/ELECTRICAL ENGINEER: TOWERS PERINI GROUP
 SAN DIEGO, CA 92108
 SAN DIEGO, CA 92108
 SAN DIEGO, CA 92108

SHEET INDEX

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A-40 ELEVATION	20	
A-50 SECTION	20	
A-60 ROOF PLAN	20	

VICINITY MAP



DESIGN NOTES:

EXISTING PLANES:
 FROM LINDA VISTA ROAD
 1. PLANKS 18" X 2" SEPARATION
 2. PLANKS 18" X 2" SEPARATION
 3. PLANKS 18" X 2" SEPARATION
 4. PLANKS 18" X 2" SEPARATION

EXISTING PLANES:
 FROM MESA COLLEGE DRIVE
 1. PLANKS 18" X 2" SEPARATION
 2. PLANKS 18" X 2" SEPARATION

DEVIATIONS:

1. EXCESS HATCHING FROM RETENTION ALONG MESA COLLEGE DRIVE
 2. EXCESS HATCHING LOT DEPTH OF 80 FEET
 3. EXCESS APPLICATION FOR THE BUILDING ALONG MESA COLLEGE DRIVE NOT IN STRICT COMPLIANCE WITH REQUIREMENTS.
 PROPOSED

DEVELOPMENT CONDITIONS:

1. THE HOURS OF OPERATION SHALL BE LIMITED TO 6 AM TO 12 AM DAILY.

TRANSPORTATION NOTES:

1. NO 90 DEGREE CORNER WITH THE PROPERTY FRONTAGE ON LINDA VISTA ROAD OR MESA COLLEGE DRIVE AND NEW AND PROPOSED

FIRE DEPARTMENT NOTES:

1. PROVIDE BUILDING ADDRESS WHEREAS SHOWN AND LOCATE FROM THE STREET OR ROAD FRONTAGE THE PROPERTY PER FIRE DEPARTMENT RECORDS.
 2. PROVIDE THE ACCESS ROUTE FROM ROAD OR HIGHWAY.
 3. ACCORDANCE WITH FIRE DEPARTMENT RECORDS.
 4. FIRE DEPARTMENT OFFICER SHALL CONDUCT AND ALL WORK SHALL BE TO BE LOCATED ON THE ADDRESS ALONG SIDE OF THE DRIVEWAY.

STORM WATER NOTES:

1. PRIOR TO BEING OCCUPIED, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE DRAINAGE IMPROVEMENTS.
 2. PRIOR TO THE START OF ANY CONSTRUCTION, THE APPLICANT SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL.
 3. PRIOR TO THE START OF ANY CONSTRUCTION, THE APPLICANT SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL.
 4. ACCORDANCE WITH THE APPLICANT'S SITE MANAGEMENT PLAN.

LINDA VISTA RD. CENTER
GTF PROPERTIES

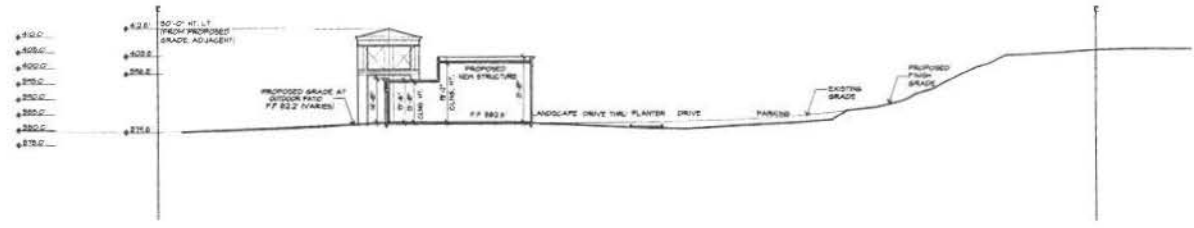


Project No. 04-104-00
 Date: 10 OCT 2007

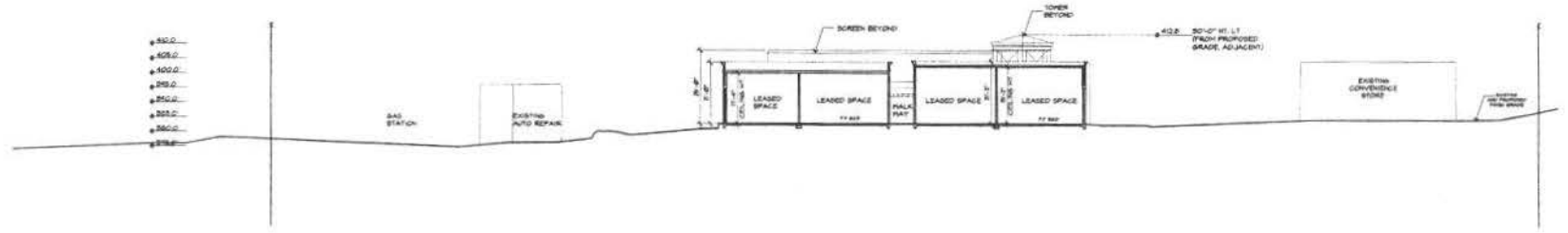
KMA
 ARCHITECTURE & ENGINEERING

1111 HUNTERS BLVD
 SAN DIEGO, CA 92108
 TEL: 619.279.7944
 FAX: 619.279.7178

DATE: 10/10/2007



1 NORTH SOUTH SECTION
Scale: 1/16" = 1'-0"



2 EAST WEST SECTION
Scale: 1/16" = 1'-0"

LINDA VISTA RD. CENTER
GTF PROPERTIES

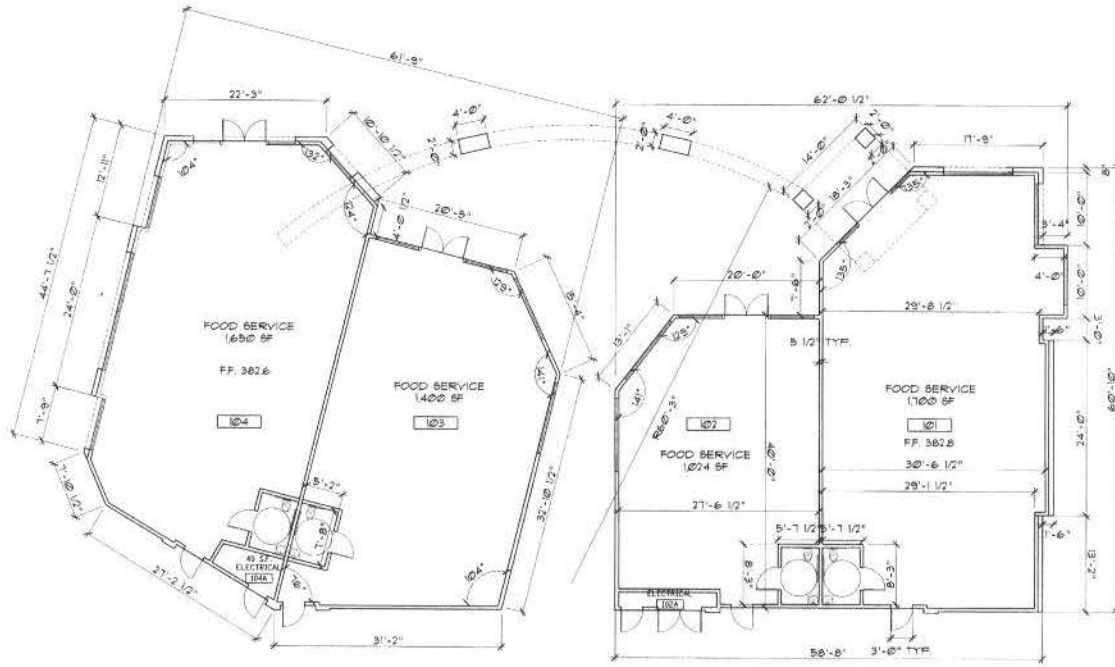
SITE SECTION



DATE: 05.104.00
DATE: 18 OCT 2007
A2.1
SITE SECTION
2 of 11 sheets

Revision	Date	Description

KMA
ARCHITECTURE & ENGINEERING
1918 ACAPULCO BLVD
SUITE 2000, LOS ANGELES, CA 90047
TEL: 310.776.1743 FAX: 310.776.1771



LINDA VISTA RD. CENTER
 GTF PROPERTIES

NORTH
 **FLOOR PLAN**

SCALE 1/8" = 1'-0"
 0 4 8 16

OFFSETTING PLANES:
 FACING LINDA VISTA ROAD
 EFFECTIVE BUILDING FACADE-85 FT. MIN. SPAC. 5'-0" OR 4"
 2 PLANES MIN 5 FT. SEPARATION
 2 PLANES MIN 5 FT. SEPARATION
 2 PLANES MIN 5 FT. SEPARATION
 2 PLANES MIN 5 FT. SEPARATION

OFFSETTING PLANES:
 FACING MEDIA COLLEGE DRIVE
 SEPARATES FROM BLDG. 5'-0" OR 4"
 2 PLANES MIN 5 FT. SEPARATION
 2 PLANES MIN 5 FT. SEPARATION

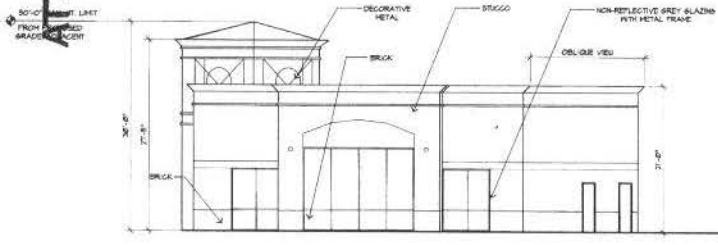
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Project: 05.104.00
 Date: 19 OCT. 07
 Sheet no: **A3.1**
 FLOOR PLAN
 3 of 4 sheets

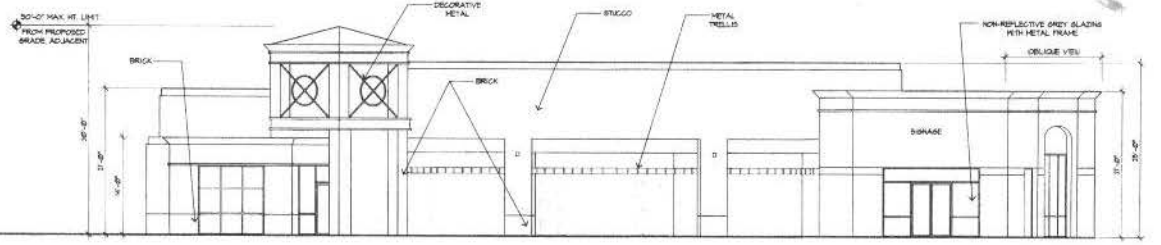
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KMA
 ARCHITECTURE & ENGINEERING

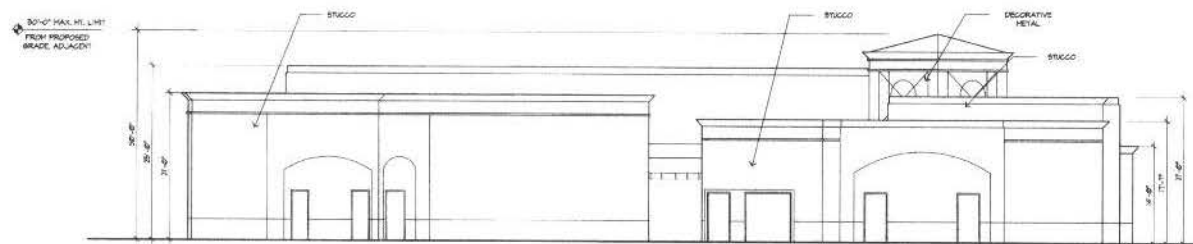
1315 MORENA BLVD
 SAN DIEGO, CA 92112
 TEL: 619.226.7701 FAX: (619) 276-7711



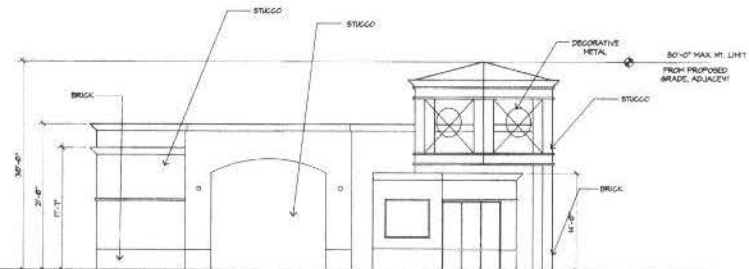
3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



1 WEST ELEVATION
Scale: 1/8" = 1'-0"



4 EAST ELEVATION
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"

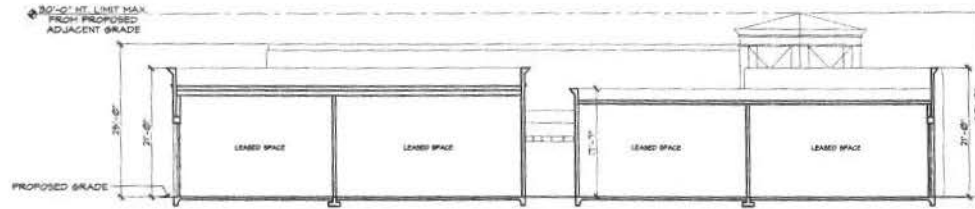
LINDA VISTA RD. CENTER
GTF PROPERTIES

Project: 00-104-00
Date: 19 OCT, 2007
Sheet: A4.1
ELEVATIONS
4 of 11 sheets
All work, design and preparation

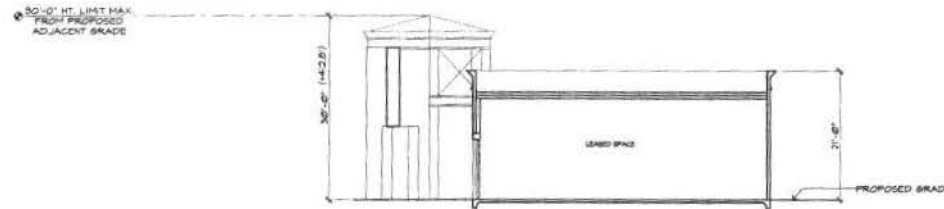
Revision	Date	Description

KMA
ARCHITECTURE & ENGINEERING
1010 MORNING BLDG

ALP 000110600



1 EAST WEST SECTION
Scale: 1/8" = 1'-0"



2 NORTH SOUTH SECTION
Scale: 1/8" = 1'-0"

LINDA VISTA RD. CENTER
GTF PROPERTIES

BUILDING SECTIONS

SCALE: 1/8" = 1'-0"

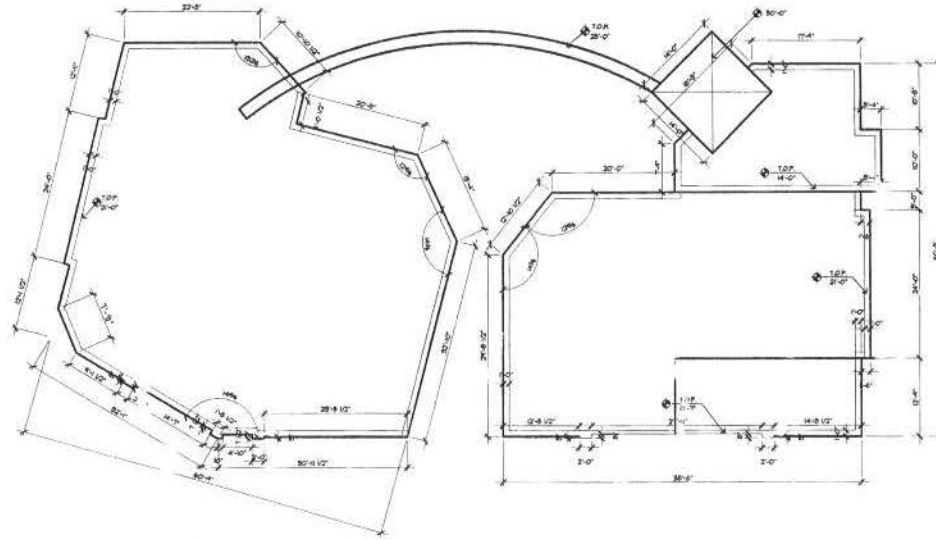
NO. 0442
14 OCT. 2007
A5.1
SECTIONS
2 OF 2 SHEETS

Number	Date	Describe

KMA
ARCHITECTURE
& ENGINEERING

3115 MIDWAY BLVD.
SAN DIEGO, CA 92108
TEL: 619.594.7700 FAX:
619.594.7711

ALPH 127501100200



LINDA VISTA RD. CENTER
GTF PROPERTIES



ROOF PLAN

SCALE: 1/4" = 1'-0"

PROJECT: 05-104-01
 DATE: 10 OCT 2007
A6.1
ROOF PLAN
 6 of 4 Sheets
 All sheet, design, and preparation
 drawings are the property of KMA
 ARCHITECTURE & ENGINEERING
 1515 MORRIS BLVD
 SAN DIEGO, CA 92110
 TEL: 619-291-7710 FAX:
 619-276-7710

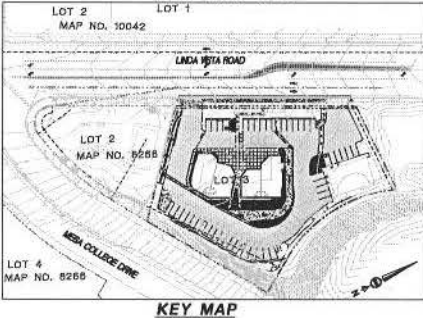
Number	Date	Description

KMA
 ARCHITECTURE
 & ENGINEERING

GENERAL NOTES

- 1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED... 2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBMITTER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS OR POLICES... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL MONUMENTS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION...

GRADING AND IMPROVEMENT PLANS FOR: STARBUCKS RETAIL CENTER (LINDA VISTA ROAD) LOT 3 MAP 6266



GROUND WATER DISCHARGE NOTES

- 1. ALL GROUND WATER EXTRACTED AND SURFACE WASTES DISCHARGED TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA... 2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL 'EMBODIMENT LETTER' FROM THE REGIONAL BOARD...

GRADING AND GEOTECHNICAL SPECIFICATIONS

- 1. ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST... 2. ALL FILL MATERIALS SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT EDITION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATE STANDARD...

GRADING NOTES

- 1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1 OF THE SAN DIEGO MUNICIPAL CODE, 2006 EDITION... 2. PLANT AND PRINATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 2, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE...

WATER NOTES

- 1. ALL PROPOSED PUBLIC WATER FACILITIES, INCLUDING SERVICES AND METERS, MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO... 2. PRIOR TO THE ASSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF NEW WATER SERVICES... OUTSIDE ANY OF ANY SERVICE, AND THE DISCONNECTION AT THE WATER MAIN OF ALL EXISTING UNUSED SERVICES ADJACENT TO THE SITE...

SEWER NOTES

- 1. ALL ON-SITE WASTEWATER SYSTEMS ARE PRIVATE... 2. ALL PROPOSED PRIVATE SEWER FACILITIES LOCATED WITHIN A SINGLE LOT ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK... 3. ALL PROPOSED PRIVATE SEWER FACILITIES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO SEWER DESIGN CODE...

NOTES

- 1. PRIOR TO BUILDING OCCUPANCY, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONSITE IMPROVEMENT BMP MAINTENANCE... 2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS... 3. PRIOR TO THE ASSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE FINAL CONSTRUCTION DRAWINGS...

REFERENCE DRAWINGS

FOR SEWER DWG. 11454-2-0 FOR WATER DWG. 11454-3-0

SITE ADDRESS

7631 LINDA VISTA RD SAN DIEGO, CA 92111

TOPOGRAPHY SOURCE

J&B ENGINEERS + SURVEYORS 15508 BERNHARDT CENTER DRIVE SAN DIEGO, CA 92127 SURVEY METHOD FIELD SURVEY DATE: JULY 2006

BENCHMARK

FOUND 7 1/2" BRASS PLUS SOUTHWEST CORNER OF LINDA VISTA DR. AND MESA COLLEGE DR. SAN DIEGO, CALIFORNIA ELEVATION = 372.135' MSL

GRADING QUANTITIES

GRADED AREA = 11 [ACRES] MAX. CUT (MPH) = 22.3 [FT] CUT QUANTITIES = 790 [CY] MAX. CUT SLOPE RATIO (2:1 MAX) = 4:1 FILL QUANTITIES = 700 [CY] MAX. FILL (MPH) = 22.3 [FT] EXPORT = 0 [CY] MAX. FILL SLOPE RATIO (2:1 MAX) = N/A

ASSESSORS PARCEL NUMBER

APN 427-082-02,03

LEGAL DESCRIPTION

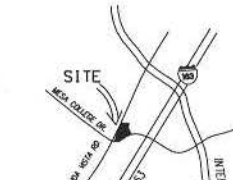
LOT 3 OF MAP NO. 6266 CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

OWNER/APPLICANT

J.P. PROPERTIES 8505 WINDWARD BLVD P.O. BOX 98068 SAN DIEGO, CA 92161-9806

SHEET INDEX

Table with 2 columns: Description and Sheet Number. Includes items like GRADING & IMPROVEMENT PLAN (SHEET 1), ROAD IMPROVEMENT PLAN (SHEET 2), TYPICAL SECTION (SHEET 5), etc.



WORK TO BE DONE

- THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE IN ACCORDANCE TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO STANDARD SPECIFICATIONS... 1. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2006 EDITION... 2. 1999 STANDARD SPECIFICATIONS FOR SIGNALS, LIGHTING AND ELECTRICAL SYSTEMS OF THE CITY OF SAN DIEGO, DOCUMENT NO. 765442, FILED OCTOBER 27, 1999... 3. CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2003 EDITION...

LEGEND

Legend table with columns: Description, Detail or STD. Dwg., and Symbol. Lists various construction elements like PROPERTY LINE, EXISTING CONTOUR, EXISTING SPOT ELEVATION, EXISTING TREES, EXISTING CONCRETE, etc.

CONSTRUCTION SITE PRIORITY... PRIVATE CONTRACT

GRADING & IMPROVEMENT PLAN FOR: STARBUCKS RETAIL CENTER (LINDA VISTA ROAD) LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 8 SHEETS

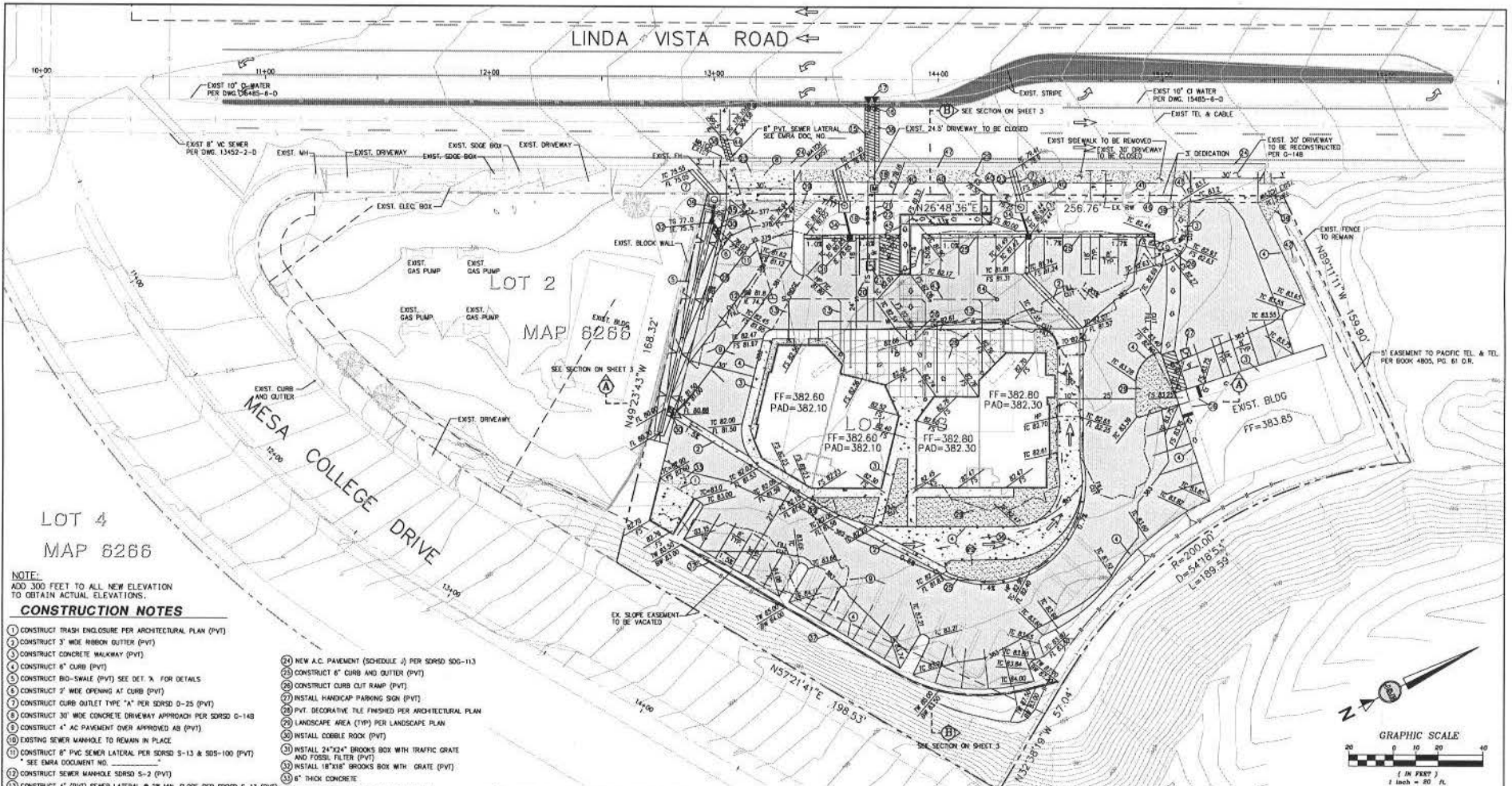
Table with columns: FOR CITY ENGINEER, DATE, DESCRIPTION, BY, APPROVED, DATE, FIELD. Includes fields for ORIGINAL, AS-BUILTS, CONTRACTOR, and INSPECTOR.

Logos for DIGIAlert (1-800-227-2695), J&B ENGINEERS + SURVEYORS, and PLANNING + ENGINEERING + SURVEYING.

CONSTRUCTION CHANGE TABLE with columns: CHANGE, DATE, EFFECTED OR ADDED SHEET NUMBERS.

WATER DISTRICT table with columns: NO, P.Z., REVIEWED, DATE.

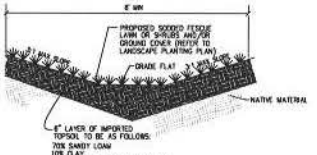
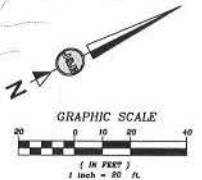
STREET DATA TABLE with columns: STREET NAME, CLASSIFICATION, ESTH PERCENTILE (MPH), ADT, VEHICLES, B/W.



NOTE:
ADD 300 FEET TO ALL NEW ELEVATION TO OBTAIN ACTUAL ELEVATIONS.

CONSTRUCTION NOTES

- 1) CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLAN (PVT)
- 2) CONSTRUCT 3" WIDE RUBBER GUTTER (PVT)
- 3) CONSTRUCT CONCRETE MAULKWAY (PVT)
- 4) CONSTRUCT 6" CURB (PVT)
- 5) CONSTRUCT BIO-SWALE (PVT) SEE DET. X FOR DETAILS
- 6) CONSTRUCT 2" WIDE OPENING AT CURB (PVT)
- 7) CONSTRUCT CURB OUTLET TYPE "A" PER SDMS 0-25 (PVT)
- 8) CONSTRUCT 30" WIDE CONCRETE DRIVEWAY APPROACH PER SDMS 0-148
- 9) CONSTRUCT 4" AC PAVEMENT OVER APPROVED AS (PVT)
- 10) EXISTING SEWER MANHOLE TO REMAIN IN PLACE
- 11) CONSTRUCT 8" PVC SEWER LATERAL PER SDMS 5-13 & 505-100 (PVT)
* SEE DATA DOCUMENT NO. _____
- 12) CONSTRUCT SEWER MANHOLE SDMS 5-2 (PVT)
- 13) CONSTRUCT 4" (PVT) SEWER LATERAL @ 2% MIN. SLOPE PER SDMS 5-13 (PVT)
- 14) CONSTRUCT 8" PVC SEWER MAIN CLEANOUT PER SDMS 5-3 (PVT)
- 15) CONSTRUCT 6" PVC FIRE WATER SDMS W-21 (PVT)
- 16) GATE VALVE
- 17) CONCRETE THRUST BLOCK PER SDMS W-17
- 18) INSTALL WATER METER PER W-2 & S0W-113
- 19) INSTALL BACKFLOW PREVENTER REDUCER PER SDMS W-26 (PVT)
- 20) CONSTRUCT 6" PVC WATER LATERAL FOR FIRE SERVICE
- 21) INSTALL 2" WATER SERVICE PER SDW-100, SDW-130, W-2, & W-25
- 22) INSTALL 2" RPT BACKFLOW
- 23) EXISTING WATER METER TO BE REMOVED (WATER SERVICE-10 TO BE KILLED)
- 24) NEW A.C. PAVEMENT (SCHEDULE J) PER SDMS SDG-113
- 25) CONSTRUCT 6" CURB AND GUTTER (PVT)
- 26) CONSTRUCT CURB CUT RAMP (PVT)
- 27) INSTALL HANDICAP PARKING SIGN (PVT)
- 28) PVT DECORATIVE TILE FINISHED PER ARCHITECTURAL PLAN
- 29) LANDSCAPE AREA (TYP) PER LANDSCAPE PLAN
- 30) INSTALL COBBLE ROCK (PVT)
- 31) INSTALL 24"x24" BROOKS BOX WITH TRAFFIC GRATE AND FOSSIL FILTER (PVT)
- 32) INSTALL 18"x18" BROOKS BOX WITH GRATE (PVT)
- 33) 6" THICK CONCRETE
- 34) INSTALL 6" PVC/SLOPE STORM DRAIN (PVT)
- 35) INSTALL 12" PVC/SLOPE STORM DRAIN (PVT)
- 36) NEW 8" P.C.C. PAVEMENT
- 37) CONSTRUCT RETAINING WALL PER C-4
- 38) CONSTRUCT TRENCH RESURFACING PER SDMS SDG-107
- 39) VISIBILITY AREA PER SDMC 113.0273 (c)
- 40) EX. LOW LIGHT POSTS TO BE REMOVED
- 41) EX. HIGH LIGHT POLES TO BE RELOCATED
- 42) EX. HIGH LIGHT POLES TO REMAIN
- 43) CONSTRUCT 8" PVC SEWER LINE PER SDMS 5-4 (PVT)
- 44) CONNECT 8" SEWER LATERAL (PVT) TO EXIST. 8" SEWER MAIN WITH WRE ("Y") TYPE CONNECTION
- 45) 0' VAN ACCESSIBLE PARKING
- 46) ELECTRICAL BOX TO BE RELOCATED
- 47) EX. 24x3 LF CURB & GUTTER TO BE REMOVED AND REPLACE BY 6" CURB & GUTTER PER C-2 TYPE C



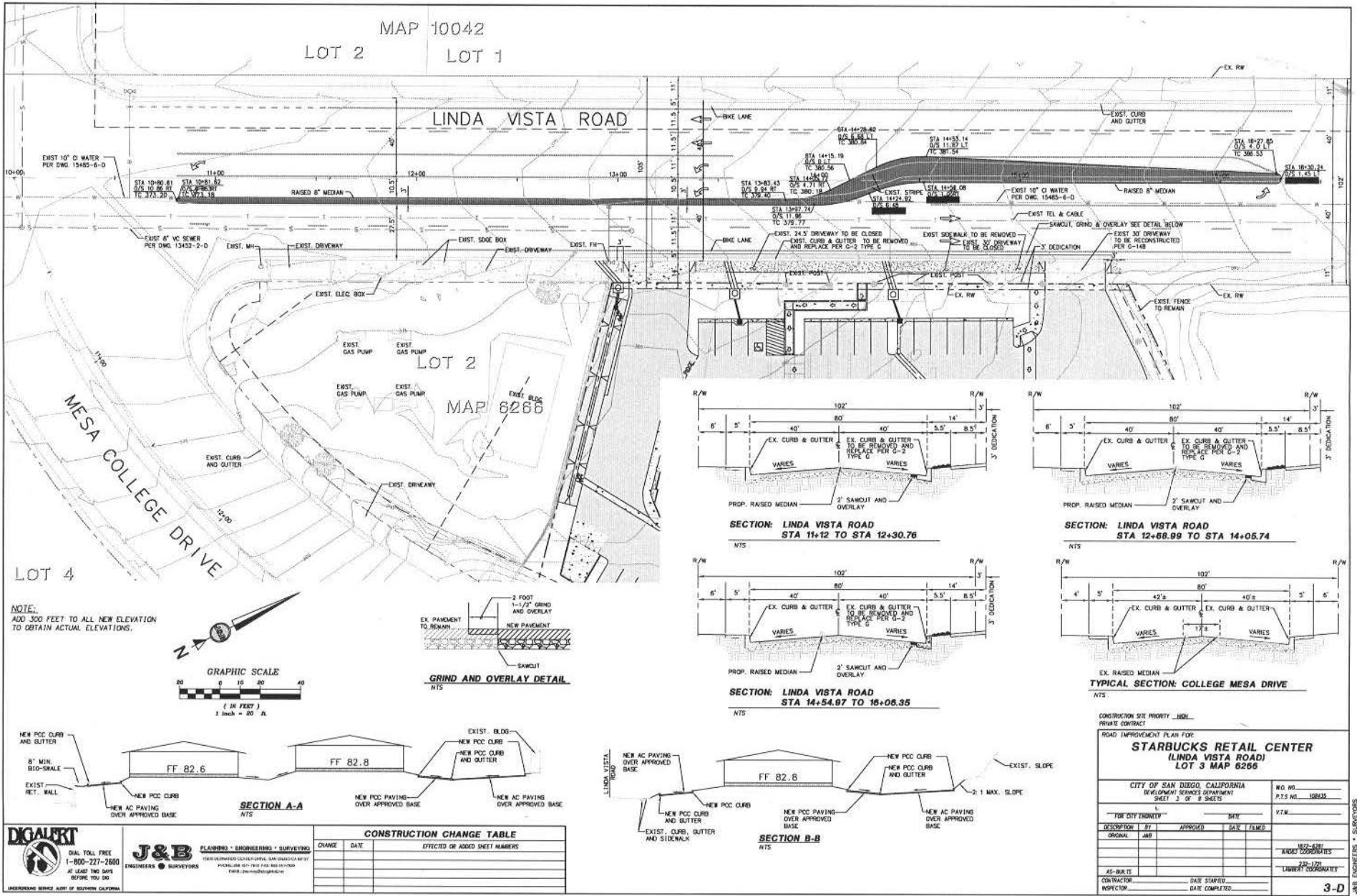
(A) BIO-SWALE DETAIL
NOT TO SCALE

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

DIGALERT
DIAL TOLL FREE
1-800-227-2800
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

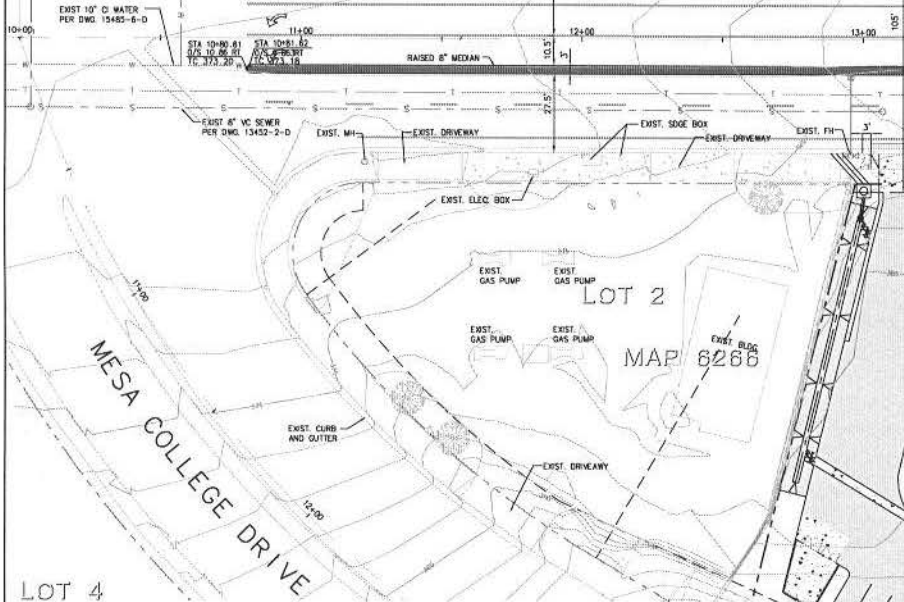
J&B ENGINEERS & SURVEYORS
PLANNING • ENGINEERING • SURVEYING
15990 DEERFIELD CENTER DRIVE, SAN LUIS OBISPO
PHONE: (805) 779-2222 FAX: (805) 779-2220
WWW.JANDBENGINEERS.COM

CONSTRUCTION SITE PRIORITY _____			NO. NO.
PRIVATE CONTRACT			P.L.S. NO. 108633
STARBUCKS RETAIL CENTER (LINDA VISTA ROAD) LOT 3 MAP 6266			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 8 SHEETS			1822-2207 PROJECT COORDINATOR
TITLE CITY ENGINEER	DATE	V.T.W.	
DESCRIPTION	BY	APPROVED	DATE FILED
ORIGINAL	JAB		
AS-BUILT			
CONTRACTOR	DATE STAMPED		
INSPECTOR	DATE COMPLETED		

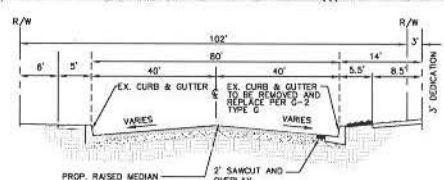
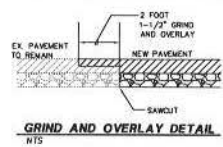
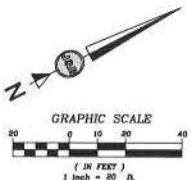


MAP 10042
LOT 2 LOT 1

LINDA VISTA ROAD

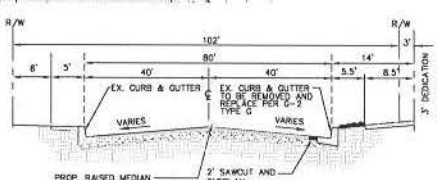


NOTE:
ADD 300 FEET TO ALL NEW ELEVATION
TO OBTAIN ACTUAL ELEVATIONS.



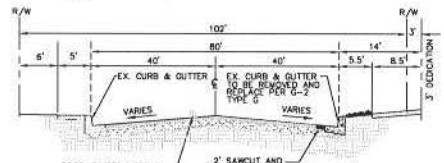
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STA 11+12 TO STA 12+30.76

NTS



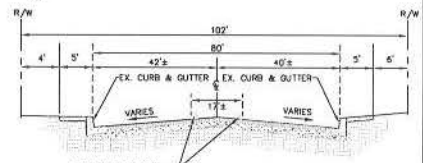
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STA 12+68.99 TO STA 14+05.74

NTS



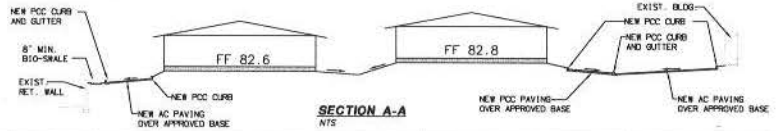
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STA 14+54.97 TO 16+08.35

NTS

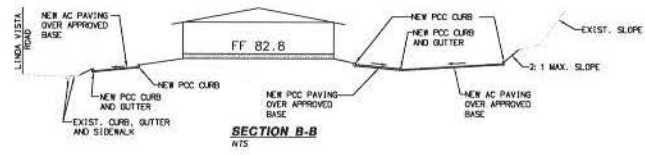


TYPICAL SECTION: COLLEGE MESA DRIVE

NTS



SECTION A-A
NTS



SECTION B-B
NTS

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

CONSTRUCTION SITE PRIORITY - HIGH
PRIVATE CONTRACT

ROAD IMPROVEMENT PLAN FOR
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 3 OF 8 SHEETS

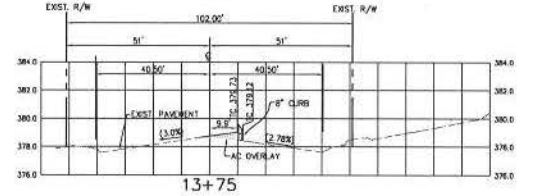
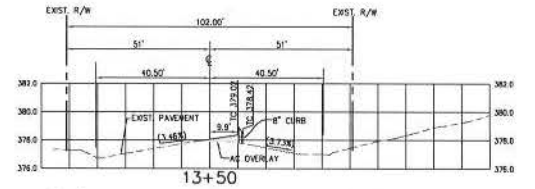
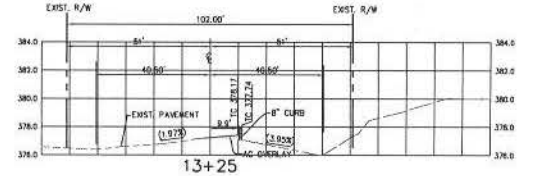
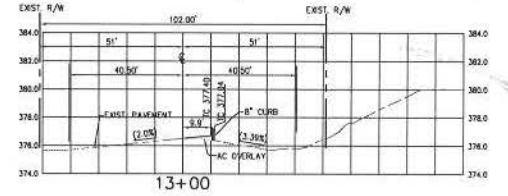
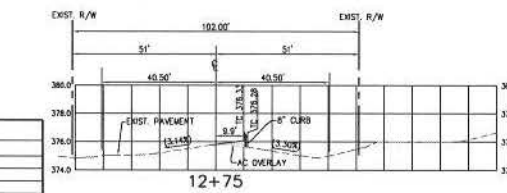
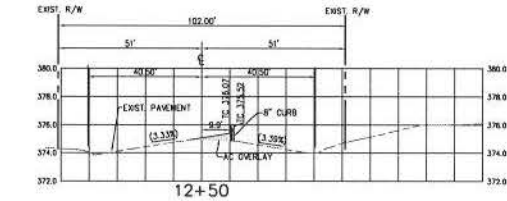
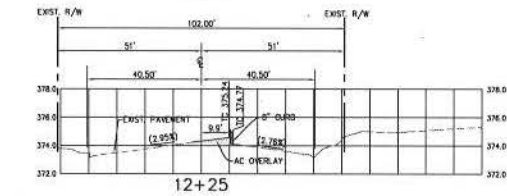
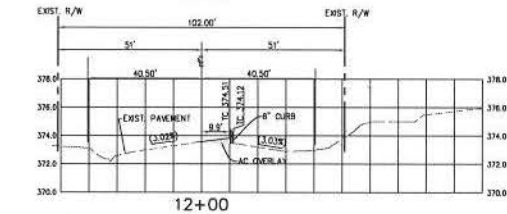
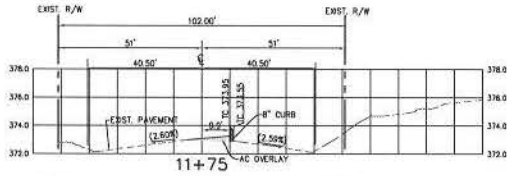
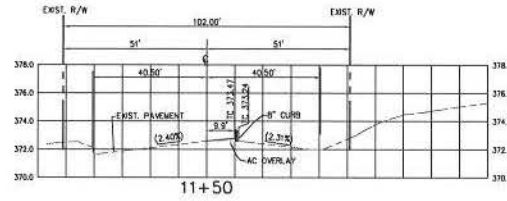
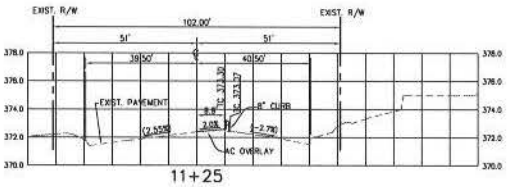
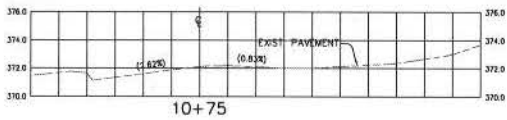
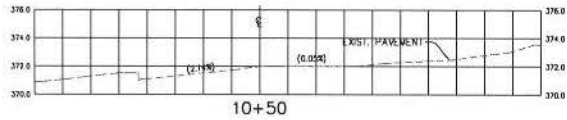
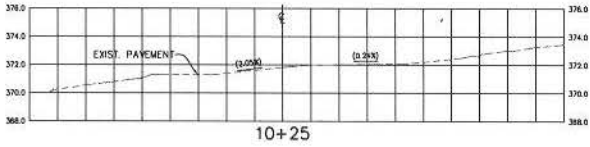
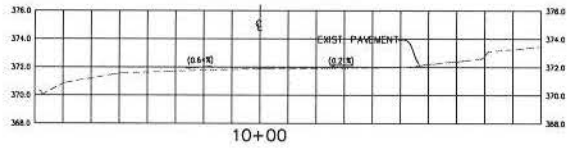
FOR CITY TOWNSHIP	DATE	V.T.W.
DESCRIPTION BY	APPROVED DATE	FILED
ORIGINAL	JAB	
AS-BUILT		
CONTRACTOR	DATE STARTED	
INSPECTOR	GATE COMPLETED	

NO. NO. 108435
P.T.S. NO. 108435
1872-5347
INDEX COORDINATES
233-1721
LIBERTY COORDINATES

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PHONE: (619) 719-7888 EXT. 200
FAX: (619) 719-7888



CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED BY / AFFECTED SHEET NUMBERS

CONSTRUCTION SITE PRIORITY - NOI
PRIVATE CONTRACT

TYPICAL SECTION FOR:
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

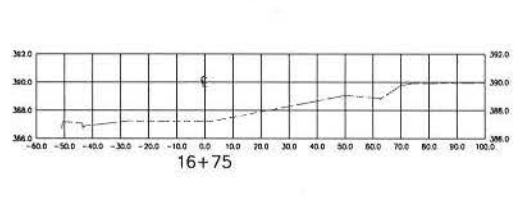
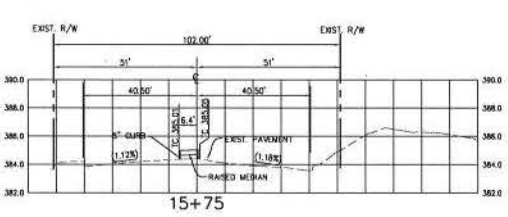
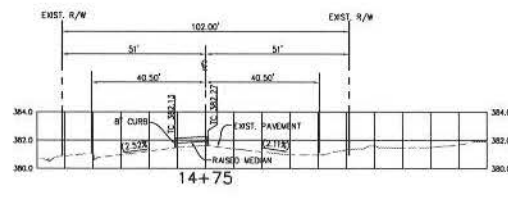
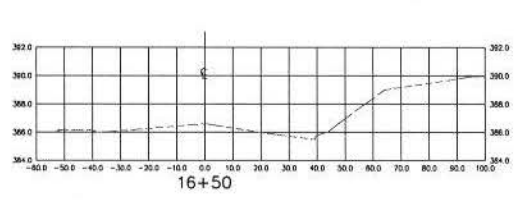
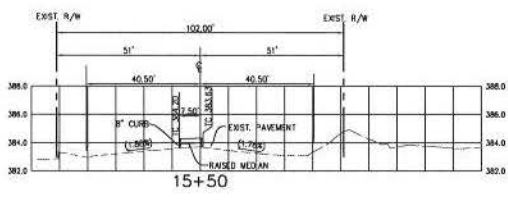
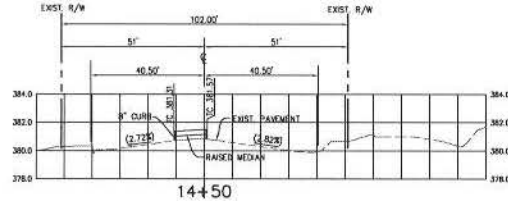
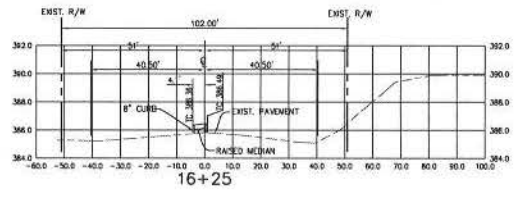
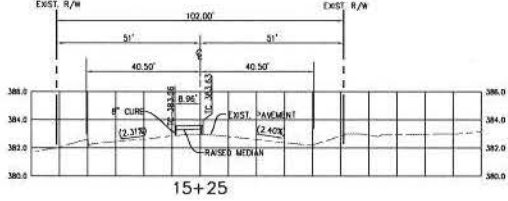
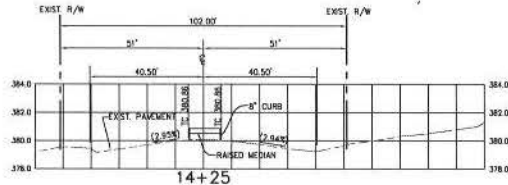
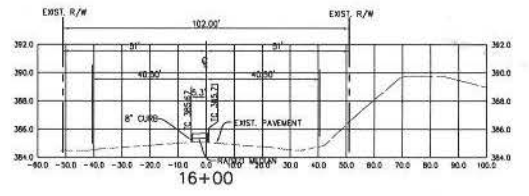
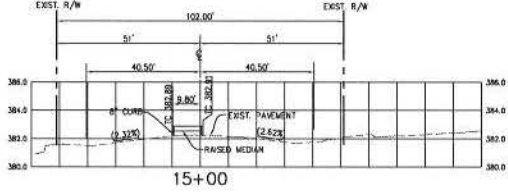
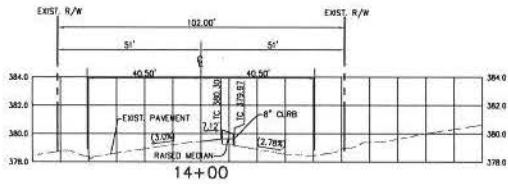
CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET # OF 8 SHEETS

NO. NO. _____
P.T.S. NO. 358633

FOR CITY ENLIGHTENED _____ DATE _____
DESCRIPTION BY APPROVED DATE (MM/DD) _____
ORIGINAL JOB _____
AS-BUILTS _____
CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

R/W. _____
1077-1201
HEAVY COORDINATES
310-1721
LABORER COORDINATES

4-D



CONSTRUCTION SITE PRIORITY HIGH
 PRIVATE CONTRACT

TYPICAL SECTION FOR:
STARBUCKS RETAIL CENTER
 (LINDA VISTA ROAD)
 LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 5 OF 8 SHEETS

FOR CITY ENGINEER DATE
 ORIGINAL JOB APPROVED DATE FILMED

AS-BUILTS CONTRACTOR DATE STAMPED
 INSPECTOR DATE COMPLETED

R/G NO. 10843
 P.15 NO. 10843
 V.1.W.
 1025-500
 MCKEY CONSULTANTS
 232-1771
 LABREY CONSULTANTS

5-D

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 BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

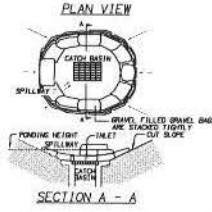
J&B
 ENGINEERS & SURVEYORS
 PLANNING • ENGINEERING • SURVEYING
 10400 MARFAC CENTER DRIVE, SAN DIEGO, CALIF. 92121
 PHONE: 619-594-7010 FAX: 619-594-9100
 EMAIL: J&B@J&BENGINEERS.COM

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

EROSION AND SEDIMENT CONTROL NOTES

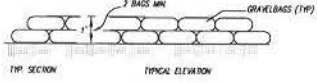
TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMPs.
2. FOR STORM DRAIN INLET, PROVIDE A GRAVEL BAG Silt BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT STAMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE STAMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DUES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREETS DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RAIN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE AMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED FOR THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL RESPONSIBLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN WORK IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEANING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

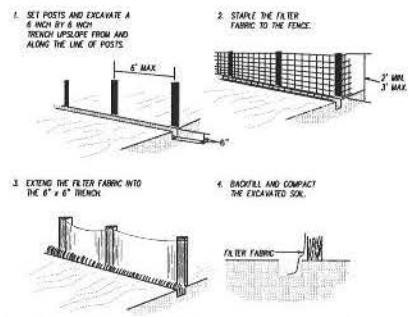


- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEDIMENT FROM RUNOFF.
 2. GRAVEL BAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. LEAVE ONE GRAVEL BAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVEL WAY IMMEDIATELY.

(B) CATCH BASIN SEDIMENT BARRIER (GRAVEL BAGS)
N.T.S.

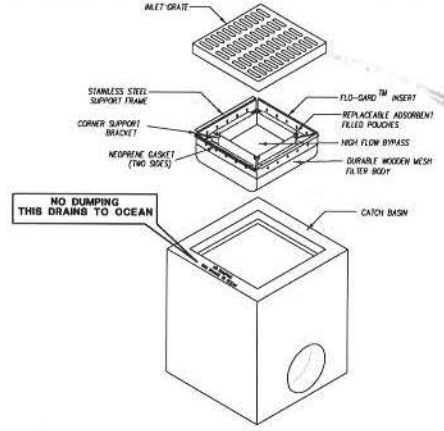


(C) TYPICAL GRAVEL BAG BARRIER
N.T.S.



(D) SILT FENCE DETAIL
N.T.S.

NOTE: THE SILT FENCE SHOULD BE SUPPORTED BY A WIRE MESH IF THE FILTER FABRIC DOES NOT HAVE SUFFICIENT STRENGTH AND BURSTING STRENGTH CHARACTERISTICS (AS RECOMMENDED BY THE FABRIC MANUFACTURER)



(F) CATCH BASIN FOSSIL FILTER INSERT

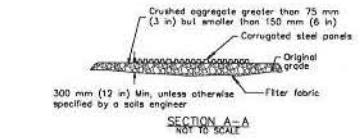
(FLO-GARD FLAT GRATED OR EQUIVALENT)
N.T.S.
PRIVATE

MODEL No.	INLET ID (in x in)	GRATE OD (in x in)	SOLIDS STORAGE CAP. (cu ft)	FILTERED FLOW (cfs)	TOTAL BYPASS CAP. (cfs)
FGP-24F	24 X 24	26 X 26	2.2	1.5	6.1

NOTES:

1. FLO-GARD FILTER BODY IS PREFABRICATED FROM POLYPROPYLENE WOVEN MONOFILAMENT GEOTEXTILE.
2. ALL METAL COMPONENTS SHALL BE STAINLESS STEEL (TYPE 304).
3. REFER TO APPLICATION CHART FOR CATCH BASIN AND FILTER SIZING.
4. FILTER MEDIUM SHALL BE FOSSIL ROCK, INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR MAINTENANCE PROGRAM.
6. FLO-GARD INSERTS MAY BE INSTALLED (WITH/OUT ADSORBENT POUCHES) DURING COURSE OF CONSTRUCTION AS A SEDIMENTATION CONTROL DEVICE.
7. FLO-GARD FILTER INSERTS ARE AVAILABLE IN THE STANDARD SIZES OR IN CUSTOM SIZES. CALL FOR DETAILS ON CUSTOM SIZE INSERTS AT (800) 579-8619.

FLO-GARD™
CATCH BASIN FILTER INSERT
(Frame Mount)
FLAT-GRATED INLET
14550e Eastern Ave., San Diego, CA 92111-5140
Website: www.flogard.com
Contact: Robert Nash
Tel: (619) 524-4100
email: rfnash@flogard.com



(E) STABILIZED CONSTRUCTION ENTRANCE WITH TIRE WASH (TC-1 & TC-3)
N.T.S.

NOTE: Many designs can be field fabricated, or fabricated units may be used.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 8 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS ISSUED.
2. STRUCTURAL PRACTICES: DESKTOP BASINS, OVERFLOW DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND SEDIMENT CONTROL MAINTENANCE AGREEMENT (OWMA), COVENANTS CONDITIONS AND RESTRICTIONS (CC&R'S), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMPs WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
2. PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

PROPOSED OPERATION AND MAINTENANCE PROCEDURE DETAILS					
O&M RESPONSIBLE PARTY DESIGNER: CYNTHIA FUASON					
POST-CONSTRUCTION PERMANENT BMPs	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	SERVICE FREQUENCY	SHEET #
GRASS SWALE	3/M	2/M	WATER OBSERVATION OF WEEDS/TREE CANES, SOILS, SEDIMENTS OR LITTER ACCUMULATION	3/M	2
TRASH STORAGE	1/WEEK	1/WEEK	WASTE MANAGEMENT CONTRACT	1/WEEK	2
STORAGE AND STORAGE @ CATCH BASIN	1/WEEK	1/WEEK	VISUAL OBSERVATION	AS NECESSARY	8

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MEMORANDUM SERVICE AGENCY OF SOUTHERN CALIFORNIA

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ENGINEERS • SURVEYORS
10500 CANTONMENT CIRCLE, SUITE 100, SAN DIEGO, CA 92121
PHONE: (619) 594-3000 FAX: (619) 594-3000
WWW.JANDB.COM

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

CONSTRUCTION SITE PROBABLY NOT APPROVE CONTRACT

STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 8268

CITY OF SAN DIEGO, CALIFORNIA
DEPARTMENT OF PUBLIC WORKS
SHEET 6 OF 8 SHEETS

NO. 00
P.L.S. NO. 108430

TOWNSHIP ENGINEER DATE V.T.M.

DISCIPLINE BY APPROVED DATE FILED

ORIGINAL JMB

AS-BUILT

CONTRACTOR DATE STARTED

INSPECTOR DATE COMPLETED

182-5201
MUSE COORDINATOR
775-779
LAWRENCE COORDINATOR

6-D

DATE PLOTTED: 11/15/2010 10:05:18 AM
PLOTTER: HP PLOTTER



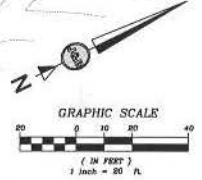
LOT 4
MAP 6266

LEGEND
BEST MANAGEMENT PROTECTION

DESCRIPTION	SYMBOL	QUANTITIES
1 STABILIZED CONSTRUCTION ENTRANCE PER TC-1 SEE DETAIL "E" ON SHEET 6		800 SF
2 GRAVEL BAGS PER SC-6 & SC-8 TYPE 3 SEE DETAIL "B" & "C" ON SHEET 6		131 BAGS
3 SILT FENCE PER SC-1 SEE DETAIL "D" ON SHEET 6		837 LF
4 ENTRANCE/OUTLET TIRE WASH PER TC-3 SEE DETAIL "I" ON SHEET 6		1 EA.
5 MATERIAL DELIVERY STORAGE - WM1		1 EA.
6 SOLID WASTE MANAGEMENT - WMS		1 EA.
7 CONCRETE WASTE MANAGEMENT - WMB		1 EA.
8 SANITARY/SEPTIC WASTE MANAGEMENT PER WM-9		2 EA.

POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP's)

DESCRIPTION	SYMBOL	QUANTITIES
9 FOSSIL FILTER INSERT SEE DETAIL "M" ON SHEET 6		2 EA.



CONSTRUCTION SITE PRIORITY #101
PRIVATE CONTRACT

EROSION CONTROL PLAN FOR
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 7 OF 8 SHEETS

FOR CITY ENROUTE _____ DATE _____
K.T.M.

DESCRIPTION	BY	APPROVED BY	DATE	TIME
ORIGINAL	J&B			
AS-BUILTS				

CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

1972-2000
NAD83 COORDINATES
232-1221
"LAUREY" COORDINATES

7-D

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19000 BURNING CENTER DRIVE, SAN DIEGO, CA 92127
PHONE: 619-592-7000 FAX: 619-592-7000
WWW.JANDBENGINEERS.COM

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS



DEMOLITION NOTES

- ① EXISTING BUILDING TO BE REMOVED (REMOVAL TO INCLUDE FOUNDATIONS FOOTING AND UNDERGROUND UTILITIES)
- ② EXISTING TRASH ENCLOSURE TO BE REMOVED
- ③ CONSTRUCT TEMPORARY CHAIN LINK FENCING
- ④ EXISTING WATER METER TO REMAIN PROTECT IN PLACE

CONSTRUCTION SITE PRIORITY IND1
PRIVATE CONTRACT

DEMOLITION PLAN (PHASE 1) FOR:
STARBUCK'S RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 8 OF 8 SHEETS

NO. NO. _____
P.T.S. NO. 108433

FOR CITY ENGINEER _____ DATE _____
BY _____ APPROVED _____ DATE _____

AS-BUILTS _____
CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

172-171
HARDY COOPERATES
218-172
TAMBERT COOPERATES

8-D

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PHONE: 392-4211 FAX: 392-0844
WWW.JANDBENGINEERING.COM

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

J&B ENGINEERS • SURVEYORS
(605) 451-7976



266

DEMOLITION NOTES

- ① EXISTING AC PAVEMENT AND BASE TO BE REMOVED
- ② EXISTING PCC CURB/BERM TO BE REMOVED
- ③ EXISTING 30' PCC DRIVEWAY TO BE CLOSED (REPLACE CURB & GUTTER AND SIDEWALK PER APPROPRIATE CITY STANDARD DRAWINGS)
- ④ EXISTING WATER METER TO REMAIN PROTECT IN PLACE
- ⑤ EXISTING 24.5' PCC DRIVEWAY TO BE CLOSED (REPLACE CURB & GUTTER AND SIDEWALK PER APPROPRIATE CITY STANDARD DRAWINGS)
- ⑥ EXISTING LOW LIGHT POSTS TO BE REMOVED (4 EA.)
- ⑦ EXISTING HIGH LIGHT POLES TO BE RELOCATED (2 EA.)
- ⑧ EXISTING WATER METER TO BE REMOVED (WATER SERVICE-TO BE KILLED)
- ⑨ EXISTING HIGH LIGHT POLE TO REMAIN (1 EA.)
- ⑩ EXISTING ELECTRICAL BOX TO BE RELOCATED
- ⑪ EXISTING TRASH ENCLOSURE TO BE REMOVED

CONSTRUCTION SITE PRIORITY 148L
PRIVATE CONTRACT

DEMOLITION PLAN (PHASE 2) FOR:
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET # 07 OF 8 SHEETS		W.D. NO. P.T.S. NO. 10843E
FOR CITY REVIEW		V.T.W.
DESCRIPTION	BY	DATE
ORIGINAL	JAB	
AS-BUILT		
CONTRACTOR	DATE STARTED	
INSPECTOR	DATE COMPLETED	
		1072-0001 KARLY COONANES 232-1321 LAWRETT COONANES
		9-D

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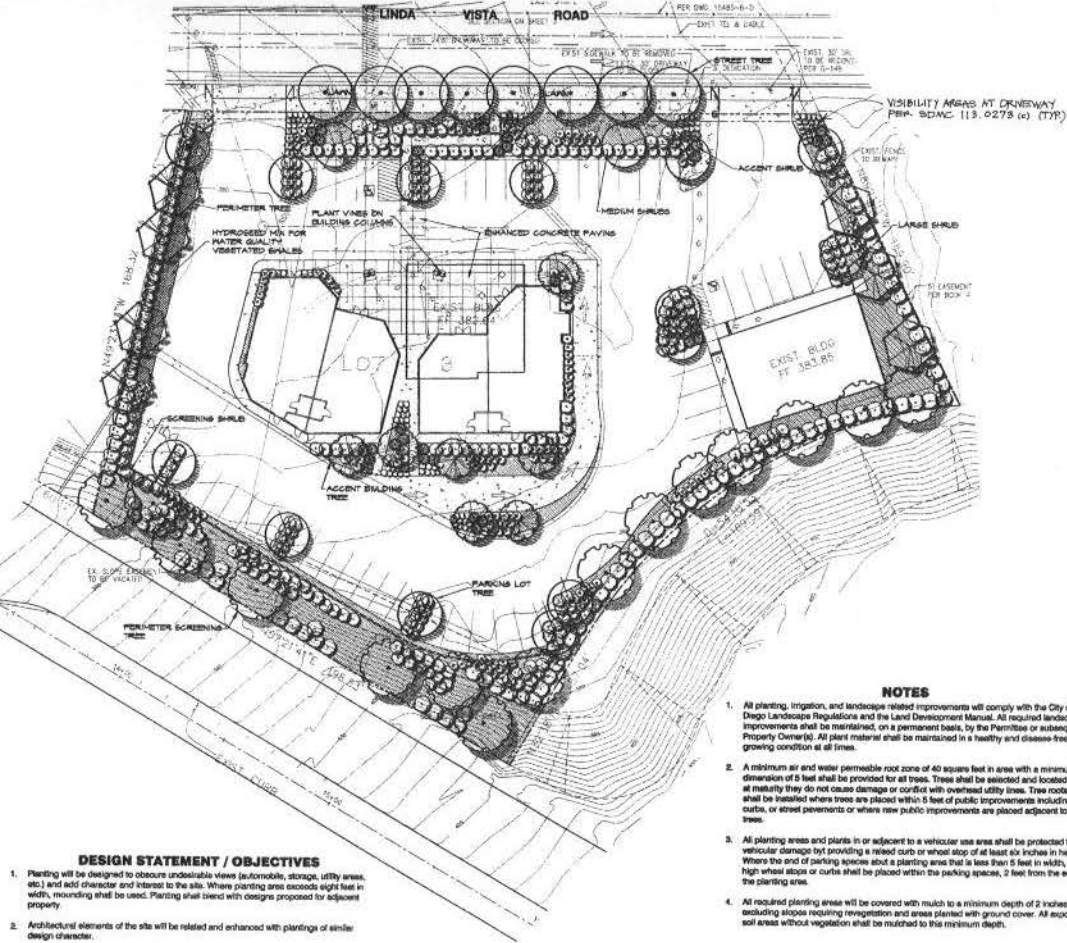
CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

PLANT LEGEND

Table with columns: Botanical Name, Common Name, Size, Qty, Notes. Categories include Street Tree, Accent Building Tree, Parking Lot Tree, Perimeter Screening Tree, Medium Shrub, Accent Shrub, Parking Island Shrub, Screening Shrub, Large Shrub, Small Shrub, Perennials, Vines, Groundcovers, and Lawn.

MINIMUM TREE SEPARATION DISTANCE

Table with columns: Improvement, Minimum Distance to Street Tree. Includes Traffic signs, underground utility lines, above ground utility structures, driveway, and intersection.



DESIGN STATEMENT / OBJECTIVES

- 1. Planting will be designed to obscure undesirable views (automobile, storage, utility areas, etc) and add character and interest to the site. Where planting areas enclose eight feet in width, mounding shall be used. Planting shall blend with design proposed for adjacent property.
2. Architectural elements of the site will be related and enhanced with plantings of similar design character.
3. All plant material selected for use will be of a type known to be successful in the area or in similar climatic and soil conditions.
4. Color from plant foliage, bark or flowers will be utilized to create a friendly, warm and visually exciting landscape environment. Thematic color schemes will be utilized in developing project identity. See final planting plans for installation layout, details and specifications.
5. All outdoor storage, loading, refuse and utility areas will be visually screened on all sides (except at access points). Planting will be used to soften hard materials where such are used for screening.
6. Vehicular entrance will be identified and accented with special groupings of trees, shrubs and/or ground covers, however, mass areas shall not obstruct from the building as the focus of the site.
7. Slope plantings are intended to take place during the appropriate seasons of late fall or winter (November through February) for optimum results.
8. Landscape finish grading objectives will include positive surface drainage of planted areas throughout the site - a minimum of two percent (2%) away from building in planting areas. See civil engineering plans for final grading.
9. Irrigation systems will be permanent below ground automated systems adequate for the establishment and maintenance of all plant material. These systems will be installed as soon as practical after grading and prior to plant material installation. Areas adjacent to structures, walkways, entries and activity areas will be irrigated with permanent below grade automated systems.
10. Irrigation systems shall utilize low precipitation fixed and pop-up stem rotor, shrub spray and bubbler heads for transitional landscape areas, adjacent open areas, parkways, parking area landscaping, building perimeter landscape planting, and all lawn areas. Pop-up spray heads shall be used adjacent to walks, drives and activity areas.
11. All soils will be fertilized, amended, and tilled to conform to recommendations made by a soil testing laboratory and/or landscape architect in order to promote healthy and vigorous plant growth.
12. All planting areas will be privately maintained in a weed and debris free condition.

NOTES

- 1. All planting, irrigation, and landscape related improvements will comply with the City of San Diego Landscape Regulations and the Land Development Manual. All required landscape improvements shall be maintained, on a permanent basis, by the Permittee or subsequent Property Owner(s). All plant material shall be maintained in a healthy and disease-free growing condition at all times.
2. A minimum air and water permeable root zone of 40 square feet in area with a minimum dimension of 5 feet shall be provided for all trees. Trees shall be selected and located so that if maturity they do not cause damage or conflict with overhead utility lines. Tree roots barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees.
3. All planting areas and plants in or adjacent to a vehicular use area shall be protected from vehicular damage by providing a raised curb or wheel stop of at least six inches in height. Where the end of parking spaces about a planting area that is less than 5 feet in width, 6 inch high wheel stops or curbs shall be placed within the parking spaces, 2 feet from the edge of the planting area.
4. All required planting areas will be covered with mulch to a minimum depth of 2 inches, excluding slopes requiring revegetation and areas planted with ground cover. All exposed soil areas without vegetation shall be mulched to this minimum depth.

March 2009 City of San Diego Information Bulletin 421 Page 18 of 18. Landscape Calculations for Commercial Development in All Zones. Includes tables for Street Yard and Remaining Yard calculations.

March 2009 City of San Diego Information Bulletin 421 Page 19 of 18. Landscape Calculations for Vehicular Use Areas. Includes tables for Vehicular Use Area 2 and 3 calculations.



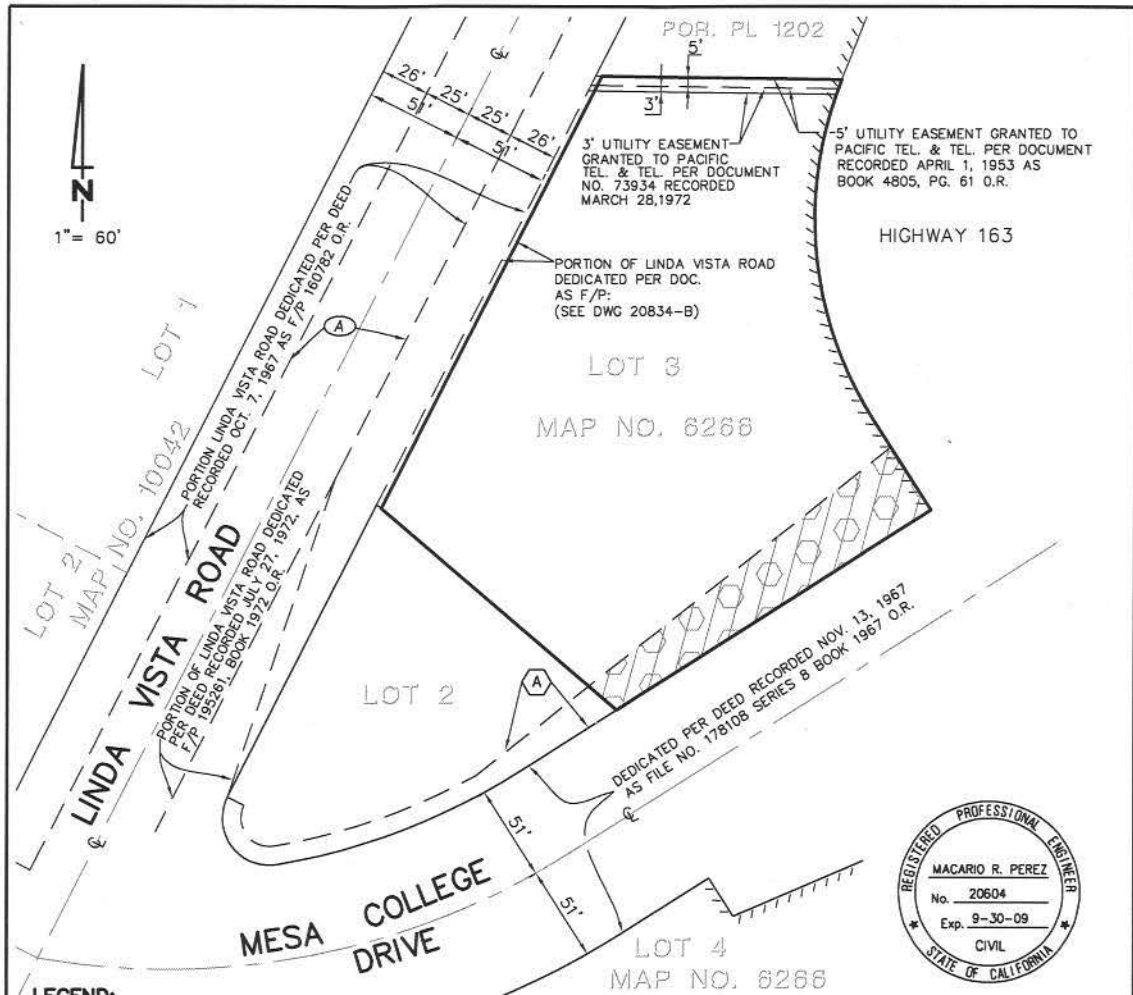
REVISIONS table with columns for Date, Description, and Rev. Number.

TESHIMA DESIGN GROUP LANDSCAPE ARCHITECTURE AND PLANNING INC. 1405 LA JOLLA VILLAGE DRIVE, SUITE C SAN DIEGO, CA 92108 DATE: 06-26-09 TDD JOB NO. 06-09



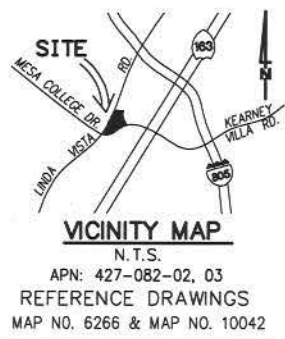
LANDSCAPE DEVELOPMENT PLAN

LINDA VISTA ROAD RETAIL CENTER 7631 LINDA VISTA ROAD SAN DIEGO, CALIFORNIA Date: 6-18-09 Item: AS SHOWN Drawn: MS Job: 06-09 Sheet: 1 of 1 Sheets



LEGEND:

- EXISTING BOUNDARY
- EXISTING EASEMENT
- INDICATES ACCESS RIGHTS RELINQUISHED AND WAIVED PER DOCUMENT RECORDED NOV. 13, 1967 FILE NO. 178108 SERIES 8 BOOK 1967 O.R.
- INDICATES SLOPE EASEMENT GRANTED TO THE STATE OF CALIFORNIA PER DEED RECORDED NOV. 13, 1967 AS FILE NO. 178108 SERIES 8 BOOK 1967 O.R. AND RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. REC. JULY 27, 1972 AS FILE NO. 195261 O.R.
- PORTION LINDA VISTA ROAD DEDICATED PER DEED RECORDED AUGUST 24, 1917, BK. 735, PG. 444 O.R.
- PARCEL "A"**
 INDICATES PORTION OF SLOPE EASEMENT GRANTED TO STATE OF CALIFORNIA PER DEED RECORDED NOV. 13, 1967 AS FILE NO. 178108 SERIES 8 BOOK 1967 O.R. AND RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. REC. JULY 27, 1972 AS FILE NO. 195261 O.R. - VACATED (AREA = 5,913 SQUARE FEET MORE OR LESS)
- PARCEL "B"**
 INDICATES GENERAL UTILITY AND ACCESS EASEMENT RESERVED FROM SLOPE EASEMENT VACATION

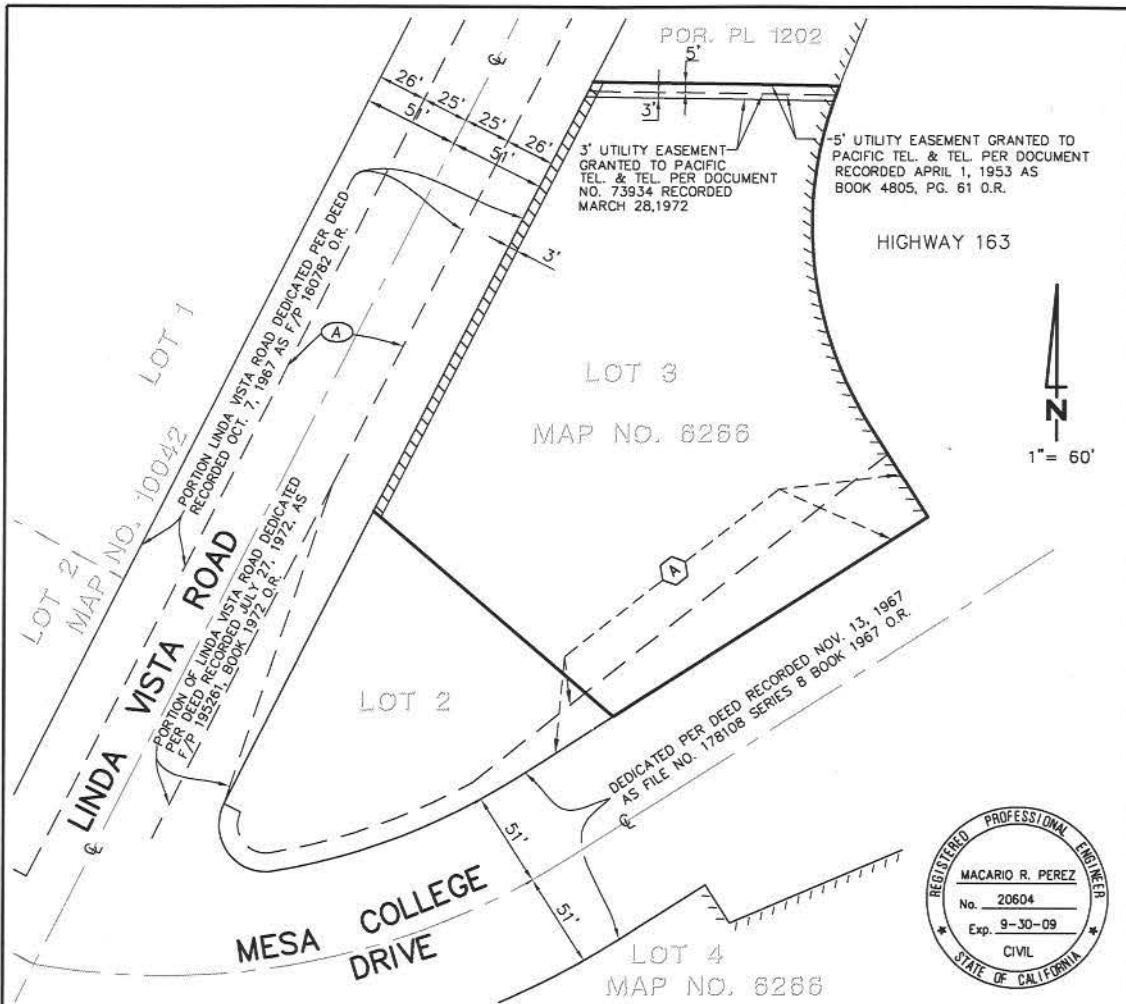


15938 BERNARDO CENTER DRIVE
SAN DIEGO CA 92127

DATE: _____
MACARIO R. PEREZ RCE 20604

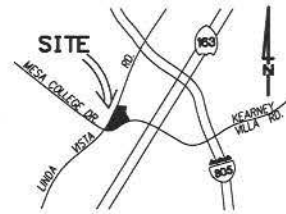
**SLOPE EASEMENT - VACATION
IN LOT 3 OF MAP NO. 6266 WITH GENERAL UTILITY ACCESS EASEMENT
RESERVED FROM SLOPE EASEMENT VACATION**

DESCRIPTION	BY	APPROVED DATE	FILMED	CITY OF SAN DIEGO SHEET 1 OF 1 SHEET	PTS NO. 108435
ORIGINAL	J&B				J.O. NO. 426706
					1872-6281
				FOR CITY ENGINEER	DATE
					CCS 83 COORDINATES
					232-1721
					LAMBERT COORDINATES
					20833-B
			STATUS		



LEGEND:

- EXISTING BOUNDARY
- EXISTING EASEMENT
- INDICATES ACCESS RIGHTS RELINQUISHED AND WAIVED PER DOC. RECORDED NOV. 13, 1967 FILE NO. 178108 SERIES 8 BOOK 1967 O.R.
- INDICATES SLOPE EASEMENT GRANTED TO THE STATE OF CALIFORNIA PER DEED RECORDED NOV. 13, 1967 AS FILE NO. 178108 SERIES 8 BOOK 1967 O.R. AND RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. REC. JULY 27, 1972 AS FILE NO. 195261 O.R.
- PORTION LINDA VISTA ROAD DEDICATED PER DEED RECORDED AUGUST 24, 1917, BK. 735, PG. 444 O.R.
- INDICATES STREET DEDICATION-LINDA VISTA ROAD (AREA= 774 SQUARE FEET MORE OR LESS)



VICINITY MAP
N.T.S.

APN: 427-082-02, 03
REFERENCE DRAWINGS
MAP NO. 6266 & MAP NO. 10042

15938 BERNARDO CENTER DRIVE
SAN DIEGO CA 92127

DATE:
MACARIO R. PEREZ RCE 20604

**STREET DEDICATION - LINDA VISTA ROAD
IN LOT 3 OF MAP NO. 6266**

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO SHEET 1 OF 1 SHEET	PTS NO. 108435
ORIGINAL	J&B					J.O. NO. 426706
						1872-6281
					FOR CITY ENGINEER	DATE
						CCS 83 COORDINATES
						232-1721
						LAMBERT COORDINATES
						20834-B
STATUS						

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 426706

PLANNED DEVELOPMENT PERMIT NO. 532247
LINDA VISTA ROAD CENTER (MMRP) – PROJECT NO. 108435
CITY COUNCIL

This Planned Development Permit No. 108435 is granted by the City Council of the City of San Diego to GTF Properties, a California Limited Partnership, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0604. The 1.38 acre site is located at 7625-7631 Linda Vista Road in the CC-1-1 (Rezoned from CN-1-2) zone and the Residential Tandem Parking Overlay zone of the Linda Vista Community Plan area. The project site is legally described as Lot 3, Artillery Square Unit No. 2, Map No. 6266.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to develop an 8,046 square foot retail/food use development with drive-through lane on a 60,134 square foot site, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 8, 2008, on file in the Development Services Department.

The project shall include:

- a. The construction of 5,774 square feet in two new retail buildings, including a drive-through lane, and an existing 2,272 square foot retail building to remain;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent

of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

11. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

13. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 108435, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 108435, satisfactory to the Development Services Department and the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue area:
Transportation

15. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

ENGINEERING REQUIREMENTS:

16. Prior to the issuance of any construction permits, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.

18. The drainage system proposed for this development is private and subject to approval by the City Engineer.

19. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

20. Prior to the issuance of any building permits, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.

21. Prior to the issuance of any building permits, the applicant shall assure, by permit and bond, the closure of the two existing driveways with replacement to full-height curb, gutter and sidewalk, the reconstruction of the northernmost driveway to current standards, the installation of a new 30-foot driveway, the replacement of any damaged portions of the sidewalk and the installation of three (3) D-25 curb outlets, adjacent to the site on Linda Vista Road, all satisfactory to the City Engineer.

22. Prior to the issuance of any building permits, the applicant shall obtain an Encroachment Maintenance and Removal Agreement, for three (3) D-25 curb outlets and for landscaping in Linda Vista Road, all satisfactory to the City Engineer.

ATTACHMENT 6

23. Prior to the issuance of any building permits, the applicant shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

24. Prior to the issuance of any building permits, the applicant shall vacate the slope easement along Mesa College Drive and dedicate right-of-way for Linda Vista Road, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

25. Prior to issuance of any construction permits for public right-of-way improvements, the Permittee or Subsequent Owner shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to issuance of any construction permits for buildings, the Permittee or Subsequent Owner shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree.

27. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or Subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

28. The Permittee or Subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

29. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Permittee or Subsequent Owner is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

31. No fewer than 45 off-street automobile parking spaces (including 2 accessible spaces of which 1 is van accessible), 2 bicycle spaces with racks, and 2 motorcycle spaces shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A". Further, all on-site parking stalls and aisle widths shall be in compliance with the requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the City Manager.
32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
33. The hours of operation shall be limited from 6AM to 12AM daily.
34. The following deviations to development regulations are permitted for this development:
 - a). The project exceeds the maximum front setback along Mesa College Drive.
 - b). The project exceeds the maximum lot depth of 150 feet.
 - c). The project does not comply with the building articulation requirements for the building facade along Mesa College Drive.
35. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

37. Prior to the issuance of the first building permit, the applicant shall provide a fair-share contribution of 15.8% of the cost of construction of a raised center median on Linda Vista Road from Markham Drive to Baltic Street, satisfactory to the City Engineer. The fair share contribution shall be deposited to a separate interest earning account.
38. Prior to the issuance of the first building permit, the applicant shall assure by permit and bond the construction of a raised center median along Linda Vista Road extending from Mesa College Drive to Markham Drive, satisfactory to the City Engineer.
39. Prior to the issuance of the first building permit, the applicant shall dedicate a minimum of 3 feet along the property frontage along Linda Vista Road, to provide a minimum 14 feet curb to property line, satisfactory to the City Engineer.

WASTEWATER REQUIREMENTS:

40. All on-site wastewater systems shall be private.
41. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
42. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Proposed facilities that do not meet the current standards shall be private or re-designed.
43. Sewer lateral connections shall be made in accordance with Table 2-6 Of the City of San Diego sewer design guide. Therefore lateral connection shall be through a "Y" fitting or saddle type connection away from the manhole further downstream.
44. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any public sewer facilities.

WATER REQUIREMENTS:

45. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the disconnection at the water main of all existing unused services adjacent to the site, in a manner satisfactory to the Water Department Director and the City Engineer.
46. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) on each water service (domestic, fire, and irrigation), in a manner satisfactory to the Water Department Director, the City Engineer, and the Cross Connection Supervisor in the Customer Support Division of the Water Department.
47. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.
48. The Owner/Permittee agrees to design and construct all proposed public water facilities, including services and meters, in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Proposed facilities that do not meet the current standards for construction, operation, maintenance and access, shall be private or modified at final engineering to comply with standards.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the City Council of the City of San Diego on XXX by Resolution No. XXXX.

ATTACHMENT 6

Permit Type/PTS Approval No.:PDP#532247
Date of Approval:XXXXX

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

NAME
TITLE

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Owner/Permittee

By _____
GTF Properties, Gordon T. Frost, Jr.
General Partner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Resolution for Approving/Denying Permits

(R-XXXX)

RESOLUTION NUMBER R-XXXX

ADOPTED ON XXXX

WHEREAS, GTF Properties, a California Limited Partnership, Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit No. 108435 to construct an 8,046 square foot retail development on a 60,134 square foot site known as the Linda Vista Road Center project, located at 7625-7631 Linda Vista Road, and legally described as Lot 3, Artillery Square Unit No. 2, Map No. 6266, in the Linda Vista Community Plan area, in the CN-1-2 zone (previously referred to as the CN zone) which is proposed to be rezoned to the CC-1-1 zone and the Residential Tandem Parking Overlay zone; and

WHEREAS, on May 8, 2008, the Planning Commission of the City of San Diego considered Planned Development Permit (PDP) No. 532247, and pursuant to Resolution No. XXXX-PC voted to recommend City Council approval of the permit; and

WHEREAS, the matter was set for public hearing on XXXX, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to PDP No. 532247:

Planned Development Permit - Section 126.0604

- 1. The proposed development will not adversely affect the applicable land use plan.**

The proposed project site is located on three contiguous lots addressed as 7625-7631 Linda Vista Road. The project would construct a new, 2-building, single-story

ATTACHMENT 7

retail/restaurant center of approximately 5,775 square feet. The existing retail store will remain (2,272 square feet), and the 60,134 square foot site comprising the three lots will be re-landscaped, including the convenience store parcel.

The site is located in the Linda Vista Community Plan area and is designated for Neighborhood Commercial. The project, with the proposed site design and pedestrian/neighborhood orientation, is consistent with this designation.

To accommodate a drive-through lane, the Project requires a rezone of from CN-1-2 to CC-1-1. The CC zones allow a mix of community-serving commercial uses and residential uses, providing a range of commercial development patterns, from pedestrian friendly commercial streets to shopping centers and auto-oriented strip commercial streets. The CC-1-1 zone is intended to accommodate development with strip commercial characteristics. The proposed CC-1-1 zoning has characteristics similar to those in the existing CN-1-2 zone. This project proposes to limit operations of the businesses to between 6AM and midnight, including the proposed drive-up lane. Business hours in the CN zone are also limited to between 6AM and midnight.

The proposed new buildings will be situated on the site to allow for pedestrian as well as automobile-oriented uses, in substantial conformance with the Land Development Code.

The site is governed by the policies and guidelines of the General Plan, the Linda Vista Community Plan and the development regulations of the CC-1-1 Zone. The proposed Project is in compliance with all applicable policies, guidelines and regulations in effect for the re-zoned site.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project, to develop a 5,774 square foot retail development on a 60,134 square foot site, would result in a modest development of approximately 8,046 square feet. The proposed project includes parking and landscaping. The placement the buildings allow good visibility for the public and for passing police units. The site will be designed to accommodate fire department vehicles.

The project will have 45 surface parking spaces, or approximately 5.4 spaces per 1,000 square feet of floor area. Two motorcycle and two bicycle parking spaces will also be provided. Landscaping and irrigation will be installed throughout the site, in compliance with the development regulations.

The permit prepared for this development includes various conditions and referenced Exhibits of approval relevant to achieving project compliance with the Regulations and applicable Ordinance provisions of the City's Municipal Code in effect for this site; and that such conditions have been determined as necessary to avoid adverse impacts upon the health, safety, and general public welfare. These conditions (and referenced Exhibits) include limitations upon the extent and amount of site grading activities, minimum parking and landscaping requirements, and required public

improvements, and hours of operation.

3. The proposed development will comply with the regulations of the Land Development Code.

The proposed project, to develop an 8,046 square foot retail development on a 60,134 square foot site, will be in compliance with most of the applicable regulations of the CC-1-1 Zone, including height, floor area ratio for the entire premises, on-site parking spaces and landscape regulations. The Planned Development Permit process allows for certain deviations from the Land Development Code. All of the requested deviations can be supported based on the quality of the project design and development constraints of the site. The site has an irregular shape with two frontages (Linda Vista Road and Mesa College Drive), but Mesa College Drive is above the elevation of the site and auto/pedestrian access from Mesa College Drive is infeasible. Visibility of the site from Mesa College Drive is limited. The proposed new buildings will be located to allow both a pedestrian orientation and automobile access from Linda Vista Road as dictated in the CC-1-1 zone. The completed project will substantially comply with the applicable regulations, and with the Linda Vista Community Plan.

4. The proposed development, when considered as a whole, will be beneficial to the community.

The proposed project, to develop an 8,046 square foot retail development on a 60,134 square foot site will be beneficial to the community. A long-time vacant, undeveloped parcel on the site will be improved along with the proposed improvements to the remainder of subject property. The project would develop a retail/restaurant center with a neighborhood serving scale. Landscaping will be provided in accordance with the Land Development Code. While the project proposes to deviate from certain requirements of the Land Development Code, the resulting project will provide a fresh, new source of pedestrian and automobile-oriented, community-serving retail services.

5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The proposed project deviates from the following development regulations:

The project exceeds the maximum front setback along Mesa College Drive (Table 131-05E)

The site has two street frontages: Linda Vista Road and Mesa College Drive. A portion of one of the two proposed buildings lies approximately 120 feet beyond the property line at Mesa College Drive (where 100 feet maximum is required). While Mesa College Drive is considered to be one of the two "frontage" exposures to the

site, Mesa College Drive is approximately 10 to 15 feet above the grade on site. Mesa College Drive at that location is a major connector street over State Highway 163 and is not conducive to automobile or pedestrian access to the site. The proposed buildings are within the 100 foot maximum front yard setback along Linda Vista Road. There is no minimum front yard setback.

The project exceeds the maximum lot depth of 150 feet (Table 131-05E).

The lot's irregular shape results in a lot depth of approximately 260 feet at the greatest distance. The 'side yard' dimensions are approximately 168 and 159 feet, respectively, where a maximum of 150 feet is required. A depth limited to 150 feet would greatly curtail the development quality of the site, to the extent that a project of the nature and character of that proposed would be infeasible.

The project deviates from the building articulation requirement for the frontage facing Mesa College Drive (Section 131.0554)

Each of the two proposed building façades facing Mesa College Drive have a length of 60 linear feet. Articulation will be provided on each building frontage facing Mesa College Drive as follows: four planes consisting of two with a separation of three inches, and two with a separation of 8 inches. Under 131.0554 for a building façade more than 50 feet but less than 100 feet, six planes are required, consisting of two with a minimum separation of three inches, two with a minimum separation of eight inches and two with a minimum separation of three feet. The Building frontages facing Mesa College Drive do not contain storefronts, and openings are limited to doors for service access. Mesa College Drive is a major connector street which is elevated 10 to 15 feet above the grade at the site and is not conducive to automobile or pedestrian access or exposure. The Linda Vista Road frontages of the proposed project comply with the building articulation requirement.

The above deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the CC-1-1 zone.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is

ATTACHMENT 7

sustained, and Planned Development Permit No. 532247 is granted to GTF Properties Owner/Permittee, under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: MICHAEL AGUIRRE, City Attorney

By _____
Andrea Dixon
Deputy City Attorney

Or.Dept:Clerk
R-XXX
Reviewed by Jeannette Temple

Rezone Ordinance

(O-#####)

ORDINANCE NUMBER O-_____ (NEW SERIES)

ADOPTED ON _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING 2.33 ACRES LOCATED AT 7625-7631 LINDA VISTA ROAD, WITHIN THE LINDA VISTA COMMUNITY PLAN AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE CN-1-2 ZONE INTO THE CC-1-1 ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTION 131.0507; AND REPEALING ORDINANCE NO. R-301263 (NEW SERIES), ADOPTED FEBRUARY 28, 2006, OF THE ORDINANCES OF THE CITY OF SAN DIEGO INsofar AS THE SAME CONFLICT HEREWITH.

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That 2.33 acres located at 7625-7631 Linda Vista Road, and legally described as Lot 3, Artillery Square Unit 2, Map No. 6266, in the Linda Vista Community Plan area, in the City of San Diego, California, as shown on Zone Map Drawing No. B-4255, filed in the office of the City Clerk as Document No. OO- _____, are rezoned from the CN-1-2 zone into the CC-1-1 zone, as the zone is described and defined by San Diego Municipal Code 131.0507. This action amends the Official Zoning Map adopted by Resolution R-301263 on February 28, 2006.

Section 2. That Ordinance No. R-301263 (New Series), adopted February 28, 2006, of the ordinances of the City of San Diego is repealed insofar as the same conflict with the rezoned uses of the land.

Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

ATTACHMENT 8

Section 4. This ordinance shall take effect and be in force on the thirtieth day from and after its passage, and no building permits for development inconsistent with the provisions of this ordinance shall be issued unless application therefore was made prior to the date of adoption of this ordinance.

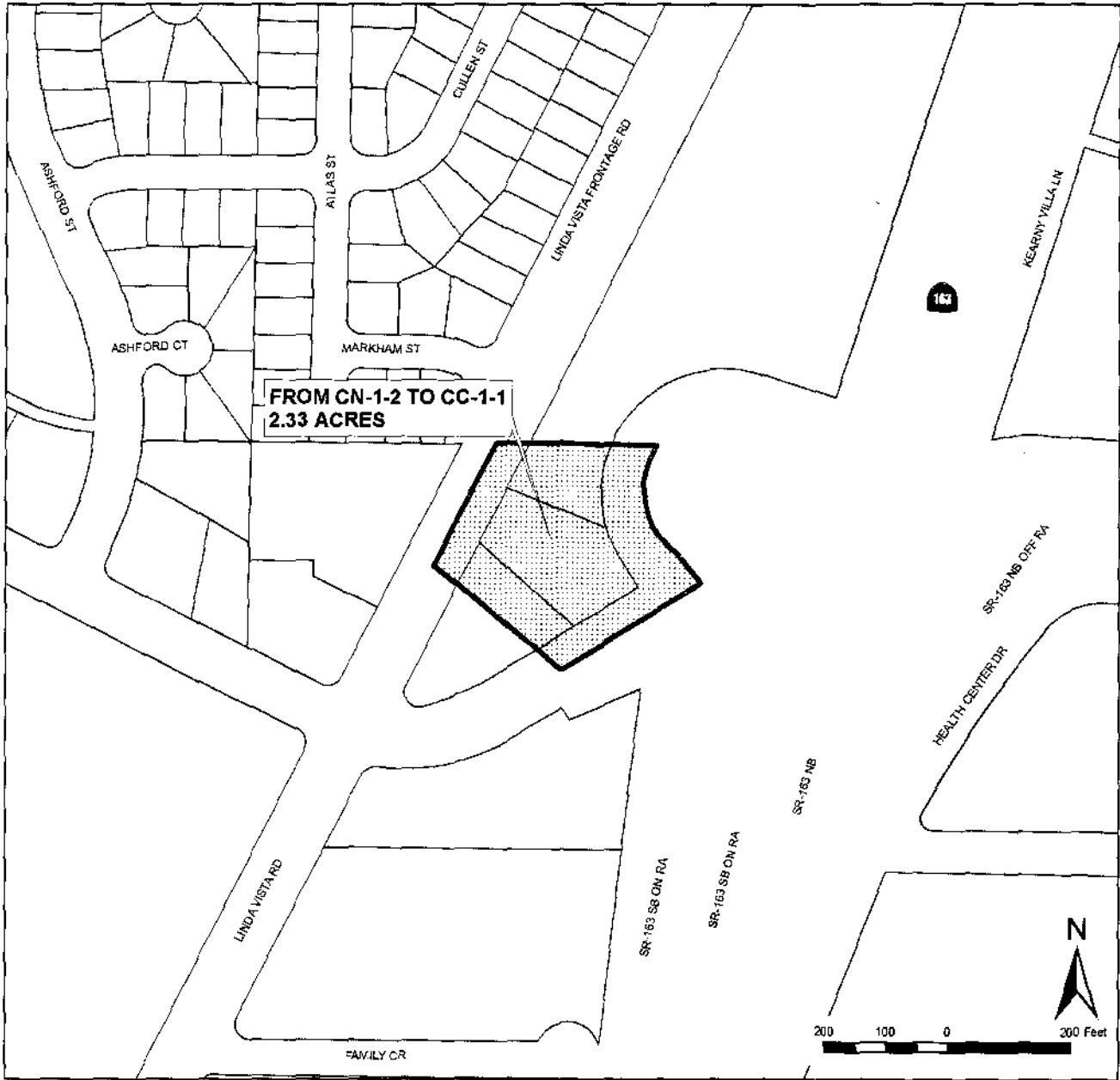
APPROVED: MICHAEL AGUIRRE, City Attorney

By _____
Andrea Dixon
Deputy City Attorney

Or.Dept: Development Services
Case No.108435
O-####

CITY OF SAN DIEGO • CITY PLANNING AND COMMUNITY INVESTMENT

PROPOSED REZONING



LOT 3 ARTILLERY SQAURE #2, MAP 6266		CASE NO. 108435
ORDINANCE NO. _____	REQUEST CC-1-1	CITY PLANNING AND COMMUNITY INVESTMENT MANAGER
EFF. DATE ORD. _____	PLANNING COMM. RECOMMENDATION	
ZONING SUBJ. TO _____	CITY COUNCIL ACTION	B- 4255
BEFORE DATE _____		APN: 427-082-01,02,03
EFF. DATE ZONING _____		(232-1719) 11-16-07 tdf
MAP NAME AND NO. _____		

WHEREAS, San Diego Municipal Code section 125.1001 et seq. provides a procedure for the summary vacation of public easement by City Council resolution where the easements are no longer required; and

WHEREAS, the affected property owner has requested the vacation of the slope easement located on Mesa College Drive between Linda Vista Road and Highway 163 southbound on-ramp, to unencumber this property and facilitate development of the site as conditioned in approved Planned Development Permit No. 532247; and

WHEREAS, the City Council finds that:

(a) there is no present or prospective use for the easement, either for the purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated; and

(b) the public will benefit from the vacation through improved utilization of land; and

(c) the vacation is consistent with the General Plan or an approved Community Plan; and

(d) the public easement system for which the easement was originally acquired will not be detrimentally affected by this vacation; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, as follows:

1. That the slope easement located within Mesa College Drive between Linda Vista Road and Highway 163 southbound on-ramp in connection with Planned Development Permit No. 532247, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. 20833-B, marked as Exhibit "B," and on file in the office of the City Clerk as Document Nos. RR-_____, and RR-_____, which are by this reference incorporated herein and made a part hereof, is ordered vacated reserving therefrom general utility and public utility easements for utilities together with ingress and egress for that purpose..

2. That the Development Services Department shall cause a certified copy of this resolution, with attached exhibits, to be recorded in the office of the County Recorder.

Minutes of the Linda Vista Planning Committee meeting
February 26, 2007
Linda Vista Public Library

Call to order at 6:10 by Chair Ed Cramer with 45 people in attendance.

Presentation of Colors and pledge allegiance was conducted

Roll call all were present except: Roy Hughes, Rosemary Ortega and Ron Tomcek.

The following government representatives made presentations: Pari Sanati from Donna Frey's office, Kirsten Clemons introduced her replacement from Lori Saldana's office, who is Melanie Cohn and Katherine Fortner from Susan Davis's office.

Brian Schoenfisch, City Planner announced that the community plans for Linda Vista and Clairmont will be amended as agreed upon by council as regards the Mesa College Parking structure and impacts on the South side of Mesa's campus. Each member will receive the document to review.

Libby Day reported on the Home Improvement Loan Program. Thirty four projects have entered the system as of December 31, 2006. 15 rehabs have been completed, 11 are in assessment phase and 2 are under construction.

Action Item:

University Center Expansion at USD Project # 114292. Expansion will add 55,000 square feet to the Center. Don Ballantyne made a motion to approve the project. Wayne Bamford seconded the motion. It passed with 14 yes, 0 no.

Hearing dates for the City's Annual Action Plan for Housing was presented by the Housing Commission. Hearing for public will be March 22 at 6 pm at 1122 Broadway # 300.

Ed Farley from Linda Vista View announced that deadline to submit articles for next edition is March 9th. Please contact him at 858-569-4200 edfarley@juno.com with news articles

Final Fiesta Island update plan for park development is on line.

Mesa College master plan and parking structure issue: Members can protest decision of City Council by writing to the Community College Chancellor at 1102 Q Street, Sacramento CA 95814-6511 or call 916-445-0752

Metropolitan Wastewater Dept. reported on their plan to keep sewer trunk lines in Tecolote Canyon.

Action Item: 1209 Azusa map waiver Project # 94628.

Motion was made by Don Ballantyne to accept the project contingent on city approval as submitted. Rich Bussell seconded the motion. 11 members voted in favor of motion and 3 opposed it.

Action Item: 5648 Laurretta Street # 102781 Variance to allow tandem parking. Don Ballantyne made motion to approve the project. Wayne Bamford seconded the motion. 5 members voted in favor of motion and 9 opposed the motion. It failed.

At this (7:40 pm) time Grover Diemert, Secretary left the meeting. Rob Spahitz accepted task of taking minutes for remainder of meeting

--
member Rob Spahitz taking over, Diemert gone (vote counts reduced by 1)

--
Item 7631 Linda Vista Road (next to northeast corner at Mesa College Drive) to demolish 6700 square feet and replace with new businesses, probably fast food such as Starbucks, Robeks Juice, etc. Requesting a switch from residential commercial to business commercial. Existing plans to be reduced by city ordinance requiring tree every 30 feet.

Motion: Subcommittee / Don Ballantyne, second by Sandy Duncan, recommend approval as submitted. Vote: 12-1 in favor.

Item 5968 Laurreta Steet.

Motion: Subcommittee / Don Ballantyne, second by Rick Bussell, recommend approval as submitted. Vote: 13-0 in favor.

Item Pacific Highway information item on Storage center expansion one southern building from one-story to 4-story, 42' with 50' ornate roof.

Item DIF money from the proposed Uniti project (at the old USD HS plot, across from the main entrance to USD.) When the money becomes available, should it go to developing a joint-use park project with Montgomery Middle School (4th on the Linda Vista CPC Park & Rec project list) or should it be diverted to a Twain School joint-use park project (7th on the priority list)? Discussion included the fact that the Montgomery project will cost more and we may not see money for this project for a long time, but there was lots of concern about how much the community would get to use this since it would be unavailable during school time and school events. It would also only pay for phase I (about \$954,000)—mostly turfing and lighting—but not phase II (\$317,000)—including picnic tables and water fountains. Discussion also included the fact that the Twain project is near the Uniti project and would be paid for in full and would have limited school use because of the type of students there. A motion to approve the Montgomery project was withdrawn after realizing that not enough information was available to make this decision.

Item Linda Vista Economic Summit. Discussion on the recent summit on how we can revitalize the community, most of it entailing changing zoning to allow densification to make it worthwhile for developers to invest here. Motion: Wayne Bamford, second by Don Ballantyne, to review the community plan to density. Vote: approved 13-0

Item Morley Park (aka Morley Strip, across from Linda Vista Plaza / Skateworld) Discussion on whether we can transfer this to the city Park & Rec department. Libby Day indicated that this is currently in the redevelopment project and is scheduled to be move to park & rec by 2012. Request was made to move it sooner because of concerns over it being developed before that. Libby indicated that this is unlikely since this is designated in the master plan as park area and would require many levels of reviews before this could happen (including requesting a change to the LV Community Plan, review by LVCPD, and approval by the Planning Committee.)

Item Food Dumping (feeding the birds/health issues) Motion To Table JoAnne Carini, second by Don Ballantyne. Vote: approved unanimously, 13 for 0 against.

Motion to approve minutes. Vote approved unanimously.

Project Title:
LINDA VISTA ROAD RETAIL

Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
GTF PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP

Owner Tenant/Lessee


Street Address:
6565 MIRAMAR ROAD

City/State/Zip:
SAN DIEGO, CA 92191

Phone No: 8584550948 Fax No: 8584550437

Name of Corporate Officer/Partner (type or print):
GORDON T. FROST, JR.

Title (type or print):
GENERAL PARTNER

Signature:  Date: 6/26/06

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

LINDA VISTA ROAD CENTER
PROJECT CHRONOLOGY
 PTS # 108435 JO# 426706

Date	Action	Description	City Review Time	Applicant Response
8/7/06	Customer Submits First Cycle			
10/12/06	Initial Assessment Letter Sent		2 months, 5 days	
1/11/07	Customer submits 2 nd Cycle			3 months
1/31/07	2 nd Assessment Letter Sent		20days	
6/29/07	Customer submits 3 rd Cycle			4 months, 29 days
8/14/07	3 rd Assessment Letter Sent		1 month, 15 days	
10/19/07	Customer submits 4 th Cycle			2 months, 5 days
11/15/07	4 th Assessment Letter Sent		27 days	
1/29/08	Customer submits 5 th Cycle			2 months, 14 days
2/21/08	5 th Assessment Letter Sent	All leftover issues resolved with Map Check	23 days	
3/11/08	Draft MND distributed		19 days	
04/08/08	MND Finaled		28 days	
5/8/08	Planning Commission Recommendation Hearing		1 month	

<i>Total Staff Time (Average at 30 days per month):</i>	<i>Approximately 8 months, 17 days</i>
<i>Total Applicant Time (Average at 30 days per month):</i>	<i>Approximately 1 year, 18 days</i>
<i>Total Project Running Time (Years/Months/Days):</i>	<i>1 year, 9 months and 1 day</i>

PLANNING COMMISSION RESOLUTION NO. XXXX-PC
RECOMMENDING TO THE CITY COUNCIL
CERTIFICATION OF MITIGATED NEGATIVE DECLARATION NO. 108435
ADOPTION OF REZONE NO. 361571; APPROVAL OF EASEMENT VACATION NO.
532246 AND PLANNED DEVELOPMENT PERMIT NO. 532247

WHEREAS, on May 8, 2008, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering and recommending to the Council of The City of San Diego adoption of Rezone No. 361571 to change zoning of the site from CN-1-2 to CC-1-1 and approval of Easement Vacation No. 532246 and Planned Development Permit No. 532247; and

WHEREAS, GTF Properties, Owner/Permittee, requested Rezone No. 361571 to change zoning of the site from CN-1-2 to CC-1-1 and approval of Easement Vacation No. 532246 and Planned Development Permit No. 532247; and Certification of Mitigated Negative Declaration No. 108435, to develop an 8,046 square foot retail/food use development with drive-through lane on a 60,134 square foot site at 7625-7631 Linda Vista Road zoned CN-1-2 (proposed to be rezoned to CC-1-1), within the Linda Vista Community Plan area; and

WHEREAS, the Planning Commission of the City of San Diego has considered all exhibits and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby recommends adoption of Rezone No. 361571 to change zoning of the site from CN-1-2 to CC-1-1 and approval of Easement Vacation No. 532246 and Planned Development Permit No. 532247; and Certification of Mitigated Negative Declaration No. 108435.

Jeannette Temple
Development Project Manager
Development Services Department
Dated XXXXX
By a vote of X-X

Elisa Contreras
Planning Commission Liaison

OWNER: GTF PROPERTIES
 500 HERRING RD
 P.O. BOX 40888
 SAN DIEGO CA 92161-0088

SITE ADDRESS: 180 LINDA VISTA RD
 SAN DIEGO CA 92161

APN: 421-082-01, 02, 03

LEGAL DESCRIPTION: LOT 3 METROPOLITAN SQUARE MAP NO. 2 IN THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO STATE OF CALIFORNIA, ACCORDING TO MAP NUMBER HEREON AS RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY IN JANUARY 1987

EXISTING ZONE: CN-12 (UNLAWFUL) RESIDENTIAL TWO-AND-A-HALF STORY

PROPOSED ZONE: C-2 (COMMERCIAL)

PROPOSED USE: COMMERCIAL

UNLAWFUL SITE AREA: 60,000 SF TOTAL OF PARCELS 01, 02, 03

SITE AREA AFTER DEDICATION: 10,000 SF

UNLAWFUL FLOOR AREA: 8,774 SF TOTAL OF EXISTING STORES TO REMAIN

TOTAL BUILDING AREA: 304,500 SF

PARKING SPACES PROVIDED: 21 + 23 / 000 SF

RECYCLING SPACES REQUIRED: 12 SF PROVIDED: 270 SF

TRASH ALLOWED: 15 TON ANNUAL OR

TRASH COMPACTED: 40 TON

CONSTRUCTION TYPE: EXISTING AND PROPOSED TYPE I-A

OCCUPANCY: 500

SLOPE OF ROOF: DEDICATION OF A PORTION OF RESTAURANT AND CONSTRUCTION OF TWO ONE-STORY COMMERCIAL BUILDINGS OF 8,774 SQ. FT. A DRIVE WAY, 20 PARKING SPACES AND ASSOCIATED SYSTEMS, WALKWAYS, EXISTING CONCRETE STOPS TO REMAIN. (SEE CHANGE FOR SHEET PARCELS)

APPLICATOR TYPE: SITE DEVELOPMENT PERMIT + RECORD DRAWING TO 2024

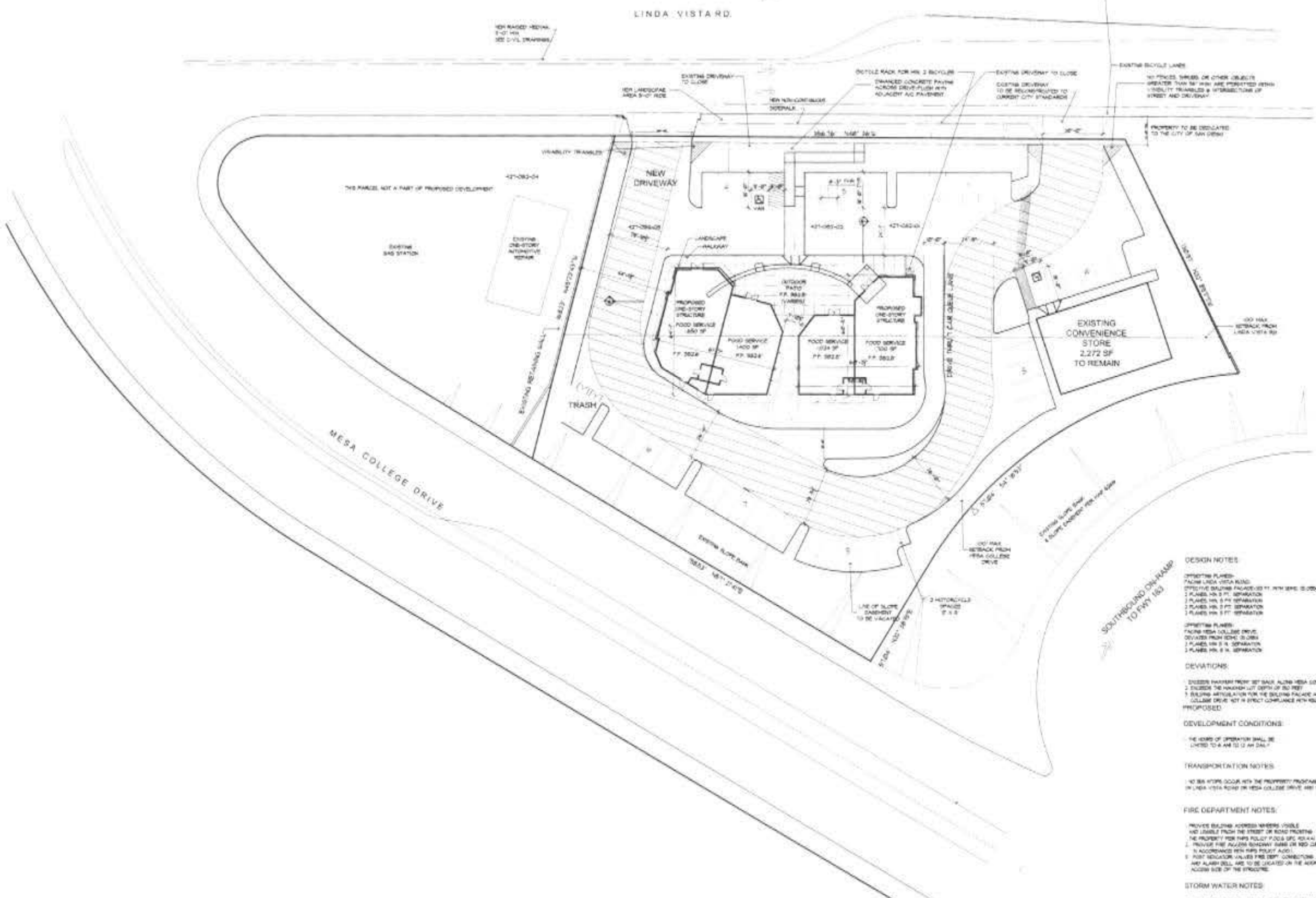
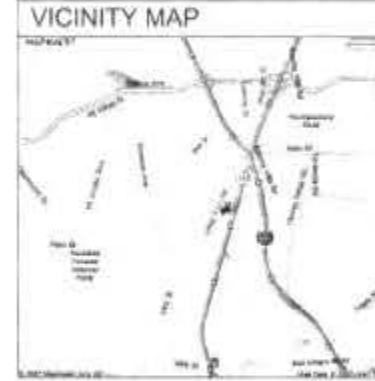
PROJECT TEAM:

DESIGNED BY:	KMA ARCHITECTURE AND ENGINEERING	ARCHITECTS/ENGINEERS:	TOSHIA DESIGN GROUP
300 HERRING RD.	SAN DIEGO CA 92161	1400 BROADWAY	SAN DIEGO CA 92108
619.278.7300		619.278.7300	

L.S. ENGINEER
 JIM BURDET
 SAN DIEGO CA
 000-00-000

SHEET INDEX

A-1: SITE PLAN	01	10	L-1: LANDSCAPE PLAN
A-2: SITE SECTION	02	10	
A-3: FLOOR PLAN	03	10	
A-4: ELEVATIONS	04	10	
A-5: SECTION	05	10	
A-6: ROOF PLAN	06	10	



DESIGN NOTES

OFFSETTING PLANES:
 1. FACING LINDA VISTA ROAD:
 1 PLANE HL 3 FT. SEPARATION
 2 PLANE HL 5 FT. SEPARATION
 3 PLANE HL 8 FT. SEPARATION
 4 PLANE HL 10 FT. SEPARATION

OFFSETTING PLANES:
 1. FACING MESA COLLEGE DRIVE:
 1 PLANE HL 3 FT. SEPARATION
 2 PLANE HL 5 FT. SEPARATION
 3 PLANE HL 8 FT. SEPARATION
 4 PLANE HL 10 FT. SEPARATION

DEVIATIONS:

- DESIGNER HAS NOT SET BACK ALONG MESA COLLEGE DRIVE
- EXCEEDED THE MAXIMUM LOT DEPTH OF 80 FEET
- BUILDING SETBACKS FOR THE BUILDING FACADE ALONG MESA COLLEGE DRIVE NOT IN STRICT COMPLIANCE WITH REQUIREMENTS PROPOSED

DEVELOPMENT CONDITIONS:

- THE HOURS OF OPERATION SHALL BE LIMITED TO 6 AM TO 12 AM DAILY

TRANSPORTATION NOTES:

- NO SIGN INTERFERENCE WITH THE PROPERTY PROGRAMS IN LINDA VISTA ROAD OR MESA COLLEGE DRIVE ARE PROVIDED

FIRE DEPARTMENT NOTES:

- PROVIDE BUILDING ACCESS WHERE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY FROM FIRE POLICY PLANS SPEC 405-4-4-1
- PROVIDE FIRE ALARMS (BATTERY BACKED OR WIRE) AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS ALONG SIDE OF THE BUILDING

STORM WATER NOTES:

- FROM THE BUILDING OCCUPANCY THE APPLICANT SHALL OBTAIN A PERMIT AND A MAINTENANCE AGREEMENT FOR THE DRAINAGE PERMIT FROM THE CITY OF SAN DIEGO
- FROM THE SOURCE OF ANY CONSTRUCTION RUNOFF, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION RUNOFF MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2 DESIGN - DRAINAGE REGULATIONS OF THE SAN DIEGO MUNICIPAL CODE, AND THE CONSTRUCTION PLAN OR SPECIFICATIONS
- FROM THE SOURCE OF ANY CONSTRUCTION RUNOFF, THE APPLICANT SHALL INCORPORATE ANY OTHER THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION RUNOFF MANAGEMENT PRACTICES (SUDS) OR THE FINAL CONSTRUCTION DRAWINGS, IF ACCORDANCE WITH THE APPROVED WATER QUALITY TECHNICAL REPORT

LINDA VISTA RD. CENTER
GTF PROPERTIES

NORTH

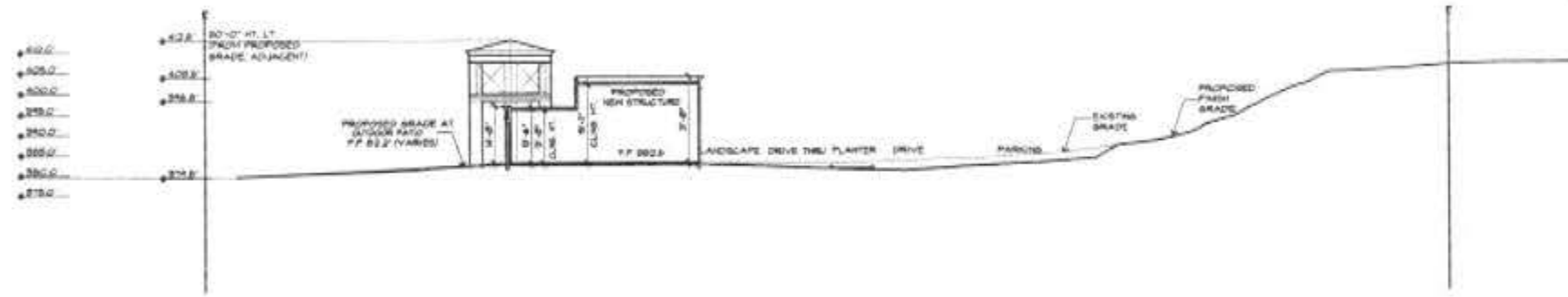
SITE PLAN

Scale 1" = 100'

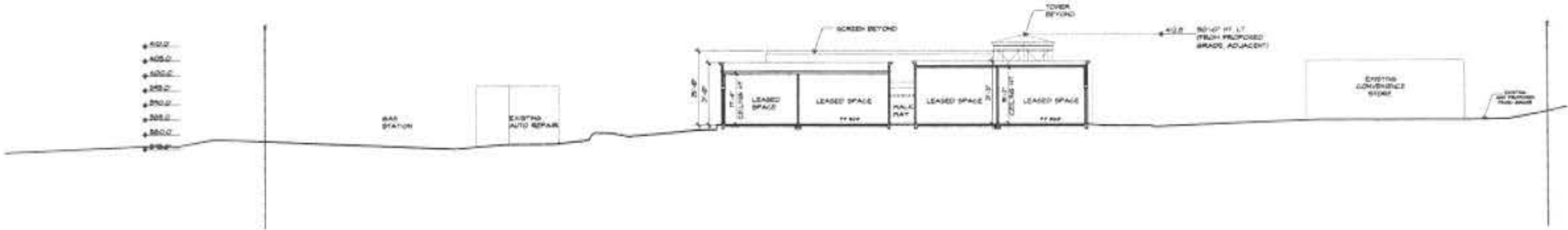
APPROVED: 10/14/20
 DATE: 18 OCT. 2023
 SHEET NO: A1.1
 SITE PLAN
 1 of 11 sheets

KMA
 ARCHITECTURE & ENGINEERING

300 HERRING BLVD
 SAN DIEGO, CA 92161
 TEL: 619.278.7300 FAX: 619.278.7301



1 NORTH SOUTH SECTION
Scale: 1/16" = 1'-0"



2 EAST WEST SECTION
Scale: 1/16" = 1'-0"

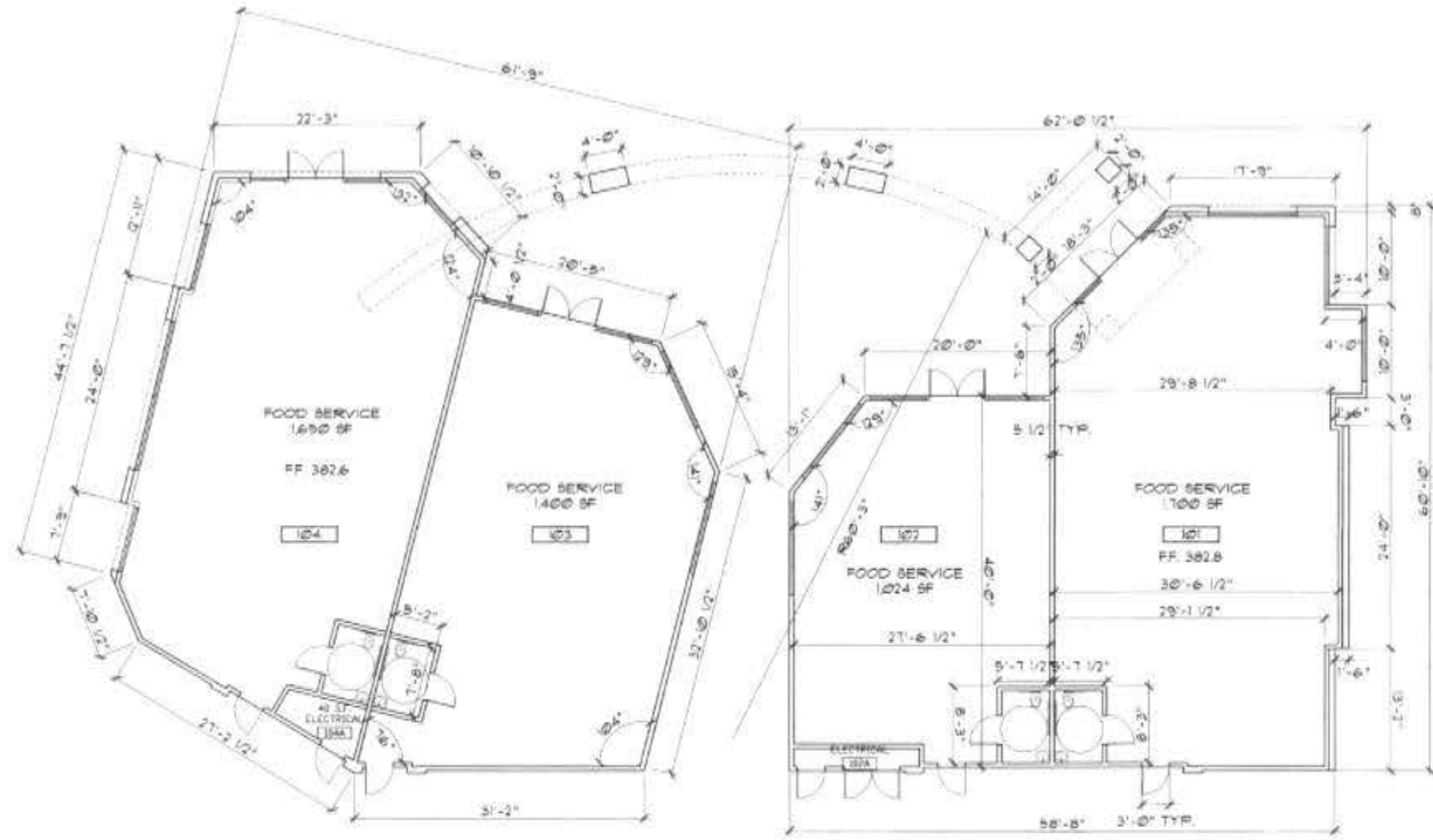
LINDA VISTA RD. CENTER
GTF PROPERTIES

SITE SECTION



Revision	Date	Description

PROJECT: 08.104.00
 DATE: 19 OCT 2017
A2.1
 SITE SECTION
 2 of 2 sheets
 KMA ARCHITECTURE & ENGINEERING
 5175 AVENUE 51/51
 SAN DIEGO, CA 92121
 TEL: 619.291.7710 FAX: 619.275.7710



LINDA VISTA RD. CENTER
GTF PROPERTIES

NORTH
FLOOR PLAN

SCALE 1/8" = 1'-0"

OFFSETTING PLANS:
FACING LINDA VISTA ROAD,
EFFECTIVE BUILDING FACADE=89 FT. WITH 50% BLOWN
2 PLANS, MIN 5 FT. SEPARATION
2 PLANS, MIN 5 FT. SEPARATION
2 PLANS, MIN 5 FT. SEPARATION
2 PLANS, MIN 5 FT. SEPARATION

OFFSETTING PLANS:
FACING MESA COLLEGE DRIVE,
DEVIATES FROM 50% BLOWN
2 PLANS, MIN 5 FT. SEPARATION
2 PLANS, MIN 5 FT. SEPARATION

Project: 05 104 00
Date: 19 OCT 07
Sheet: **A3.1**
FLOOR PLAN
3 of 11 sheets

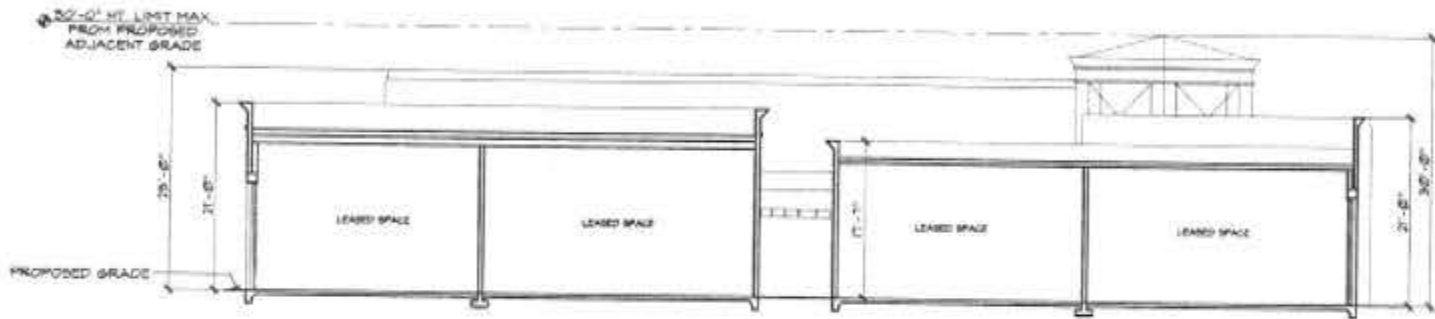
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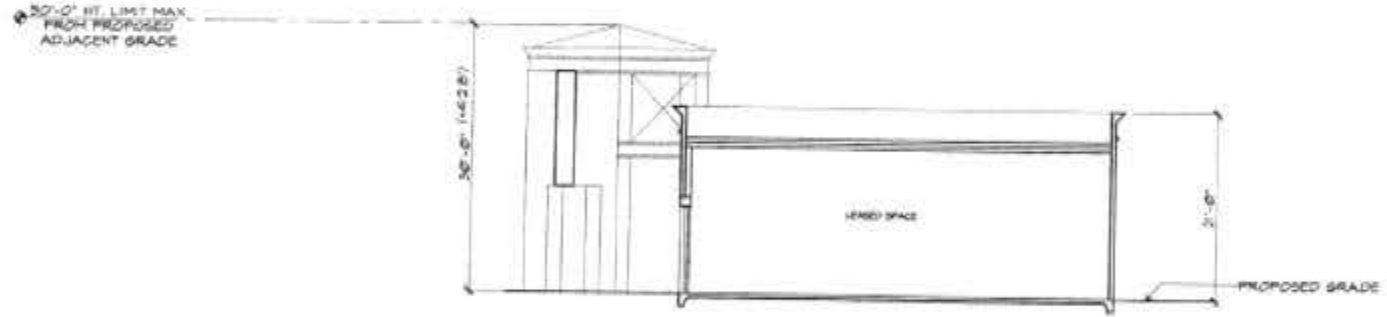
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ENGINEERING © 2008

1517 MIDCITY BLVD.
SAN DIEGO, CA 92113
TEL: 619-779-7710 FAX:
619-276-7715

PLAN VIEW (LAYOUT)



1 EAST WEST SECTION
Scale: 1/8" = 1'-0"



2 NORTH SOUTH SECTION
Scale: 1/8" = 1'-0"

LINDA VISTA RD. CENTER
GTF PROPERTIES

BUILDING SECTIONS

SCALE: 1/8" = 1'-0"

Revision	Date	Description

DATE: 10 OCT 2007

A5.1

SECTIONS

3 of 13 sheets

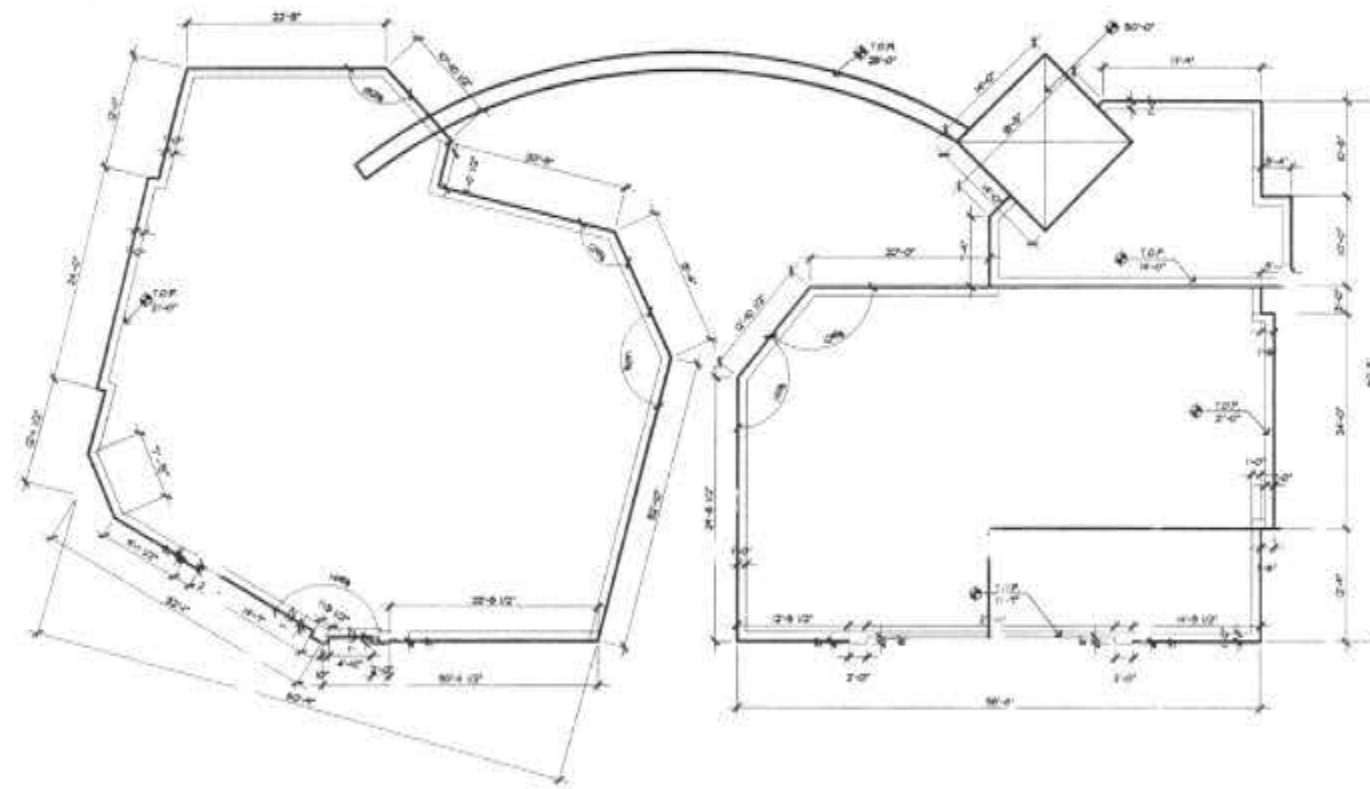
All items, materials, and dimensions shown on these drawings are the property of KMA Architecture & Engineering © 2007

KMA

ARCHITECTURE & ENGINEERING

1010 MONTECALMO BLVD
SAN DIEGO, CA 92116
TEL: 619.276.7710 FAX: 619.276.7715

11/20/2007 10:42:00



LINDA VISTA RD. CENTER
 GTF PROPERTIES

ROOF PLAN

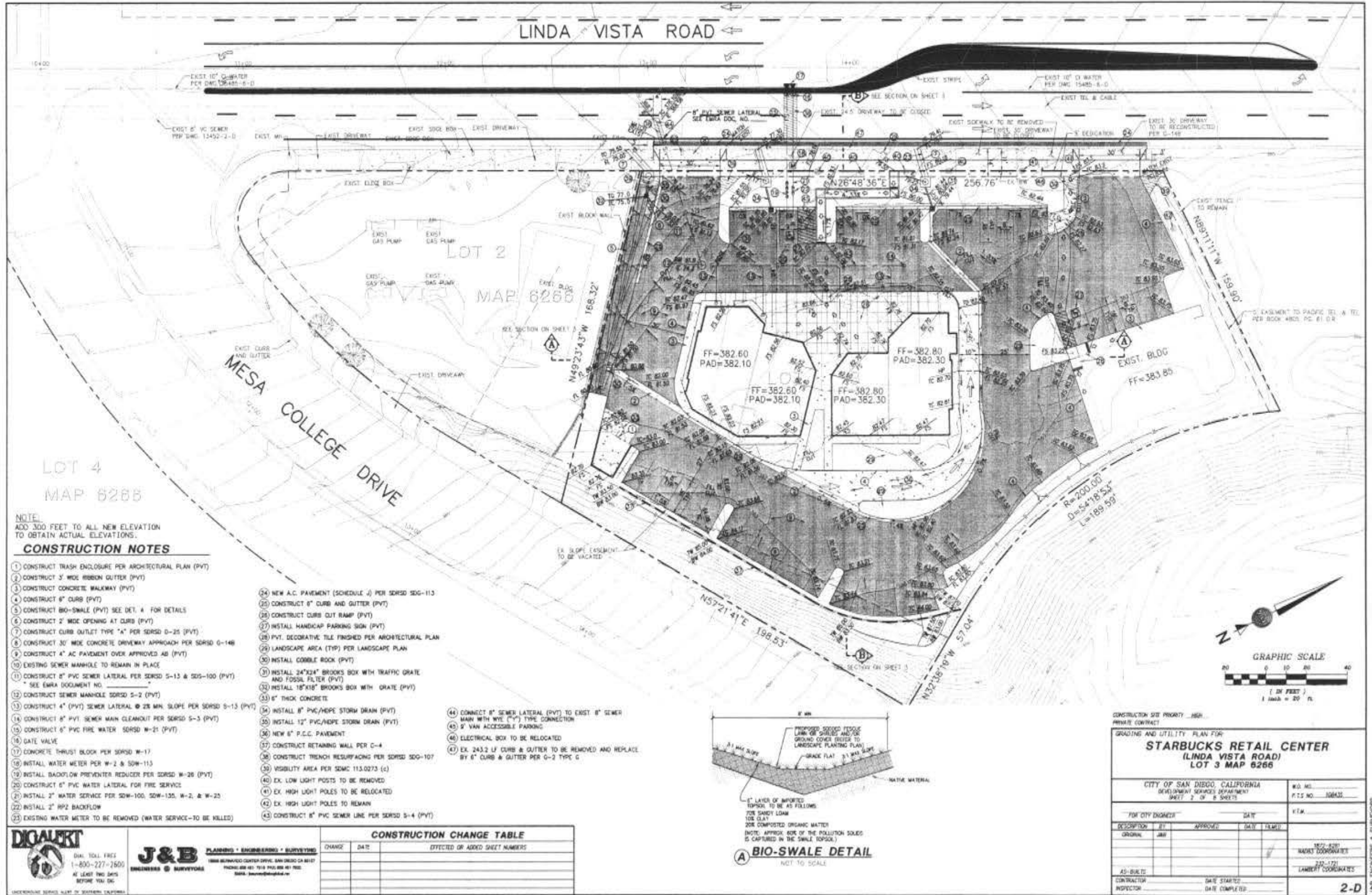
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 DATE: 10 OCT 2007
A6.1
 ROOF PLAN
 2 of 4 sheets

Revision	Date	Description

KMA
 ARCHITECTURE
 & ENGINEERING

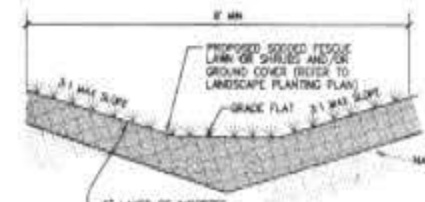
1919 BROADWAY, SUITE 200
 SAN FRANCISCO, CA 94115
 TEL: 415.774.7770 FAX: 415.774.7771



NOTE:
ADD 300 FEET TO ALL NEW ELEVATION
TO OBTAIN ACTUAL ELEVATIONS.

CONSTRUCTION NOTES

- 1 CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLAN (PVT)
- 2 CONSTRUCT 3" WIDE ROBBON GUTTER (PVT)
- 3 CONSTRUCT CONCRETE WALKWAY (PVT)
- 4 CONSTRUCT 6" CURB (PVT)
- 5 CONSTRUCT BIO-SWALE (PVT) SEE DET. A FOR DETAILS
- 6 CONSTRUCT 2" WIDE OPENING AT CURB (PVT)
- 7 CONSTRUCT CURB OUTLET TYPE "A" PER SDRSD 0-25 (PVT)
- 8 CONSTRUCT 30" WIDE CONCRETE DRIVEWAY APPROACH PER SDRSD 0-148
- 9 CONSTRUCT 4" AC PAVEMENT OVER APPROVED AB (PVT)
- 10 EXISTING SEWER MANHOLE TO REMAIN IN PLACE
- 11 CONSTRUCT 8" PVC SEWER LATERAL PER SDRSD 5-13 & SDS-100 (PVT)
* SEE EMRA DOCUMENT NO. _____
- 12 CONSTRUCT SEWER MANHOLE SDRSD 5-2 (PVT)
- 13 CONSTRUCT 4" (PVT) SEWER LATERAL @ 2% MIN. SLOPE PER SDRSD 5-13 (PVT)
- 14 CONSTRUCT 8" PVC SEWER MAIN CLEANOUT PER SDRSD 5-3 (PVT)
- 15 CONSTRUCT 6" PVC FIRE WATER SDRSD W-21 (PVT)
- 16 GATE VALVE
- 17 CONCRETE THRUST BLOCK PER SDRSD W-17
- 18 INSTALL WATER METER PER W-2 & SOW-113
- 19 INSTALL BACKFLOW PREVENTER REDUCER PER SDRSD W-26 (PVT)
- 20 CONSTRUCT 6" PVC WATER LATERAL FOR FIRE SERVICE
- 21 INSTALL 2" WATER SERVICE PER SOW-100, SOW-135, W-2, & W-25
- 22 INSTALL 2" RP2 BACKFLOW
- 23 EXISTING WATER METER TO BE REMOVED (WATER SERVICE-TO BE KILLED)
- 24 NEW A.C. PAVEMENT (SCHEDULE J) PER SDRSD SDG-113
- 25 CONSTRUCT 6" CURB AND GUTTER (PVT)
- 26 CONSTRUCT CURB OUT RAMP (PVT)
- 27 INSTALL HANDICAP PARKING SIGN (PVT)
- 28 PVT. DECORATIVE TILE FINISHED PER ARCHITECTURAL PLAN
- 29 LANDSCAPE AREA (TYP) PER LANDSCAPE PLAN
- 30 INSTALL COBBLE ROCK (PVT)
- 31 INSTALL 24"x24" BROOKS BOX WITH TRAFFIC GRATE AND FOSSIL FILTER (PVT)
- 32 INSTALL 18"x18" BROOKS BOX WITH GRATE (PVT)
- 33 6" THICK CONCRETE
- 34 INSTALL 8" PVC/HOPE STORM DRAIN (PVT)
- 35 INSTALL 12" PVC/HOPE STORM DRAIN (PVT)
- 36 NEW 6" P.C.C. PAVEMENT
- 37 CONSTRUCT RETAINING WALL PER C-4
- 38 CONSTRUCT TRENCH RESURFACING PER SDRSD SDG-107
- 39 VISIBILITY AREA PER SDMC 113.0273 (c)
- 40 EX. LOW LIGHT POSTS TO BE REMOVED
- 41 EX. HIGH LIGHT POLES TO BE RELOCATED
- 42 EX. HIGH LIGHT POLES TO REMAIN
- 43 CONSTRUCT 8" PVC SEWER LINE PER SDRSD 5-4 (PVT)
- 44 CONNECT 8" SEWER LATERAL (PVT) TO EXIST. 8" SEWER MAIN WITH WYE ("Y") TYPE CONNECTION
- 45 9' VAN ACCESSIBLE PARKING
- 46 ELECTRICAL BOX TO BE RELOCATED
- 47 EX. 243.2 LF CURB & GUTTER TO BE REMOVED AND REPLACE BY 6" CURB & GUTTER PER G-2 TYP. C



BIO-SWALE DETAIL
NOT TO SCALE

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

DIGIART
DIG. TOLL FREE
1-800-277-2600
AT LEAST TWO DAYS
BEFORE YOU DIG

J&B PLANNING • ENGINEERING • SURVEYING
1000 BURNHAMPTON CENTER DRIVE, SAN DIEGO, CA 92107
PHONE: 619 481 7113 FAX: 619 481 7102
WWW.JANDBENGINEERS.COM

CONSTRUCTION SITE PRIORITY: HIGH
PRIVATE CONTRACT

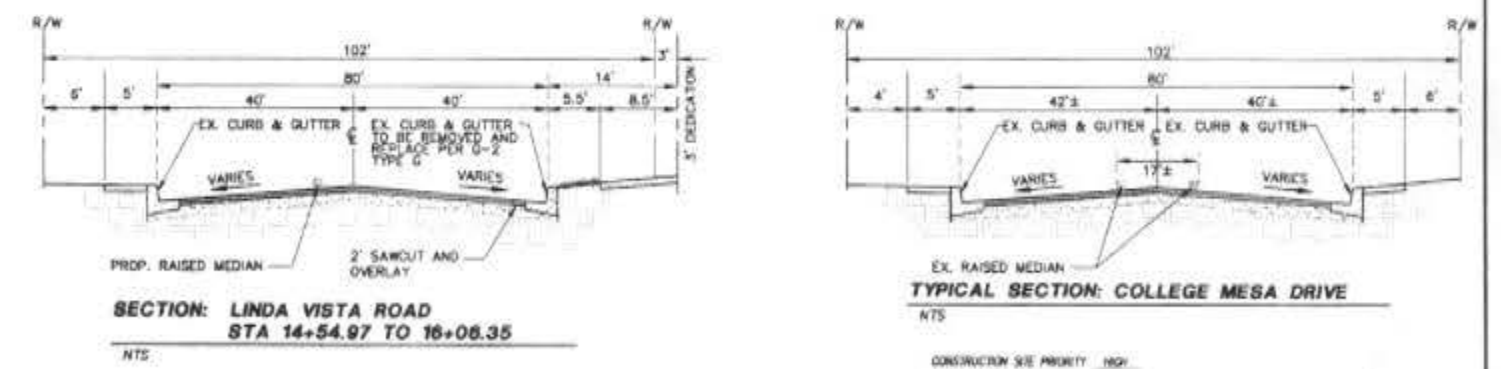
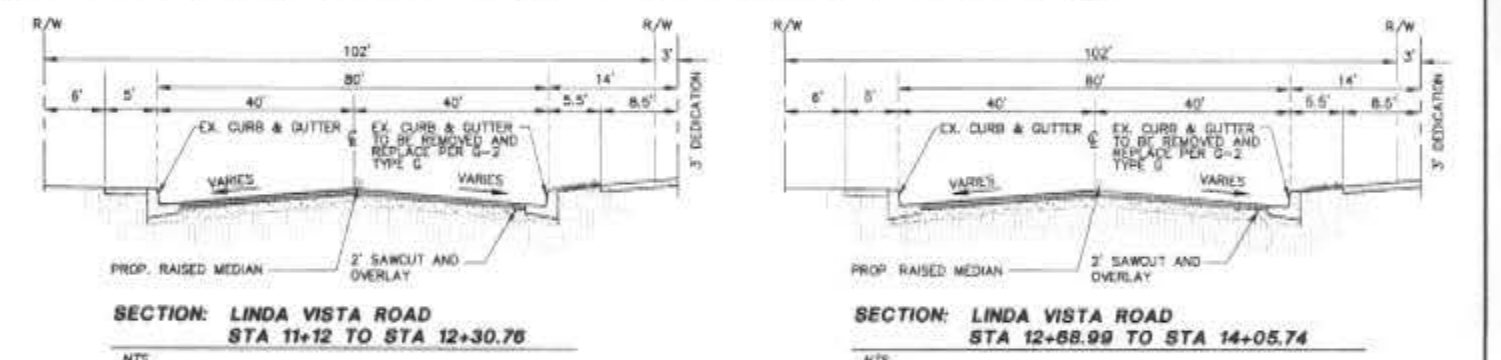
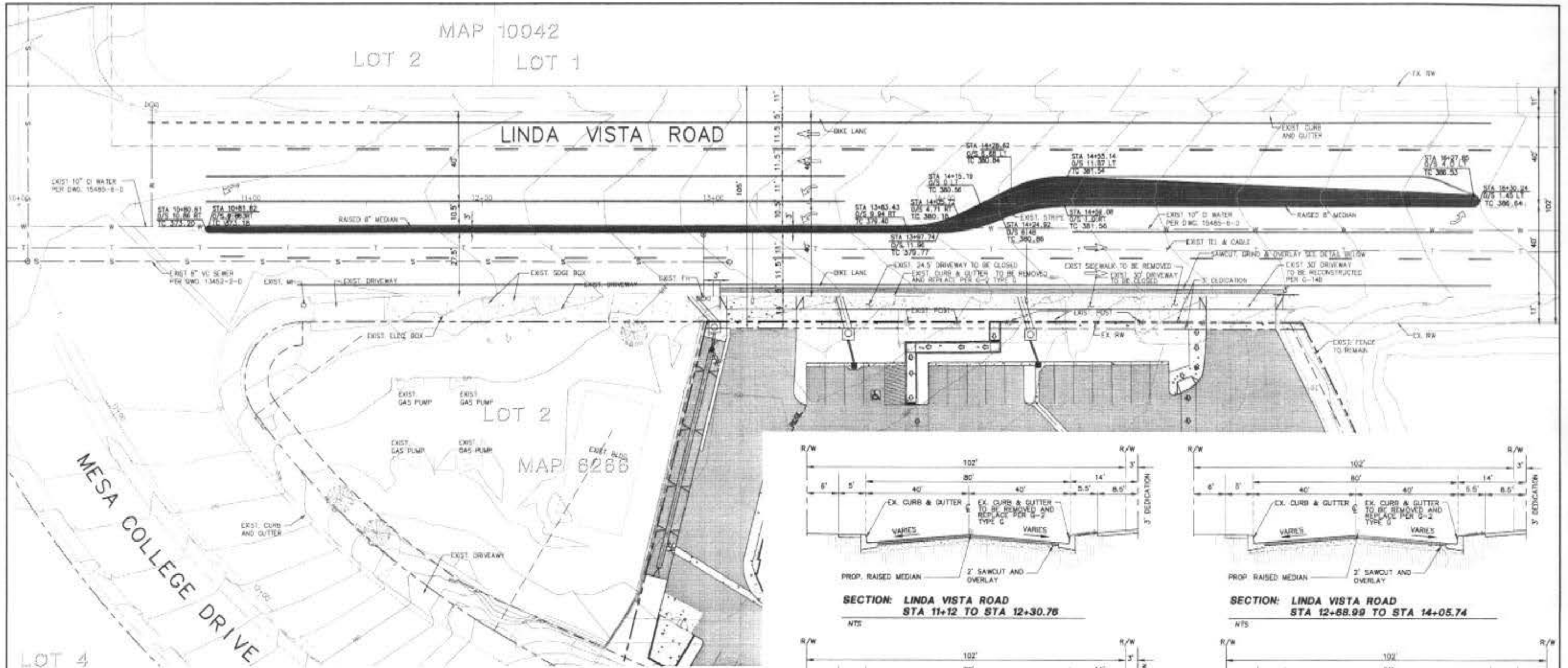
GRADING AND UTILITY PLAN FOR
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 8 SHEETS		W.D. NO. _____ P.T.S. NO. 108433
FOR CITY ENGINEER	DATE	F.T.M.
DESCRIPTION	BY	APPROVED
ORIGINAL	JMB	
AS-BUILT		
CONTRACTOR	DATE STARTED	DATE COMPLETED
INSPECTOR		

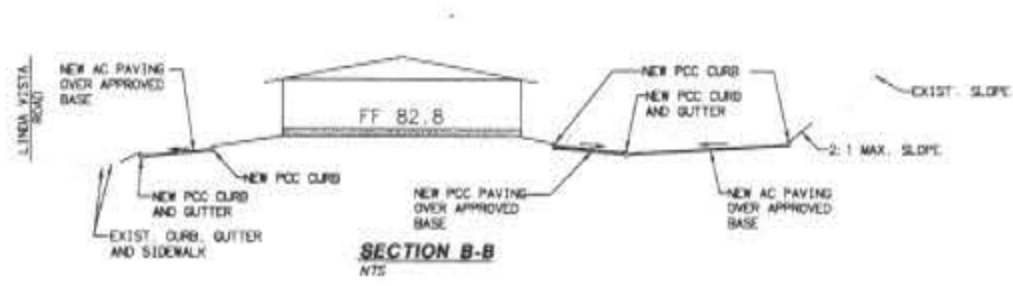
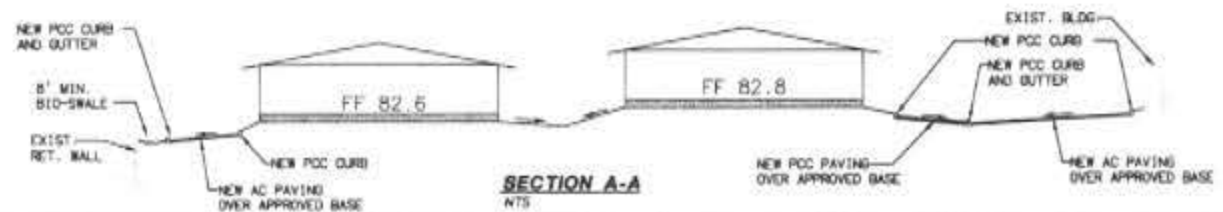
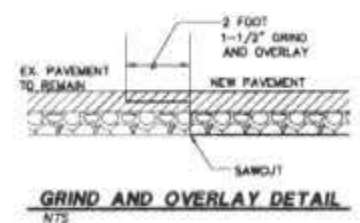
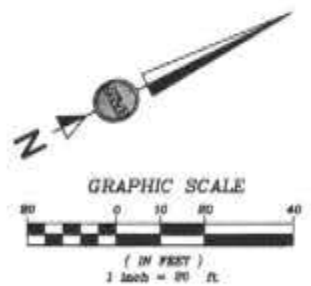
1077-8201
NAD83 COORDINATES
212-1721
LAMBERT COORDINATES

2-D





NOTE:
ADD 300 FEET TO ALL NEW ELEVATION
TO OBTAIN ACTUAL ELEVATIONS.



CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

CONSTRUCTION SITE PRIORITY HIGH
PRIVATE CONTRACT

ROAD IMPROVEMENT PLAN FOR:
**STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 8286**

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 3 OF 8 SHEETS

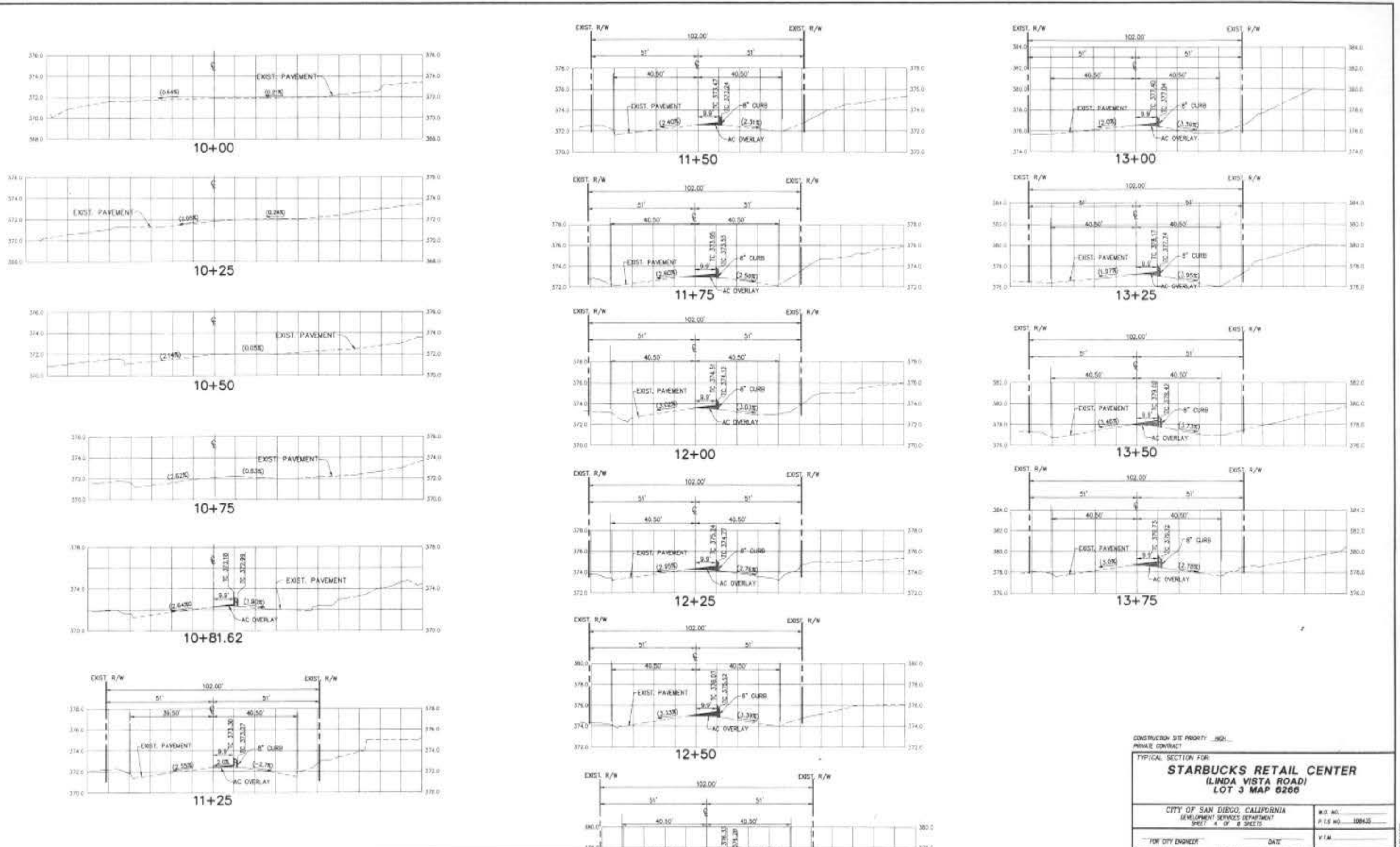
FOR CITY ENGINEER	DATE	VTM
DESIGNED BY	APPROVED	DATE FILMED
ORIGINAL	488	
AS-BUILT		
CONTRACTOR	DATE STARTED	
INSPECTOR	DATE COMPLETED	

WD NO. _____
P.L.S. NO. 1588AN
1871-0101
NAD83 COORDINATES
810-1771
LAMBERT COORDINATES

3-D

DIGALERT
DIAL TOLL FREE
1-800-227-2600
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

J&B PLANNING • ENGINEERING • SURVEYING
ENGINEERS & SURVEYORS
1888 BAYVIEW DRIVE, SAN DIEGO, CA 92112
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DIGALERT
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 1-800-277-2600
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J&B PLANNING • ENGINEERING • SURVEYING
 1800 WILSON CENTER DRIVE, SAN DIEGO, CA 92117
 ENGINEERS & SURVEYORS
 PHONE: 619-441-7918 FAX: 619-441-7905
 WWW: JandBgroup.com

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

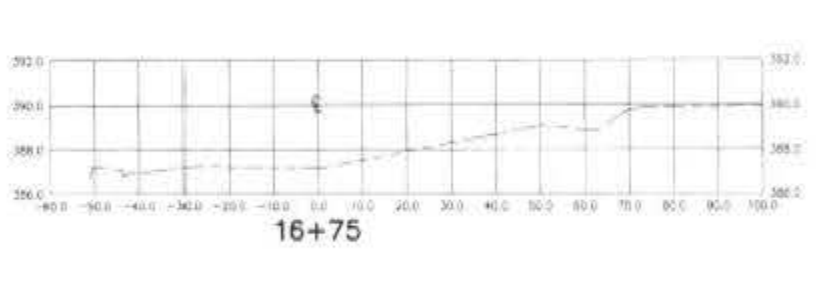
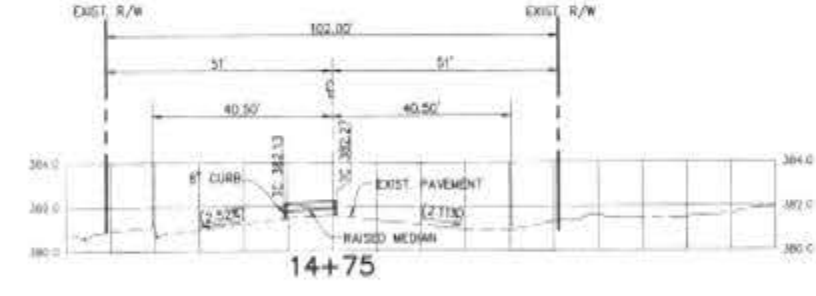
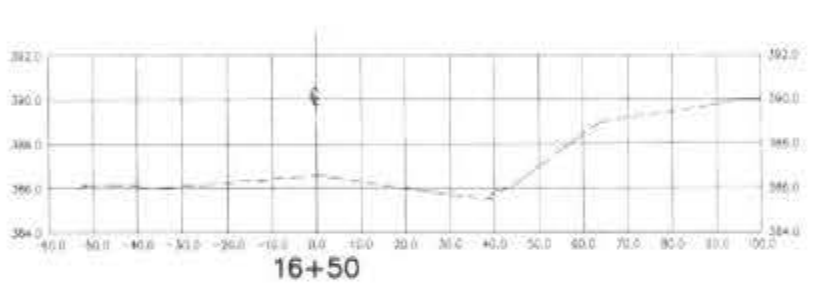
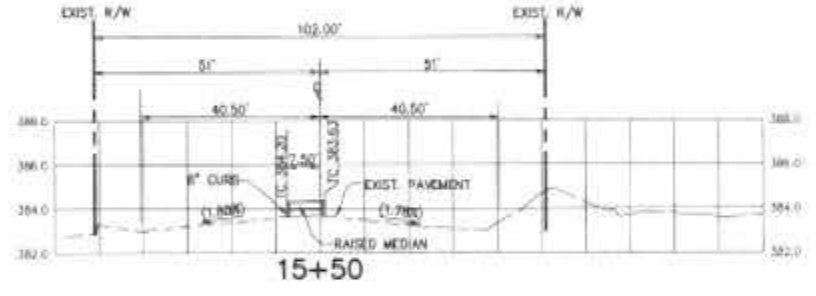
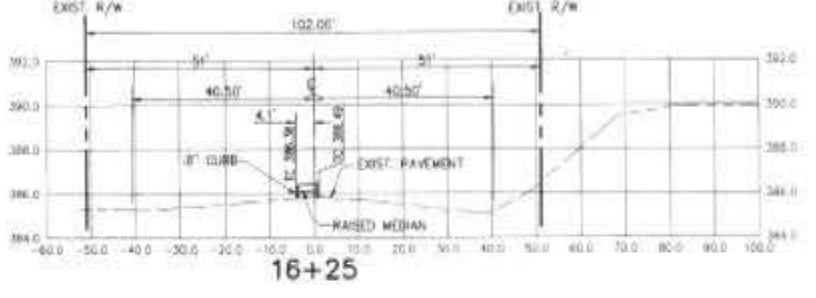
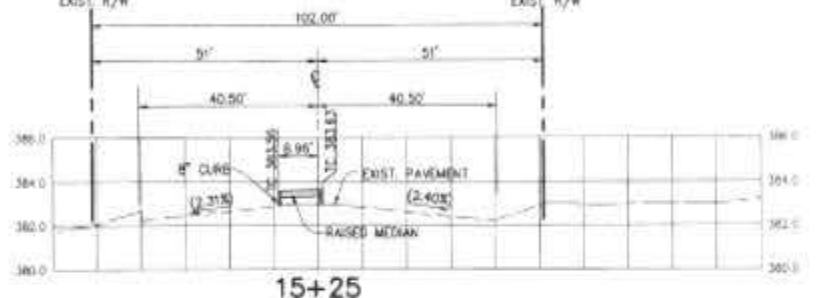
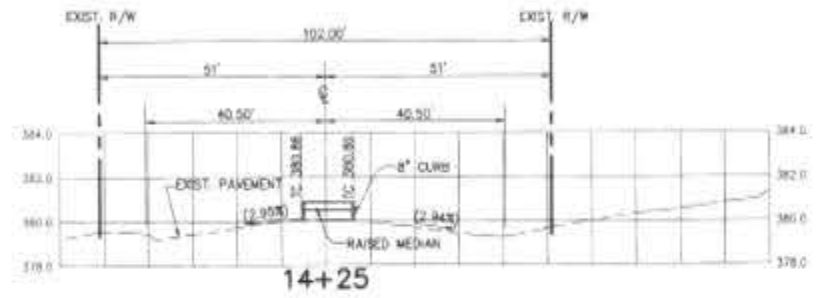
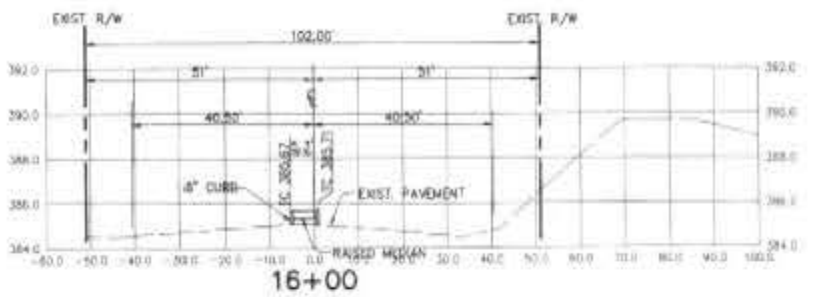
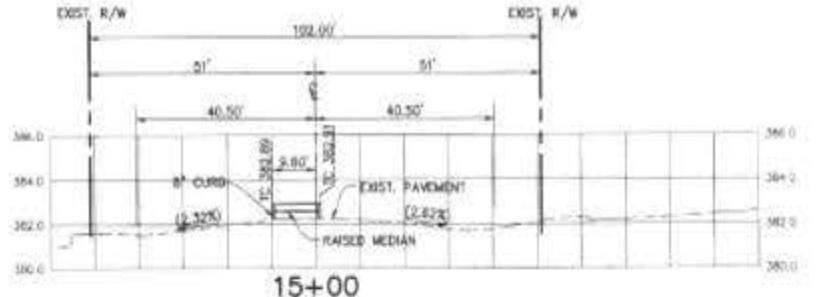
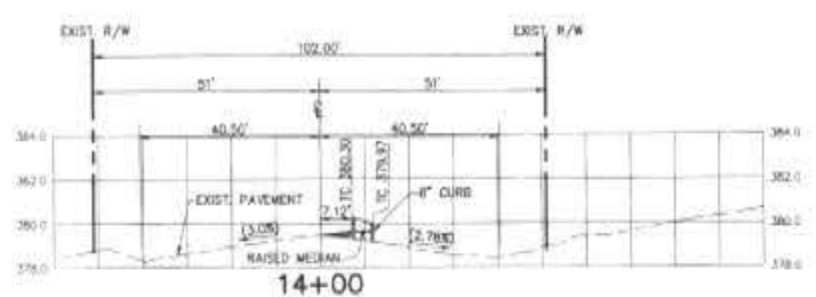
CONSTRUCTION SITE PRIORITY 1921
 PRIME CONTRACT

TYPICAL SECTION FOR
STARBUCKS RETAIL CENTER
 (LINDA VISTA ROAD)
 LOT 3 MAP 8266

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 4 OF 8 SHEETS		W.D. NO. _____ P.L.S. NO. 108430
FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION	BY	APPROVED
ORIGIN	JAB	
AS-BUILT		
CONTRACTOR	DATE STARTED	1872-600
INSPECTOR	DATE COMPLETED	WADSWORTH
		231-1721
		LABRITY COORDINATES

4-D

J&B ENGINEERS & SURVEYORS
 (619) 441-7918



CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

CONSTRUCTION SITE PRIORITY 1801 PRIVATE CONTRACT			
TYPICAL SECTION FOR STARBUCKS RETAIL CENTER (LINDA VISTA ROAD) LOT 3 MAP 6286			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 5 OF 8 SHEETS		R.O. NO. P.L.S. NO. 108530	
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE FILLED
ORIGINAL	JMB		
AS-BUILT		1872-628 NAD83 COORDINATES	
CONTRACTOR		215-1271 LAMBERT COORDINATES	
INSPECTOR		DATE STARTED	DATE COMPLETED

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(619) 451-7518

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION (CWL) BMPs AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMPs.
- FOR STORM DRAIN INLET, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT SLOPES ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DUES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREETS DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PROLONGED RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC WALKPAST ONTO AREAS WHERE IMPROVED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED FOR THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL, SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

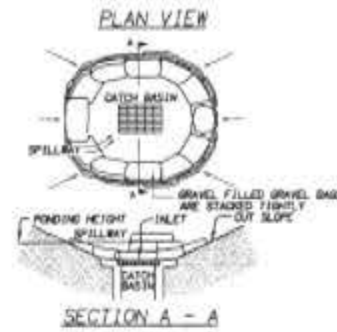
- STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 3 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES: DRAINAGE BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMMA), COVENANTS CONDITIONS AND RESTRICTIONS (CC&R'S), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, FOR THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

PROPOSED OPERATION AND MAINTENANCE PROCEDURE DETAILS

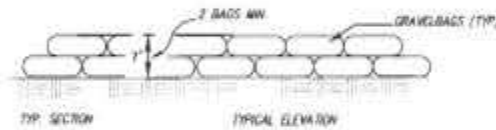
POST-CONSTRUCTION PERMANENT BMP'S	OWN RESPONSIBLE PARTY DESIGNER: CYNTHIA THASON				SHEET #
	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	SERVICE FREQUENCY	
CB INSERT FOSSIL FILTER	3/YR	3/YR	BMP'S SPECS FOR FLOGARD + PLUS	3/YR	6
GRASS SWALE	2/YR	2/YR	VISUAL OBSERVATION OF VEGETATIVE COVER, DEBRIS, SEDIMENTS OR LITTER ACCUMULATION	3/YR	2
TRASH STORAGE	1/WEEK	1/WEEK	WASTE MANAGEMENT CONTRACT	1/WEEK	2
STENCILING AND SIGNAGE @ CATCH BASIN	1/WEEK	1/WEEK	VISUAL OBSERVATION	AS NECESSARY	6



- NOTES:**
- PLACE CLEAR TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF
 - GRAVEL BAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 - LEAVE ONE GRAVEL BAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVEL WAY IMMEDIATELY.

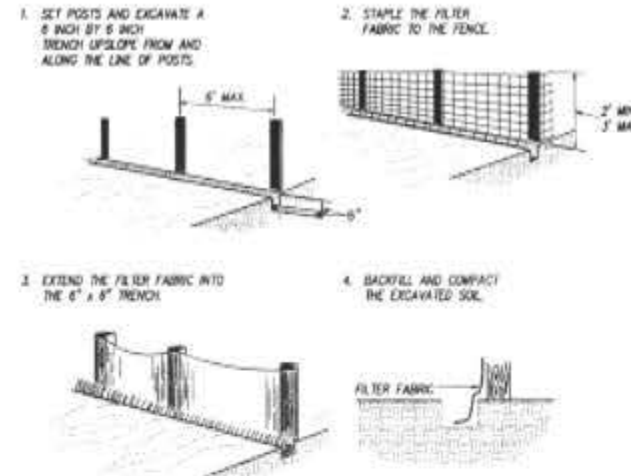
B CATCH BASIN SEDIMENT BARRIER (GRAVEL BAGS)

N.T.S.



C TYPICAL GRAVEL BAG BARRIER

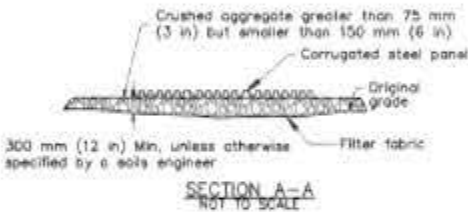
N.T.S.



D SILTY FENCE DETAIL

N.T.S.

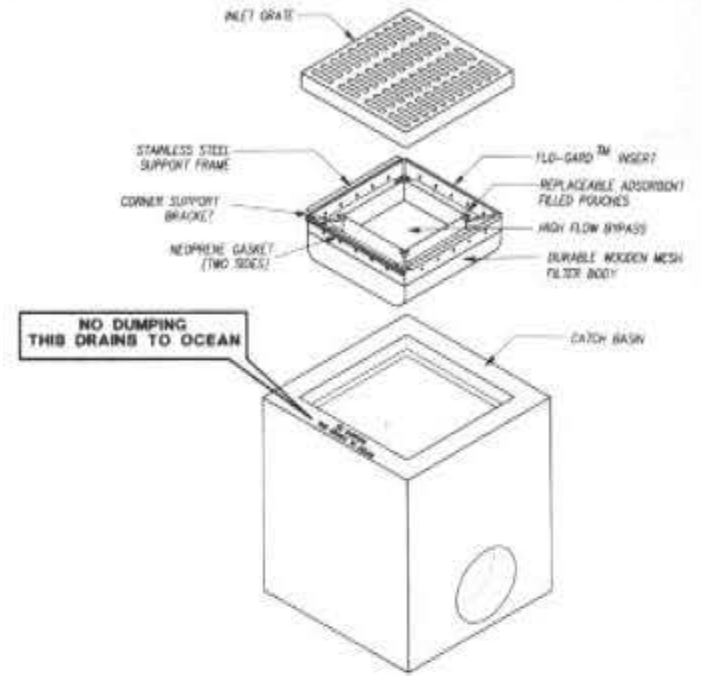
NOTE: THE SILTY FENCE SHOULD BE SUPPORTED BY A WIRE MESH IF THE FILTER FABRIC DOES NOT HAVE SUFFICIENT STRENGTH AND BURSTING STRENGTH CHARACTERISTICS (AS RECOMMENDED BY THE FABRIC MANUFACTURER).



E STABILIZED CONSTRUCTION ENTRANCE WITH TIRE WASH (TC-1 & TC-3)

N.T.S.

NOTE: Many designs can be field fabricated, or fabricated units may be used.



F CATCH BASIN FOSSIL FILTER INSERT

(FLO-GARD FLAT GRATED OR EQUIVALENT)
N.T.S.
PRIVATE

MODEL No.	INLET ID (in x in)	GRATE OD (in x in)	SOLIDS STORAGE CAP. (cu ft)	FILTERED FLOW (cfs)	TOTAL BYPASS CAP. (cfs)
FGP-24F	24 X 24	26 X 26	2.2	1.5	6.1

- NOTES:**
- FLOGARD FILTER BODY IS PREFABRICATED FROM POLYPROPYLENE WOVEN MONOFILAMENT GEOTEXTILE.
 - ALL METAL COMPONENTS SHALL BE STAINLESS STEEL (TYPE 304).
 - REFER TO APPLICATION CHART FOR CATCH BASIN AND FILTER SIZING.
 - FILTER MEDIUM SHALL BE FOSSIL ROCK, INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - REFER TO MANUFACTURER'S RECOMMENDATIONS FOR MAINTENANCE PROGRAM.
 - FLOGARD INSERTS MAY BE INSTALLED (WITHOUT ADSORBENT POUCHES) DURING COURSE OF CONSTRUCTION AS A SEDIMENTATION CONTROL DEVICE.
 - FLOGARD FILTER INSERTS ARE AVAILABLE IN THE STANDARD SIZES OR IN CUSTOM SIZES. CALL FOR DETAILS ON CUSTOM SIZE INSERTS AT (800) 579-8812.

FLO-GARD™ CATCH BASIN FILTER INSERT
(Frame Mount)
FLAT-GRATED INLET
FLO-GARD™
10000 Corporate Blvd., Santa Fe, CA 95070-8918
Website: www.flogard.com
Contact Sales Dept.
Tel: (707) 524-0155
email: flogard@flogard.com

CONSTRUCTION SITE PRIORITY: HIGH
PRIVATE CONTRACT

EROSION CONTROL NOTES FOR:
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 6 OF 8 SHEETS

NO. NO. _____
P.T.S. NO. 108435

FOR CITY ENGINEER _____ DATE _____
V.T.M. _____

DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	J&B			

AS-BUILT IS _____
NAD83 COORDINATES
1872-6381
LAURENT COORDINATES
835-1220

CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

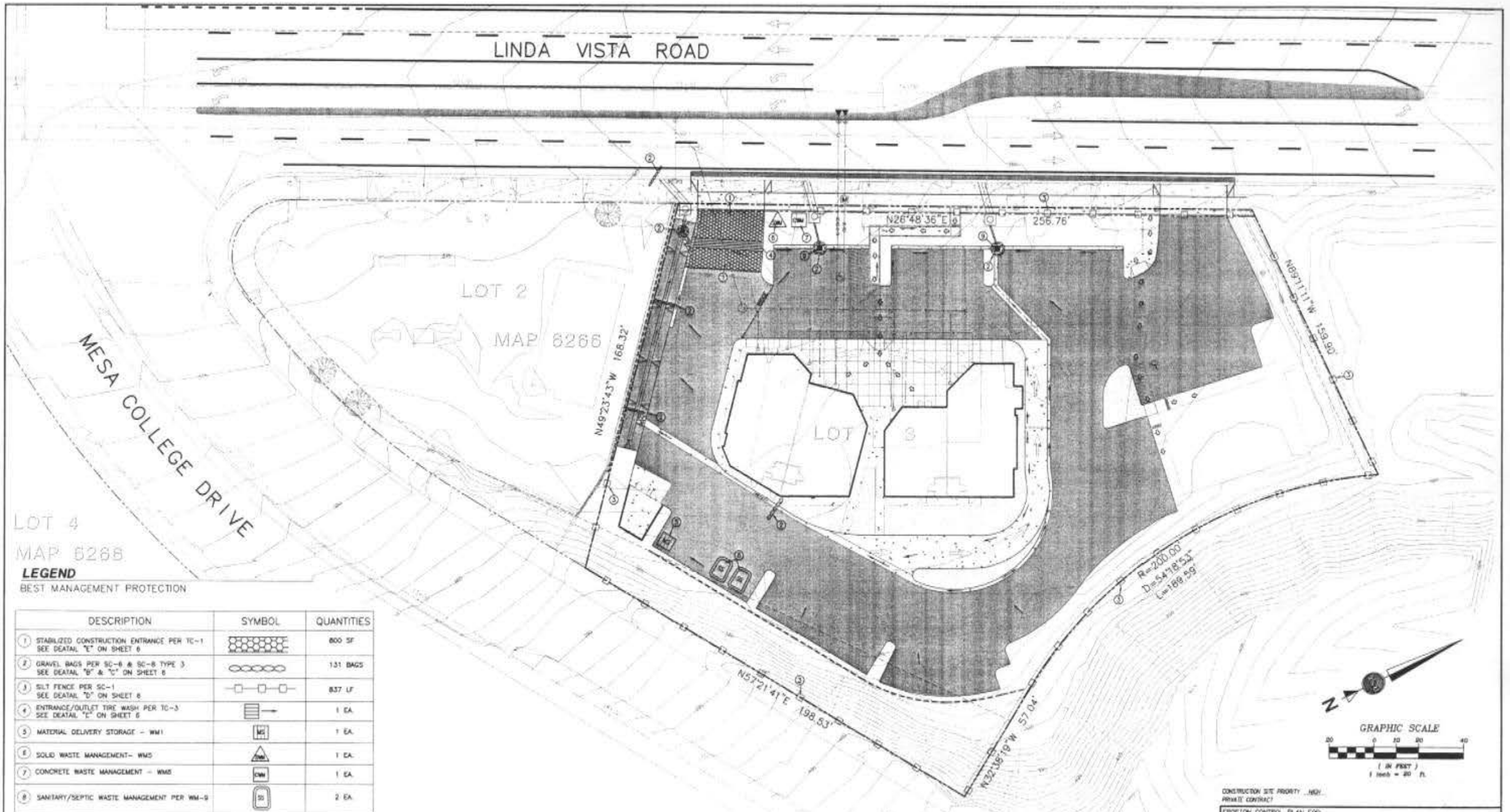
6-D

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J&B PLANNING • ENGINEERING • SURVEYING
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WWW.JANDBENGINEERING.COM

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS



LOT 4
MAP 6288

LEGEND
BEST MANAGEMENT PROTECTION

DESCRIPTION	SYMBOL	QUANTITIES
1 STABILIZED CONSTRUCTION ENTRANCE PER TC-1 SEE DETAIL "E" ON SHEET 6		800 SF
2 GRAVEL BAGS PER SC-6 & SC-8 TYPE 3 SEE DETAIL "B" & "C" ON SHEET 6		131 BAGS
3 SILT FENCE PER SC-1 SEE DETAIL "D" ON SHEET 6		837 LF
4 ENTRANCE/OUTLET TIRE WASH PER TC-3 SEE DETAIL "L" ON SHEET 6		1 EA.
5 MATERIAL DELIVERY STORAGE - WM1		1 EA.
6 SOLID WASTE MANAGEMENT - WMS		1 EA.
7 CONCRETE WASTE MANAGEMENT - WMC		1 EA.
8 SANITARY/SEPTIC WASTE MANAGEMENT PER WM-8		2 EA.

POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP's)

DESCRIPTION	SYMBOL	QUANTITIES
9 FOSSIL FILTER INSERT SEE DETAIL "T" ON SHEET 6		2 EA.



CONSTRUCTION SITE PRIORITY HIGH
PRIVATE CONTRACT

EROSION CONTROL PLAN FOR
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6288

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 7 OF 8 SHEETS	PROJECT NO. P.D. NO. 108435
FOR CITY ENGINEER: _____ DATE _____	V.T.M. _____
DESCRIPTION BY APPROVED DATE FILED	1472-6201 NAD83 COORDINATES
AS-BUILT	232-1721 LAMBERT COORDINATES
CONTRACTOR: _____ DATE STARTED: _____	INSPECTOR: _____ DATE COMPLETED: _____

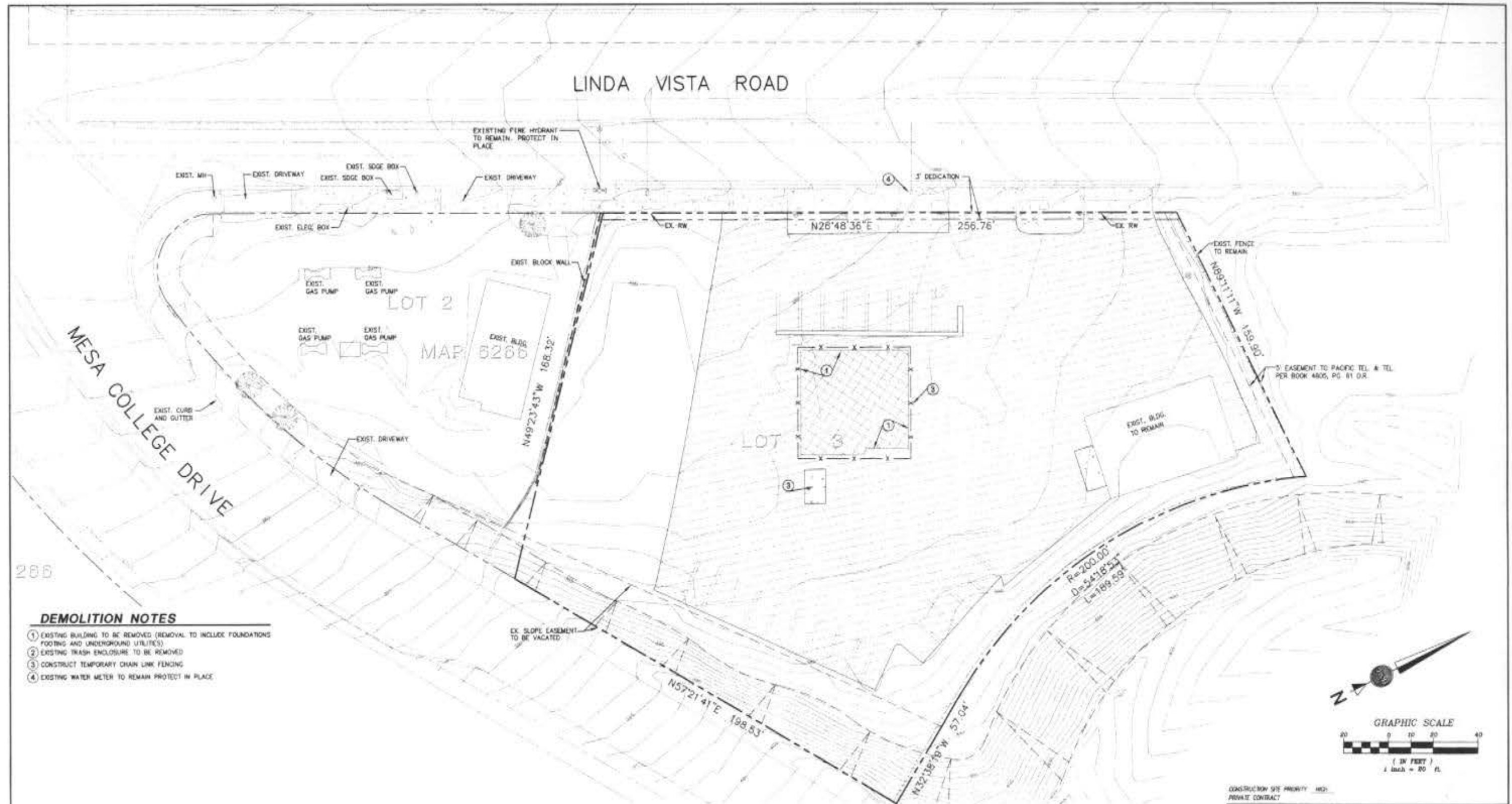
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1888 BURNBACH CANYON DRIVE, SAN DIEGO, CA 92128
PHONE: 619-451-7914 FAX: 619-451-7915
EMAIL: JBSurvey@jandb.com

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

J&B ENGINEERS • SURVEYORS
(619)451-7914



DEMOLITION NOTES

- 1 EXISTING BUILDING TO BE REMOVED (REMOVAL TO INCLUDE FOUNDATIONS FOOTING AND UNDERGROUND UTILITIES)
- 2 EXISTING TRASH ENCLOSURE TO BE REMOVED
- 3 CONSTRUCT TEMPORARY CHAIN LINK FENCING
- 4 EXISTING WATER METER TO REMAIN PROTECT IN PLACE



CONSTRUCTION SITE PRIORITY HIGH
PRIVATE CONTRACT

DEMOLITION PLAN (PHASE 1) FOR
STARBUCKS RETAIL CENTER
(LINDA VISTA ROAD)
LOT 3 MAP 6266

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 8 OF 8 SHEETS

FOR CITY ENGINEER	DATE	V.M.
DESCRIPTION BY	APPROVED	DATE FILMED
ORIGINAL	JAB	
AS-BUILT		
CONTRACTOR	DATE STARTED	
INSPECTOR	DATE COMPLETED	

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CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS



DEMOLITION NOTES

- 1 EXISTING AC PAVEMENT AND BASE TO BE REMOVED
- 2 EXISTING PCC CURB/BERM TO BE REMOVED
- 3 EXISTING 30' PCC DRIVEWAY TO BE CLOSED (REPLACE CURB & GUTTER AND SIDEWALK PER APPROPRIATE CITY STANDARD DRAWINGS)
- 4 EXISTING WATER METER TO REMAIN PROTECT IN PLACE
- 5 EXISTING 24.5' PCC DRIVEWAY TO BE CLOSED (REPLACE CURB & GUTTER AND SIDEWALK PER APPROPRIATE CITY STANDARD DRAWINGS)
- 6 EXISTING LOW LIGHT POSTS TO BE REMOVED (4 EA.)
- 7 EXISTING HIGH LIGHT POLES TO BE RELOCATED (2 EA.)
- 8 EXISTING WATER METER TO BE REMOVED (WATER SERVICE-TO BE KILLED)
- 9 EXISTING HIGH LIGHT POLE TO REMAIN (1 EA.)
- 10 EXISTING ELECTRICAL BOX TO BE RELOCATED
- 11 EXISTING TRASH ENCLOSURE TO BE REMOVED



CONSTRUCTION SITE PRIORITY - MDH		PRIVATE CONTRACT	
DEMOLITION PLAN (PHASE 2) FOR			
STARBUCKS RETAIL CENTER			
(LINDA VISTA ROAD)			
LOT 3 MAP 6266			
CITY OF SAN DIEGO, CALIFORNIA		W.D. NO.	
DEVELOPMENT SERVICES DEPARTMENT		P.T.S. NO. 10810	
SHEET 6 OF 8 SHEETS		V.T.M.	
FOR CITY ENGINEER	DATE		
DESCRIPTION BY	APPROVED	DATE	YEAR
ORIGINAL JAB			
AS-BUILT			
CONTRACTOR	DATE STARTED	1972-828	
INSPECTOR	DATE COMPLETED	NAD83 COORDINATES	
		100-1221	
		LABORER COORDINATES	
		9-D	

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

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REVISIONS	
1-11 OF REV PER CITY COMMENTS	
12-11 OF REV PER CITY COMMENTS	

TESHIMA DESIGN GROUP
 1000 15th St, Suite 100
 San Diego, CA 92101
 TEL: 619-594-1000
 FAX: 619-594-1001
 WWW: WWW.TESHIMADG.COM
 DATE: 06-16-08
 TDD JOB NO. 08-004



LANDSCAPE PLAN DEVELOPMENT PLAN

**LINDA VISTA ROAD RETAIL CENTER
 7631 LINDA VISTA ROAD
 SAN DIEGO, CALIFORNIA**

Date	6-16-08
Name	AS SHOWN
Drawn	MS
Job	08-004
Sheet	1

PLANT LEGEND

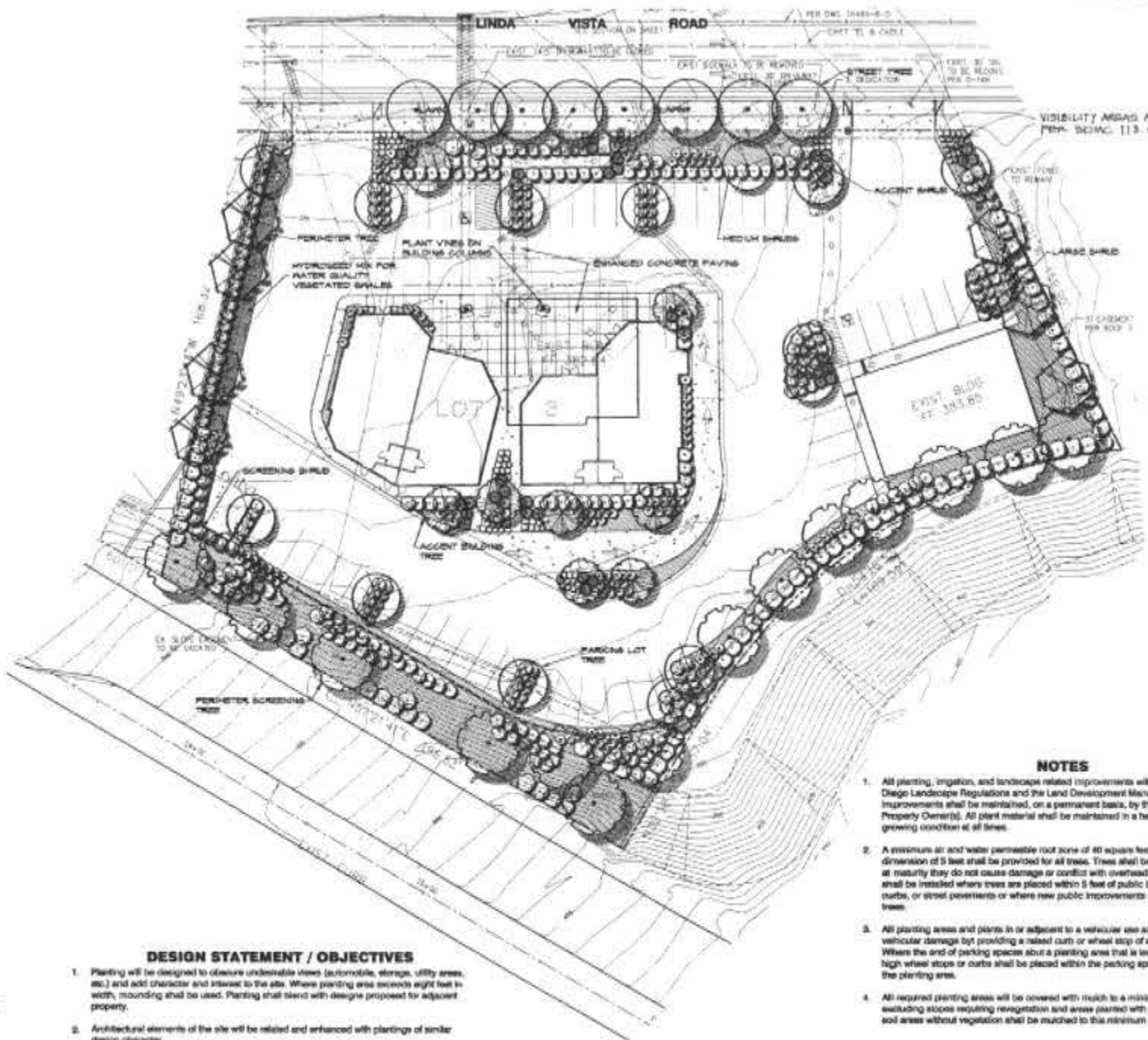
STREET TREE - 100% 26" BOX				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
PLATANUS HISPANICA 'ALAMO'	BYLAMPSON	26" BOX	4	
ACCENT BUILDING TREE - 100% 26" BOX				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
FRAXILIS CORYMBOSA 'KRALTER VESUVIUS'	PURPLE PLUM	26" BOX	4	
FRAXILIS CORYMBOSA 'BRADFORD'	ORNAMENTAL PEAR	26" BOX	4	
PARKING LOT TREE - 100% 26" BOX				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
CUPANOPSIS ANACARDIODES	CARROT HOOD TREE	26" BOX	1	
KUSUNERUA SPINATA	CHINESE PLUME TREE	26" BOX	4	
PERIMETER SCREENING TREE - 100% 24" BOX				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
TRISTANIA CONFERTUS	BRISBANE BOX	24" BOX	2	
POPULUS FREMONTI	WESTERN COTTONWOOD	24" BOX	1	
PERIMETER TREE - 100% 26" BOX				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
LIQUIDAMBAR STRYACIFLUA 'BURKARD'	AMERICAN SHEET BLM	26" BOX	4	
CUPANOPSIS ANACARDIODES	CARROT HOOD TREE	26" BOX	2	
MEDIUM SHRUB - 100% 5 GALLON				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	5 GALLON	18	MAINTAIN AT 42" HIGH HEDGE
RAPHANOLIS INDICA CLARA	INDIAN HAWTHORN	5 GALLON	18	PLANT 24" O.C. MAINTAIN AT 42" HIGH HEDGE PLANT 24" O.C.
ACCENT SHRUB - 100% 15 GALLON				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
PHORADENDRON	NEW ZEALAND FLAX	15 GALLON	22	MAINTAIN AT 48" HIGH HEDGE PLANT 24" O.C.
PARKING ISLAND SHRUBS - 100% 15 GALLON				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
RAPHANOLIS INDICA CLARA	INDIAN HAWTHORN	15 GALLON	18	MAINTAIN AT 42" HIGH HEDGE
PITTOSPORUM TOBIANA VAR. VARIEGATA	VARIEGATED PITTOSPORUM	15 GALLON	18	PLANT 24" O.C.
SCREENING SHRUB - 100% 5 GALLON				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
PODOCARPUS HENKELII	KEPPING YEW	5 GALLON	22	PLANT AT 4" O.C.
PRUNUS CAROLINA 'BRIGHT N' TIGHT'	CAROLINA LAUREL CHERRY	5 GALLON	22	MAINTAIN AS 40" HIGH HEDGE PLANT AT 4" O.C.
LARGE SHRUBS 100% 5 GALLON				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
PITTOSPORUM TOBIANA VARIEGATA	VARIEGATED PITTOSPORUM	5 GALLON	50	MAINTAIN AT 42" HIGH HEDGE
PIRROSA PRASERL	RED TIP PHOTINIA	5 GALLON	50	PLANT 24" O.C.
SMALL SHRUB - 100% 5 GALLON				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
RAPHANOLIS INDICA 'BALLEENA'	INDIAN HAWTHORN	5 GALLON	60	
NANDINA DOMESTICA 'SILVERHEATH'	DIARF HEAVENLY BAMBOO	5 GALLON	60	
PERENNIALS - 100% 1 GALLON				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
AMARANTHUS PETER PAN	LLY-OF-THE-HEIL	1 GALLON	30	
HEBERCALLIS HYBRIDS	DAY LILY	1 GALLON	30	
LIROPE HUSCAR	BIG BLUE LILY TURF	1 GALLON	30	
VINES				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
DIPTERIS 'NIVERSA'	ROYAL TRUMPET VINE	5 GALLON	2	REMOVE FROM NURSERY STAKE AND ATTACH TO COLUMN
GROUNDCOVERS				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
TRICHOPOGON JASMINOIDES	STAR JASMINE	PLANT	PLANT AT 12" O.C.	
HYPOCHOERIS FAVICOLLUM 'TRIK'	TRIK HYPOCHOERIS	PLANT	PLANT AT 12" O.C.	
PERILOCHUS MELATICH 'BALKAN'	TRIV BALKANUM	PLANT	PLANT AT 12" O.C.	
LAWN				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
PERGOLA BLEND	SHARP MARATHON	500		
HYDROSEED MIX FOR WATER QUALITY VEGETATED SHALES				
BOTANICAL NAME	COMMON NAME	SIZE	QTY	NOTES
PERSTICA RUBRA	CHINESE FENCE	HYDROSEED	50%	
PERSTICA LONGIFOLIA	HARD FENCE	HYDROSEED	25%	
PERSTICA OVINA	SHEEP PERSTICA	HYDROSEED	25%	

HYDROSEED MIX AVAILABLE AT AARONS-TRC 800-666-6666 PHONE (760) 874-0888 SLOPE 5:1 V:1

HYDROSEED MIX APPLICATION:
 SEED RATE: 500 LBS PER ACRE
 MULCH: 500 POUNDS MULCH 300 LBS PER ACRE
 SLOPE: M-SLOPE: 50 LBS PER ACRE

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
Traffic signs (stop sign)	20 feet
Underground utility lines	5 feet
Above ground utility structures	10 feet
Driveway (curb)	10 feet
Intersection (intersecting curb lines of two streets)	25 feet



DESIGN STATEMENT / OBJECTIVES

- Planting will be designed to obscure undesirable views (automobile, storage, utility areas, etc.) and add character and interest to the site. Where planting area exceeds eight feet in width, mounding shall be used. Planting shall blend with designs proposed for adjacent property.
- Architectural elements of the site will be related and enhanced with plantings of similar design character.
- All plant material selected for use will be of a type known to be successful in the area or in similar climatic and soil conditions.
- Color from plant foliage, bark or flowers will be utilized to create a friendly, warm and visually exciting landscape environment. Thematic color schemes will be utilized in developing project identity. See final planting plans for installation layout, details and specifications.
- All outdoor storage, loading, refuse and utility areas will be visually screened on all sides (except at access points). Planting will be used to soften hard materials where such are used for screening.
- Visual intrusions will be identified and accented with special groupings or trees, shrubs and/or ground covers, however, these areas shall not detract from the building as the focus of the site.
- Slope plantings are intended to take place during the appropriate seasons of late fall or winter (November through February) for optimum results.
- Landscape fresh grading objectives will include positive surface drainage of planted areas throughout the site - a minimum of two percent (2%) away from building in planting areas. See civil engineering plans for final grading.
- Irrigation systems will be permanent below ground automated systems adequate for the establishment and maintenance of all plant material. These systems will be installed as soon as practical after grading and prior to plant material installation. Areas adjacent to structures, walkways, entries and activity areas will be irrigated with permanent below grade automated systems.
- Irrigation systems shall utilize low precipitation fixed and pop-up system, shrub spray and bubbler heads for transitional landscape areas, adjacent open spaces, pathways, parking areas including, building perimeter landscape planting and all lawn areas. Pop-up spray heads shall be used adjacent to walks, drives and activity areas.
- All soils will be fertilized, amended, and tilled to conform to recommendations made by a soil testing laboratory and/or landscape architect in order to promote healthy and vigorous plant growth.
- All planting areas will be properly maintained in a weed and debris free condition.

NOTES

- All planting, irrigation, and landscape related improvements will comply with the City of San Diego Landscape Regulations and the Land Development Manual. All required landscape improvements shall be maintained, on a permanent basis, by the Permittee or subsequent Property Owner(s). All plant material shall be maintained in a healthy and disease free growing condition at all times.
- A minimum air and water permeable root zone of 40 square feet in area with a minimum dimension of 5 feet shall be provided for all trees. Trees shall be selected and located so that at maturity they do not cause damage or conflict with overhead utility lines. Tree roots barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees.
- All planting areas and plants in or adjacent to a vehicular use area shall be protected from vehicular damage by providing a raised curb or wheel stop of at least six inches in height. Where the end of parking spaces about a planting area that is less than 5 feet in width, 6 inch high wheel stops or curbs shall be placed within the parking spaces, 2 feet from the edge of the planting area.
- All required planting areas will be covered with mulch to a minimum depth of 2 inches, excluding slopes requiring revegetation and areas planted with ground cover. All exposed soil areas without vegetation shall be mulched to this minimum depth.

March 2008 City of San Diego Information Bulletin 03 Page 16 of 16
COMMERCIAL DEVELOPMENT IN ALL ZONES
INDUSTRIAL DEVELOPMENT IN RM, C ZONES
 LDC 141.010

STREET YARD	PLANTING AREA	PLANTING AREA	PLANTING AREA
Planting Area Required (Minimum)	2000	2000	2000
Planting Area Available	2000	2000	2000
Planting Area Excess	0	0	0

REMAINING YARD:
 Planting Area Required (Minimum): 1500
 Planting Area Available: 1500
 Planting Area Excess: 0

STREET TREES:
 Total Street Trees: 0
 Number of Street Trees Required: 0
 Number of Street Trees Available: 0

VEHICULAR USE AREA: (See Worksheet E)

RECAPITULATION OF YARDS AND SUBSTITUTIONS: Provide a written proposal of your substitutions and costs paid. Refer to LDC 142.040(a)(1), 2 & 3.

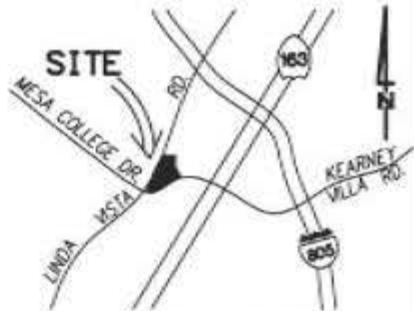
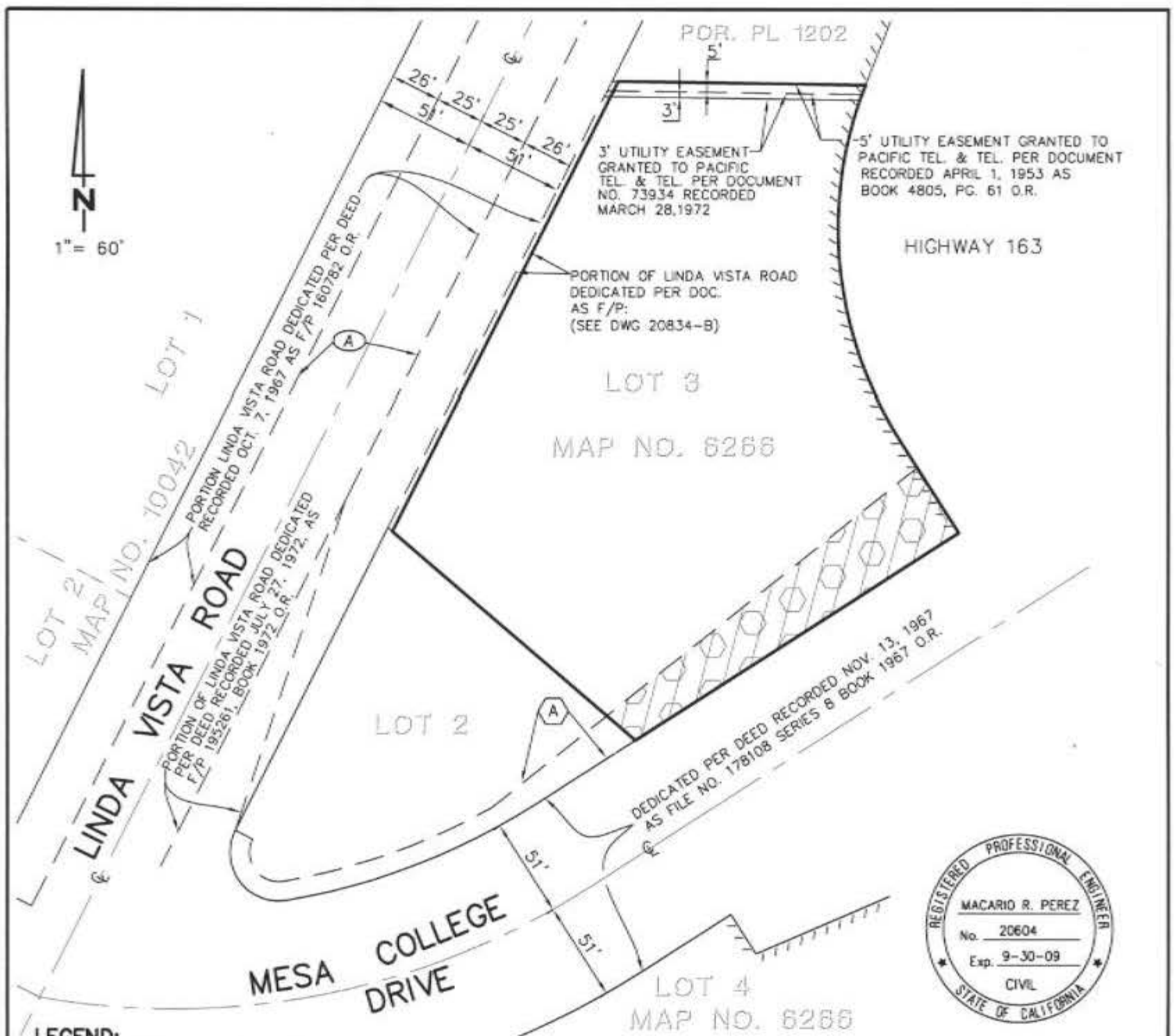
438 SQ. FT. B. LANDSCAPE AND 179 SQ. FT. B. BREAKED CONCRETE OF STREET YARD

March 2008 City of San Diego Information Bulletin 03 Page 17 of 16
LANDSCAPE CALCULATIONS
VEHICULAR USE AREAS
 LDC 142.010

VEHICULAR USE AREA	PLANTING AREA	PLANTING AREA	PLANTING AREA
Planting Area Required (Minimum)	24,000	24,000	24,000
Planting Area Available	24,000	24,000	24,000
Planting Area Excess	0	0	0

RECAPITULATION OF YARDS AND SUBSTITUTIONS: Provide a written proposal of your substitutions and costs paid. Refer to LDC 142.040(a)(1), 2 & 3.





LEGEND:

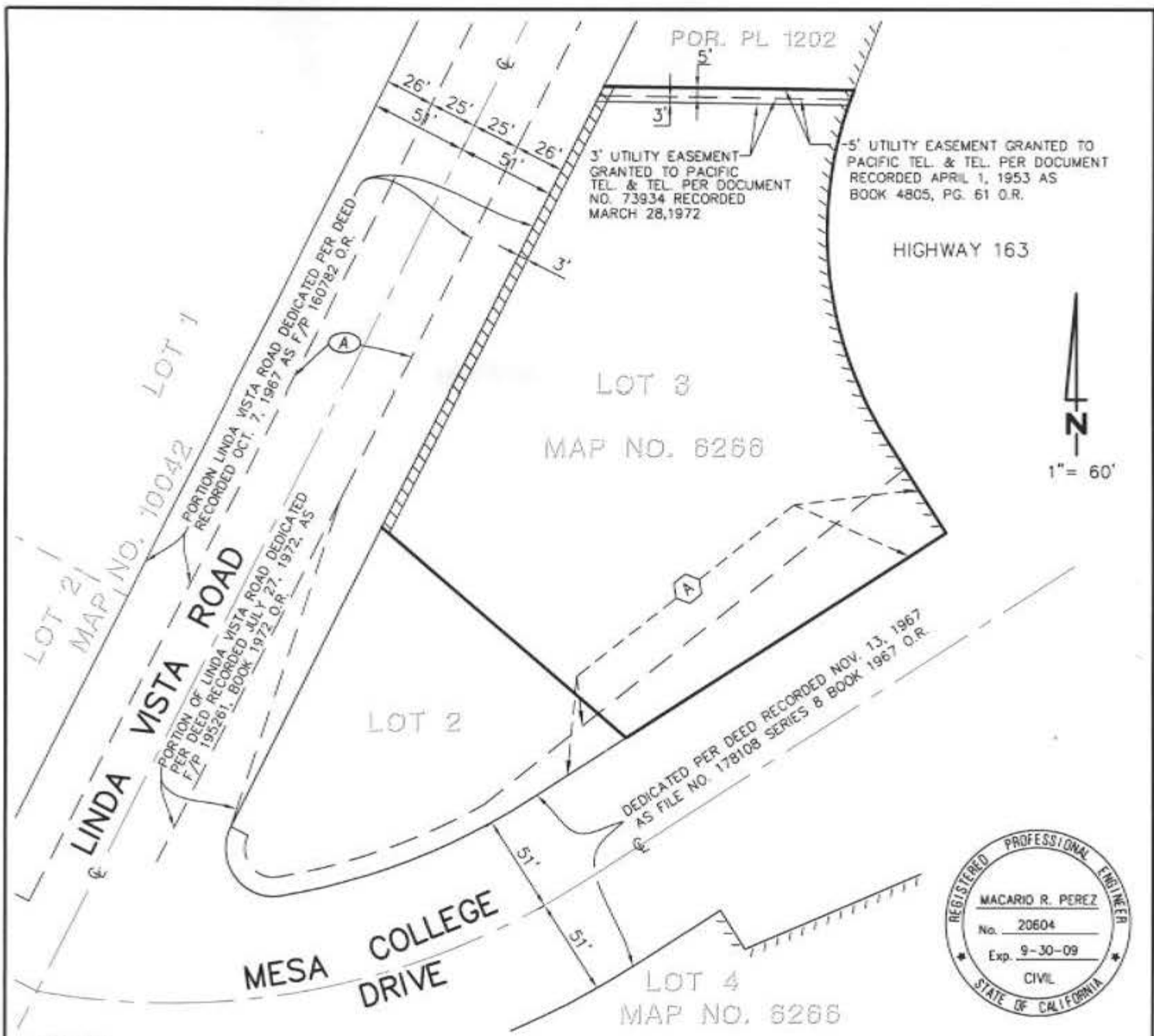
- EXISTING BOUNDARY
- - - EXISTING EASEMENT
- ////// INDICATES ACCESS RIGHTS RELINQUISHED AND WAIVED PER DOCUMENT RECORDED NOV. 13, 1967 FILE NO. 178108 SERIES 8 BOOK 1967 O.R.
- (A) INDICATES SLOPE EASEMENT GRANTED TO THE STATE OF CALIFORNIA PER DEED RECORDED NOV. 13, 1967 AS FILE NO. 178108 SERIES 8 BOOK 1967 O.R. AND RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. REC. JULY 27, 1972 AS FILE NO. 195261 O.R.
- (A) PORTION LINDA VISTA ROAD DEDICATED PER DEED RECORDED AUGUST 24, 1917, BK. 735, PG. 444 O.R.
- PARCEL "A" INDICATES PORTION OF SLOPE EASEMENT GRANTED TO STATE OF CALIFORNIA PER DEED RECORDED NOV. 13, 1967 AS FILE NO. 178108 SERIES 8 BOOK 1967 O.R. AND RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. REC. JULY 27, 1972 AS FILE NO. 195261 O.R.— VACATED (AREA= 5,913 SQUARE FEET MORE OR LESS)
- PARCEL "B" INDICATES GENERAL UTILITY AND ACCESS EASEMENT RESERVED FROM SLOPE EASEMENT VACATION

15938 BERNARDO CENTER DRIVE
SAN DIEGO CA 92127

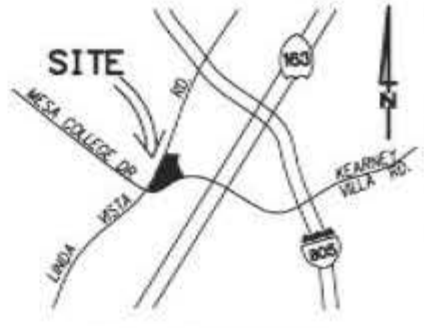
DATE:
MACARIO R. PEREZ RCE 20604

**SLOPE EASEMENT - VACATION
IN LOT 3 OF MAP NO. 6266 WITH GENERAL UTILITY ACCESS EASEMENT
RESERVED FROM SLOPE EASEMENT VACATION**

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO SHEET 1 OF 1 SHEET	PTS. NO. 108435
ORIGINAL	J&B					
					FOR CITY ENGINEER	DATE
						1872-6281
						CCS 83 COORDINATES
						232-1721
						LAMBERT COORDINATES
						20833-B
STATUS						



- LEGEND:**
- EXISTING BOUNDARY
 - - - EXISTING EASEMENT
 - ||||| INDICATES ACCESS RIGHTS RELINQUISHED AND WAIVED PER DOC. RECORDED NOV. 13, 1967 FILE NO. 178108 SERIES 8 BOOK 1967 O.R.
 - ⬡ INDICATES SLOPE EASEMENT GRANTED TO THE STATE OF CALIFORNIA PER DEED RECORDED NOV. 13, 1967 AS FILE NO. 178108 SERIES 8 BOOK 1967 O.R. AND RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. REC. JULY 27, 1972 AS FILE NO. 195261 O.R.
 - ⓐ PORTION LINDA VISTA ROAD DEDICATED PER DEED RECORDED AUGUST 24, 1917, BK. 735, PG. 444 O.R.
 - ▨ INDICATES STREET DEDICATION—LINDA VISTA ROAD (AREA= 774 SQUARE FEET MORE OR LESS)



15938 BERNARDO CENTER DRIVE
 SAN DIEGO CA 92127
 DATE:
 MACARIO R. PEREZ RCE 20604

**STREET DEDICATION - LINDA VISTA ROAD
IN LOT 3 OF MAP NO. 6266**

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO	
ORIGINAL	J&B				SHEET 1 OF 1 SHEET	
					PTS NO.	108435
					J.O. NO.	426706
					1872-6281	CCS 83 COORDINATES
					232-1721	LAMBERT COORDINATES
					20834-B	
STATUS					FOR CITY ENGINEER	DATE