



CITY OF KIRKLAND
Planning and Building Department
123 Fifth Avenue, Kirkland, WA 98033
425.587.3600 ~ www.kirklandwa.gov

MEMORANDUM

To: Design Review Board
From: Aoife Blake, Associate Planner
Date: October 21, 2020
File No.: DRV20-00187
Subject: **108TH OFFICE PROJECT
DESIGN RESPONSE CONFERENCE**

I. MEETING GOALS

At the November 2 Design Review Board (DRB) meeting, the DRB should conduct a Design Response Conference and determine if the project is consistent with the design guidelines contained in Design Guidelines for Pedestrian Oriented Business Districts, as adopted in Kirkland Municipal Code (KMC) Section 3.30.040.

During the Design Response Conference, the DRB should provide deliberate on the following topics:

- Building massing
- Pedestrian and vehicular access
- Landscaping
- Materials, colors, and details

If, after deliberation, the DRB decides that the application is consistent with the Design Guidelines for Pedestrian Oriented Business Districts, the DRB should approve the project. The DRB may decide to continue the meeting to a future date if the DRB determines that additional information is needed to decide on the project.

II. PROPOSAL

The subject property is located at 6700 108th Avenue NE (see Attachment 1). Dustin Thorlakson with Freiheit Architecture has applied for a Design Response Conference for a new office development on the subject property (see Attachment 2). The project consists of a 3-story office building, totaling 8,688 square feet, with two stories of office space above a level of structured parking with 28 parking stalls and lobby access. Vehicular access is proposed from 108th Avenue NE.

III. SITE

The subject property (10,632 square feet) currently contains a surface parking lot with a commercial food truck. The topography gradually slopes upward from 108th Avenue NE to the east. According to the applicant's arborist report and survey, there are 7 significant trees located along the south property line (see Attachment 2 and 3).

The property has street frontage along 108th Avenue NE, which is designated as a minor arterial street and major pedestrian sidewalk.

The following list summarizes the zoning designation, uses, and allowed heights of properties adjacent to the subject property:

North: HENC 3, 30-foot max, currently developed as a gas station.

East & South: PR 3.6, 30-foot max, currently developed as office development.

West: HENC 1, 35-foot max, currently developed as Houghton Shopping Center.

IV. CONCEPTUAL DESIGN CONFERENCE

A Conceptual Design Conference was held on December 16, 2019. The DRB provided direction to the applicant in preparation for the Design Response Conference. At the meeting, the DRB discussed:

- A. How the design guidelines affect or pertain to the proposed development.
- B. Which guidelines applied to the proposed development; and
- C. The application materials that are needed for the Design Response Conference.

The DRB's feedback from the conference is summarized in Section V.B below under the DRB's discussion on the various design topics.

V. DESIGN RESPONSE CONFERENCE

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30. In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following information summarizes key guidelines which apply specifically to the project or project area. See also Section VI for information regarding zoning regulations and how they affect the proposed development.

A. Pedestrian-Oriented Design Guidelines

1. General

The following is a list of key design issues and/or design techniques that should be addressed with this project as identified in the design guidelines.

- Building Scale
 - Vertical and horizontal modulation
 - Architectural scale
- Pedestrian-Orientation
 - Pedestrian friendly building fronts
 - Blank wall treatment
- Landscaping
- Building material, color, and detail

See the adopted Design Guidelines for Pedestrian-Oriented Business Districts for complete text and explanations.

2. Special Considerations for the Houghton/Everest Neighborhood Center (HENC)

In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following list summarizes some of the key guidelines and special considerations that apply specifically to the project or project area.

- **"Pedestrian-Friendly" Building Fronts:** To create a focal point for the community and engage pedestrians, buildings are encouraged to be oriented to pedestrian-oriented streets in these zones. However, commercial space that is above or below the grade of the sidewalk can compromise the desired pedestrian orientation.
- **Parking Locations and Entrances:** Consolidate driveways within the neighborhood center, especially existing driveways that are currently closely spaced. Restrict or mitigate surface parking between buildings and the Cross Kirkland Corridor.
- **Upper Story Step Backs:**
 - Buildings above the second story (or third story where applicable in the Downtown Plan) should utilize upper story step backs to create receding building forms as building height increases, allow for additional solar access, and maintain human scale at the street level.
 - The final arrangement of building mass should be placed in context with existing and/or planned improvements, solar access, important street corners, and orientation with the public realm.
 - A rigid stair step or "wedding cake" approach to upper story step backs is not appropriate.
 - Decks and/or balconies should be designed so that they do not significantly increase the apparent mass of the building within the required upper story setback area.
 - In addition to applying setbacks to upper stories, building facades should be well modulated to avoid blank walls and provide architectural interest.
 - Along pedestrian-oriented streets, upper story building facades should be stepped back to provide enough space for decks, balconies and other activities overlooking the street.
 - Landscaping on upper story terraces should be included where appropriate to soften building forms and provide visual interest.
 - Continuous two- or three-story street walls should be avoided by incorporating vertical and horizontal modulations into the building form.
 - Limited areas of vertical three, four, or five story walls can be used to create vertical punctuation at key facades. Special attention to maintain an activated streetscape is important in these areas.
- **Building Modulation - Horizontal**
 - Above the ground floor, buildings should utilize upper story step backs to create receding building forms as building height increases. Rather than a rigid stair step approach, varied step back depths and heights should be used to create well-modulated façades and usable decks and balconies overlooking the street.

B. Compliance with Design Guidelines

1. Scale

a. DRB Discussion

The DRB expressed a preference for either Scheme 2 or Scheme 3 (the applicant's preferred plan) at the Conceptual Design Conference. Other design direction provided by the DRB included creating a strong street presence with a prominent entry-way form.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following policy statements that address the use of these techniques:

- Fenestration Pattern
Varied window treatments should be encouraged. Ground floor uses should have large windows that showcase storefront displays to increase pedestrian interest. Architectural detailing at all window jambs, sills, and heads should be emphasized.
- Architectural Elements: Decks, Bay Windows, Arcades, Porches
Architectural building elements such as arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards should be encouraged.
- Building Modulation – Horizontal
Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.
- Upper story step backs
 - Buildings above the second story (or third story where applicable in the Downtown Plan) should utilize upper story step backs to create receding building forms as building height increases, allow for additional solar access, and maintain human scale at the street level.
 - The final arrangement of building mass should be placed in context with existing and/or planned improvements, solar access, important street corners, and orientation with the public realm.
 - A rigid stair step or “wedding cake” approach to upper story step backs is not appropriate.
 - Decks and/or balconies should be designed so that they do not significantly increase the apparent mass of the building within the required upper story setback area.
 - In addition to applying setbacks to upper stories, building facades should be well modulated to avoid blank walls and provide architectural interest.
 - Along pedestrian-oriented streets, upper story building facades should be stepped back to provide enough space for decks, balconies and other activities overlooking the street.
 - Landscaping on upper story terraces should be included where appropriate to soften building forms and provide visual interest.
 - Continuous two- or three-story street walls should be avoided by incorporating vertical and horizontal modulations into the building form.

- Limited areas of vertical three, four, or five story walls can be used to create vertical punctuation at key facades. Special attention to maintain an activated streetscape is important in these areas.
- Upper-Story Activities Overlooking the Street
All buildings on pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street, as well as balconies and roof decks with direct access from living spaces. Planting trellises and architectural elements are encouraged in conjunction with decks and bay windows. Upper-story commercial activities are also encouraged.

c. Staff Analysis

As recommended by the DRB, the applicant has pursued a hybrid design of Scheme 2 and Scheme 3 that were presented at the CDC and has provided detailed plans for review (see Attachment 2). Staff has reviewed the plans and has the following comments regarding the scale of the building based on the applicable design guidelines.

- *The applicant has provided project views from key vantage points that illustrate how the project's modulation, materials, and fenestration pattern respond to these vantage points (see Attachment 2 pages 24-29).*
- *The height of the building (3 stories) requires an upper story step back to create a receding building form as the building height increases. The applicant is proposing to step back most of the third floor of the building by approximately 22 feet and utilize the space within the step back area as a deck. This adds horizontal modulation to the west façade. Utilizing the step back area as a deck establishes a connection with 108th Avenue NE. The Board has the authority to allow a rooftop deck within the step back area.*
- *The proposal successfully incorporates horizontal modulation, fenestration patterns, architectural elements (such as a roof deck, awning, lighting and landscaping), and material changes on the building facades to help break up mass, create a human scale, and create a prominent entry-way form.*
- *The applicant has been instructed to have a digital model available at the November 2 meeting.*

The DRB should provide input on the following items:

- *Does the west façade facing 108th Avenue NE contain enough horizontal modulation and architectural elements to produce a strong street presence?*
- *Does the DRB approve the roof deck within the upper story step back area?*
- *Have all facades utilized adequate techniques to break up the building's mass and are the facades adequately designed to deal with blank walls?*

2. Pedestrian and Vehicular Access

a. DRB Discussion

The DRB provided the following direction regarding pedestrian and vehicular access:

- Eliminate the parking spaces in front of the building to create a more prominent sense of entry.
- Screen the parking garage from 108th Avenue NE by extending fin walls (or other building forms) and landscaping.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following statements that pertain to vehicular and pedestrian access:

- "Pedestrian-Friendly" Building Fronts
All building fronts should have pedestrian-friendly features. To mitigate the negative effects of blank walls:
 - Recess the wall with niches that invite people to stop, sit, and lean.
 - Install trellises with climbing vines or plant materials.
 - Provide a planting bed with plant material that screens at least 50 percent of the surface.
 - Provide artwork on the surface
- Lighting
All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy- or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building facade to the next. Back-lit or internally-lit translucent awnings should be prohibited.
- Parking Location and Entrances
Minimize the number of driveways by restricting curb cuts and by encouraging property and business owners to combine parking lot entrances and coordinate parking areas. Encourage side and rear yard parking areas by restricting parking in front yards. Require extensive screening where there is front yard parking.
- Parking Garages
The intrusive qualities of parking garages must be mitigated. In pedestrian areas, ground-level retail uses, or appropriate pedestrian spaces should be required. Also, extensive landscaping should be required near residential areas and in high visibility locations. On hillsides and near residential areas the stepping back or terracing of upper stories should be considered to reduce scale.

c. Staff Analysis

The applicant has submitted plans based on Public Works Department direction regarding right-of-way improvement requirements (see Attachment 2 and 4). The project is required to dedicate a 12-foot easement along the west property line for future corridor improvements identified in the City's 6th Street Corridor Study.

Vehicular Access

The proposed plans show direct vehicular access to the parking garage from 108th Avenue NE. The majority of the parking garage is proposed to be screened from the right-of-way by the building and additional screen

walls. The applicant has refined the layout of the parking garage to reduce the number of parking stalls in front of the building to one compact parking stall and extended the previously designed fin wall the length of the parking stall to provide additional screening from the right-of-way (see Attachment 2, pages 15 and 24-29).

A landscape buffer is required by the Zoning Code to screen this parking stall from 108th Avenue NE. The plans show that a 19-foot wide landscape island is proposed be planted with one tree and a variety of shrubs. If future corridor improvements are constructed, the landscape island would be reduced to 7 feet wide. Staff recommends that the landscape island include either a hedge or a short wall (as outlined in KZC 95.45.3) along the eastern edge of the landscape island to further screen the parking stall from the right-of-way and to ensure adequate screening is maintained after the corridor improvements are made along 108th Avenue NE.

Pedestrian Access

The proposed plans show direct pedestrian access to the lobby from 108th Avenue NE via a dedicated walkway, separated from the driveway by a landscape island. The entrance to the lobby includes lighting and an awning to enhance the pedestrian experience (see Attachment 2, pages 8, 13, 19-20, and 24-25). The awning over the main entrance to the lobby should comply with the dimensional standards outlined for overhead weather protection in the Zoning Code (see Attachment 4). The proposed awning does not meet the minimum 5' depth requirement or the minimum 75% façade coverage requirement.

The DRB should provide input on the following items:

- Does the west façade of the building contain enough pedestrian-friendly features?
- Has the parking garage been adequately screened?
- Is the proposed landscaping enough to screen the compact stall in front of the building from the 108th Avenue NE right-of-way given the future corridor improvements?

3. Landscaping

a. DRB Discussion

The DRB asked the applicant to utilize landscaping in the front of the building to screen parking stalls.

b. Supporting Design Guidelines

The *Design Guidelines and Zoning Regulations* contain the following guideline addressing the visual quality of landscapes:

- KZC Chapter 95 requires that a landscape plan be approved as part of the Design Review Process.
- The placement and amount of landscaping for new and existing development should be mandated through design standards. Special consideration should be given to the purpose and context of the proposed landscaping. The pedestrian/auto landscape requires strong plantings of a structural nature to act as buffers or screens.

- The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's favorable qualities and screens its faults.

c. Staff Analysis

The applicant submitted a conceptual landscape plan and species list (see Attachment 2, page 13-14). Landscaping should be placed in areas to help mitigate building massing and enhance the pedestrian experience along the project frontages.

The DRB should provide input on the following items:

- *What changes are needed to the landscape plan?*
- *Are there other opportunities for landscaping?*

4. Building Materials, Color, and Details

a. DRB Discussion

The DRB did not discuss this topic at the Conceptual Design Conference.

b. Staff Analysis

Attachment 2, pages 18-19 and 20-29 contain color elevation drawings and callouts for the proposed building materials. The applicant is proposing a mix of metal panels and stone tile for building materials with a charcoal, grey, and bronze color palette.

The DRB should provide feedback to the applicant regarding the proposed materials and colors. The DRB should discuss whether additional or larger samples of materials and colors should be provided at the next Design Response Conference.

VI. KEY ZONING REGULATIONS

The applicant's proposal is also subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, Fire and Building Code, and Public Works Standards. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 4, Development Standards, is provided to familiarize the applicant with some of these additional development regulations. These regulations and standards are not under the review authority of the DRB and will be reviewed for compliance as part of the building permit review for the project.

Development of the subject property is subject to the regulations for the Houghton Everest Neighborhood Center (HENC) 3 zone (see Attachment 5). The following regulations are important to point out as they form the basis of any new development on the site. Below are some of the key zoning standards that apply to the development followed by staff comment in italics.

- A. Permitted Uses: Permitted uses in this zone include, but are not limited to office, commercial and residential uses.

Staff Comment: The applicant is proposing an office use. The proposal is consistent with the permitted uses for the HENC 3 zone.

Height: HENC 3 zone allows a maximum height of 30' as measured above the average building elevation. Adjacent to 108th Avenue NE any portion of a structure

greater than two stories in height must be stepped back from the facade below by an average of 15 feet with a minimum step back of five feet. The Design Review Board is authorized to allow rooftop deck and/or garden structures within the step back area.

Staff Comment: The applicant has provided a preliminary height calculation. The applicant must demonstrate compliance with the City's height requirements as part of any building permit. The preliminary plans show compliance with the step back requirement.

- B. Setbacks: The required setbacks are 10 feet from 108th Avenue NE (front property line) and 0 feet from all other property lines.

Staff Comment: The applicant's preferred design scheme complies with setback requirements.

- C. Parking: The project is required to comply with the following parking standards:
- 1 stall per 300 square feet of gross floor area for general office uses.
 - 1 stall per 200 square feet of gross floor area for medical, dental, or veterinarian office uses.

Staff Comment: The preliminary plans have been reviewed for compliance with the applicable City parking requirements for general office uses.

- D. Right-of-Way Improvements: The Public Works Department is requiring that the project dedicate a 12-foot wide easement along the 108th Avenue NE frontage for future corridor improvements identified in the 6th Street Corridor Study. A 5-foot wide sidewalk will be located along the frontage (see Attachment 4).

Staff Comments: The applicant is showing the easement as part of the design documents.

VII. STATE ENVIRONMENTAL POLICY ACT

SEPA is the state law that requires an evaluation of a development proposal for environmental impacts. The project is exempt from SEPA due to the size of the office building.

VIII. PUBLIC COMMENT

No public comments received as of the date of this staff report.

IX. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

X. ATTACHMENTS

1. Vicinity Map
2. Applicant Proposal
3. Arborist Report
4. Development Standards
5. HENC 3 Use Zone Chart

6700 108TH AVE OFFICE
DRV20-00187

HENC 3

NE 68TH ST

HENC 1

Subject Property

Northwest
University
PR 3.6

PUD

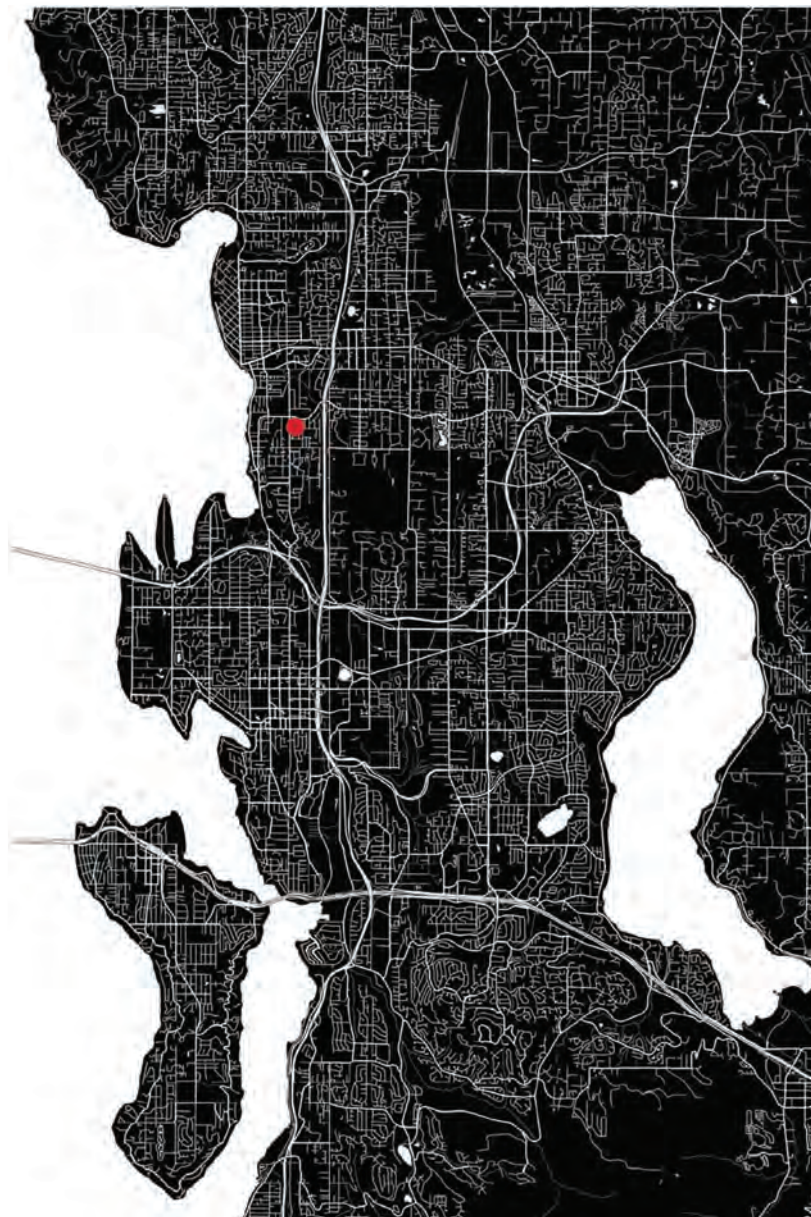
RM 5.0

RM 5.0 (2)

PUD

NE 66TH PL





2	PROJECT INFORMATION
3	LOCATION OVERVIEW
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PROJECT INFORMATION

BUILDING GROSS AREA

1st Floor:	229 SF
2nd Floor:	4,744 SF
3rd Floor:	3,715 SF
TOTAL:	8,688 SF

PARKING REQUIREMENTS

Gross Area / 300 SF per Stall	
8,700 SF / 300 SF per Stall = 29 Stalls	
Parking credit due to bicycle parking (-1 Stall)	
Required Parking Stalls = 28 Stalls	

LOT COVERAGE

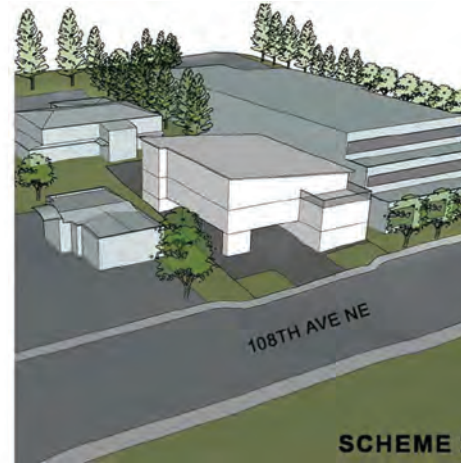
Site Area:	10,632 SF
Lot Coverage:	79.56%

PARKING PROVIDED

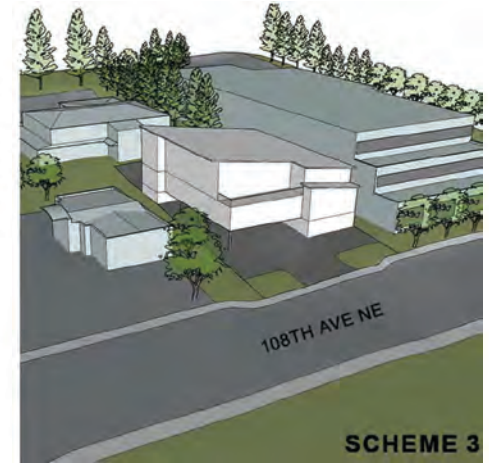
Compact:	14 Stalls
Standard:	14 Stalls
TOTAL:	28 Stalls

BUILDING HEIGHT

ABE:	214' 8"
Top of Roof:	244' 8"
Top of Mechanical:	248' 8"



SCHEME 2



SCHEME 3

CONCEPTUAL DESIGN CONFERENCE

The proposed design represented here is an evolution of schemes 2 & 3 from the Conceptual Design Conference. The board indicated that either of these conceptual designs could form the basis for the project.

The building has evolved since the previous meeting and now incorporates a main entry element on the south west corner of the property. This mass also serves as the rooftop mechanical screen. Instead of having the entire entry element project beyond the front façade as was previously designed, the second floor façade continues all the way across the front elevation in order to meet the required 5' minimum upper level setback. The north portion of the façade steps back further in order to meet the required 15' average setback and provide a rooftop deck for tenant use.

The structural system used is concrete shear walls and steel columns on the ground level, with steel and glu-lam beams on the tenant floors. Exterior materials are a mix of metal panels and stone tile with a low-slope standing seam roof.

Overall, the look and feel of the project fits into the local context of office buildings along 6th street and provides a great building to the neighborhood on a previous under utilized site.



DESIGN RESPONSE CONFERENCE



- 1 Current Site, Looking SE across 108th
- 2 Current Site, Looking N from 108th
- 3 Vicinity Map

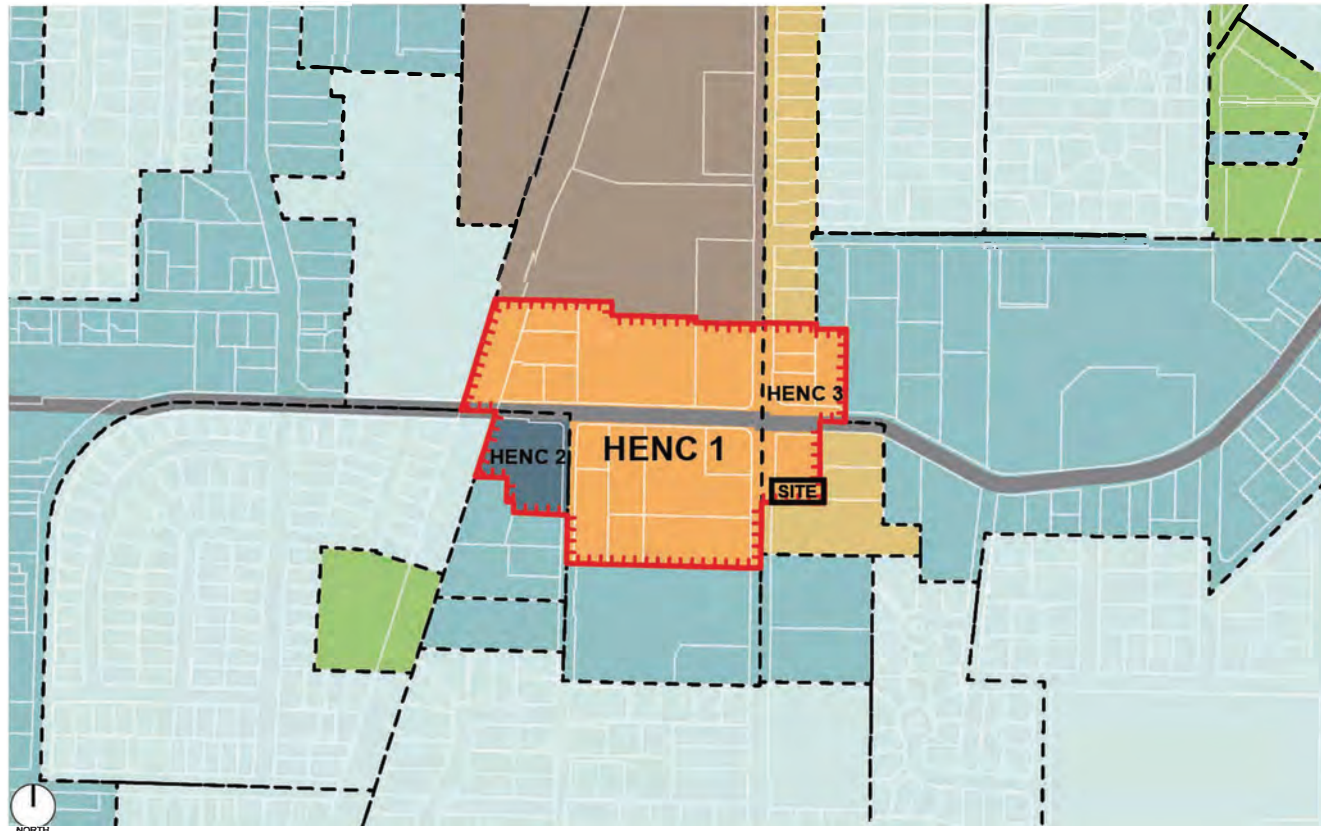
- 1 Site Vicinity Connections
- 2 Site Access & Adjacent Uses



- Site
- Primary Street
- 🚌 Bus Stop
- Commercial
- Office
- ➔ Pedestrian Access
- ➔ Existing Vehicle Access
- ➔ Views to Lake Washington

116-158 SITE CONTEXT: ACCESS
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020

ZONING & SURROUNDING AREAS



ZONING REQUIREMENTS FOR HENC 3

SETBACKS

Front: 10'
Side: 0'
Rear: 0'

*Minimum 14-foot-wide sidewalks are required along 106th Avenue NE, 108th Avenue NE and 6th Street South on the side of the right-of-way that abuts HENC 1; and on both sides of NE 68th Street.

HEIGHT LIMITS

30' above A.B.E.

*Adjacent to NE 68th Street, 106th Avenue NE, 108th Avenue NE, 6th Street South and the Cross Kirkland Corridor (CKC), any portion of a structure greater than two stories in height must be stepped back from the facade below by an average of 15 feet with a minimum step back of five feet.

LOT COVERAGE

80%

PROPOSED USE

Office Use - Allowed with Design Review

PARKING REQUIREMENTS

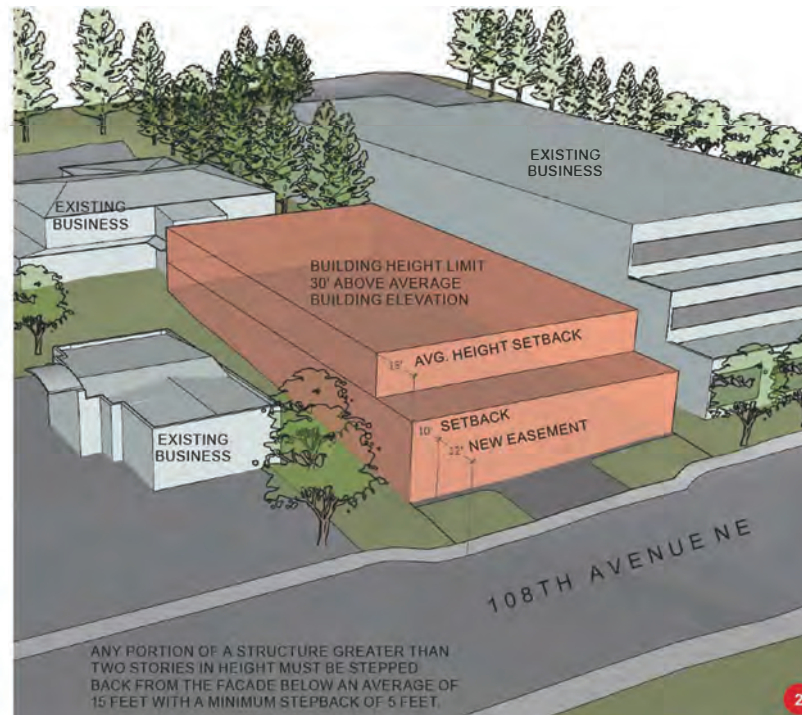
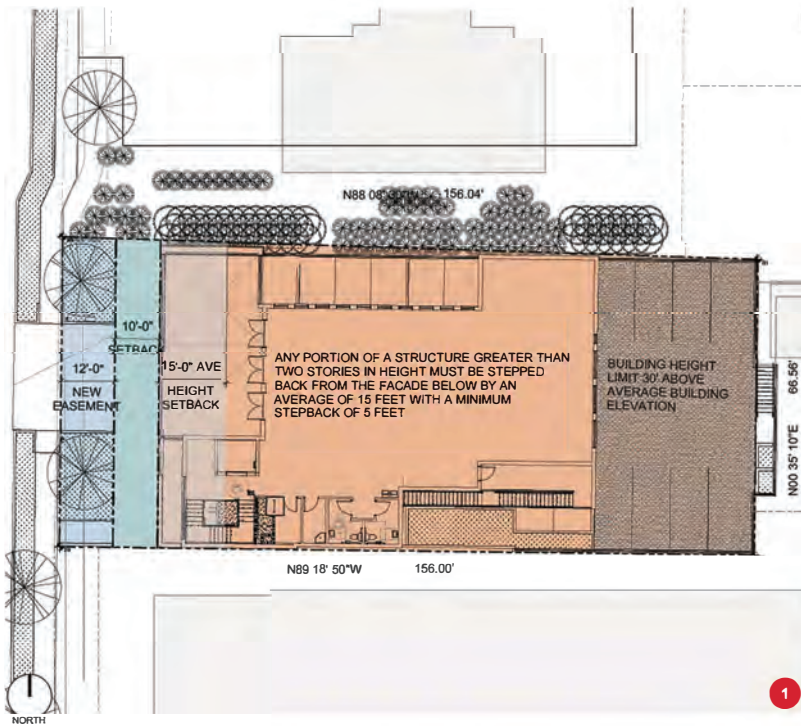
1 space required per 300 sq.ft. of gross floor area.

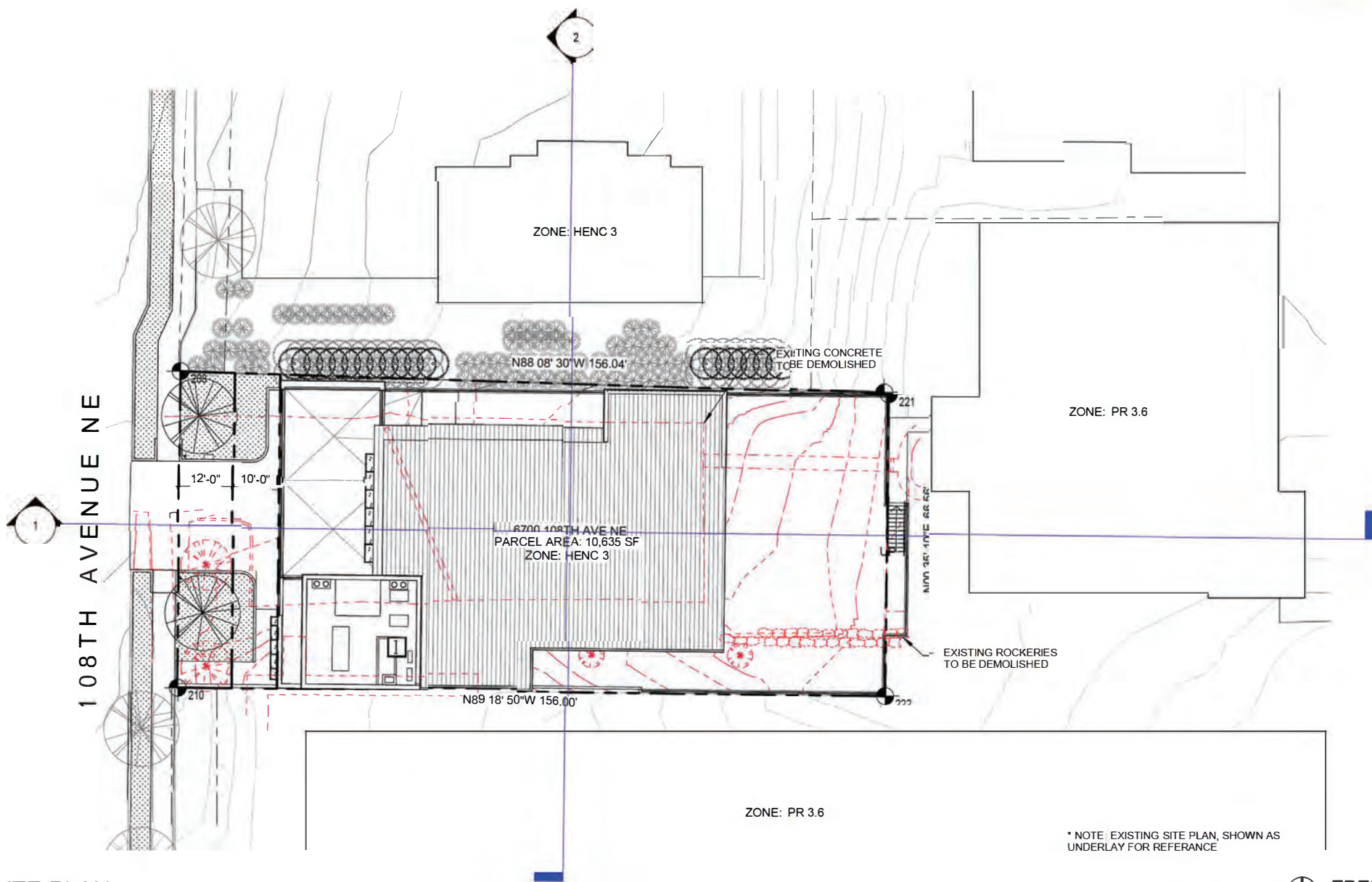
May develop & designate up to 50% compact stalls.

Barrier free parking standards per Washington State regulations for barrier-free.

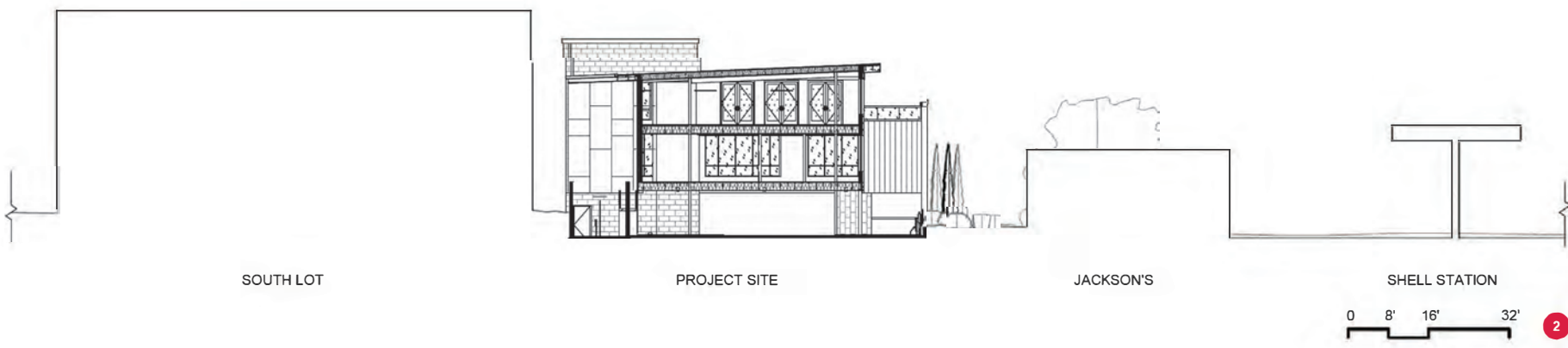
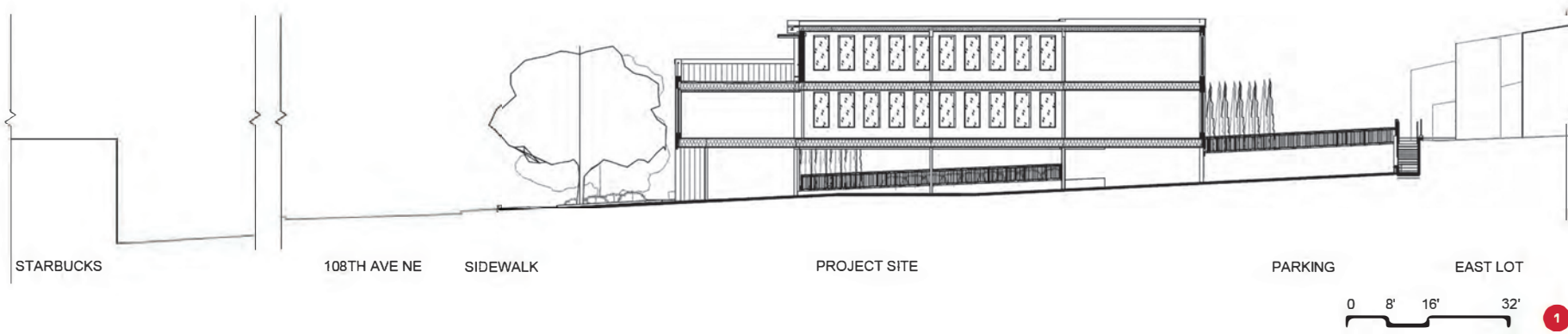


- 1 Zoning Envelope Plan Diagram
- 2 Zoning Envelope Aerial Diagram





- 1 East-West Site Section
- 2 North-South Site Section



AVB 158 SITE SECTIONS
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020

AVERAGE BUILDING ELEVATION (A.B.E.) CALCULATIONS

+210.8 x 22.9	4,827.32
+211.75 x 12.7	2,689.23
+213.3 x 48.4	10,323.72
+214.8 x 11.6	2,491.68
+215.4 x 27.0	5,815.80
+218 x 53.5	11,663.00
+219.3 x 43.25	9,484.73
+217.2 x 12.8	2,780.16
+215.8 x 23.6	5,092.88
+215.3 x 0.4	86.12
+214.8 x 31.4	6,744.72
+210.5 x 67.8	14,271.90
TOTAL	76,271.26

TOTAL / PERIMETER = 76,271.26 / 355.35' = 214.637' = 214'-7.64" A.B.E.

MAX BUILDING HEIGHT ALLOWABLE

PER KZC 35.30 DENSITY/DIMENSIONS TABLE - COMMERCIAL ZONES (INCLUDES HENC-3)
OFFICE USE MAXIMUM HEIGHT OF STRUCTURES: 30'-0" ABOVE A.B.E.

	ALLOWED MAXIMUM	PROPOSED
BUILDING HEIGHT:	244'-7.64"	244'-7 19/32"
MECH SCREENING HEIGHT:	248'-7.64"	248'-7 19/32"

AVERAGE GRADE PLANE CALCULATIONS

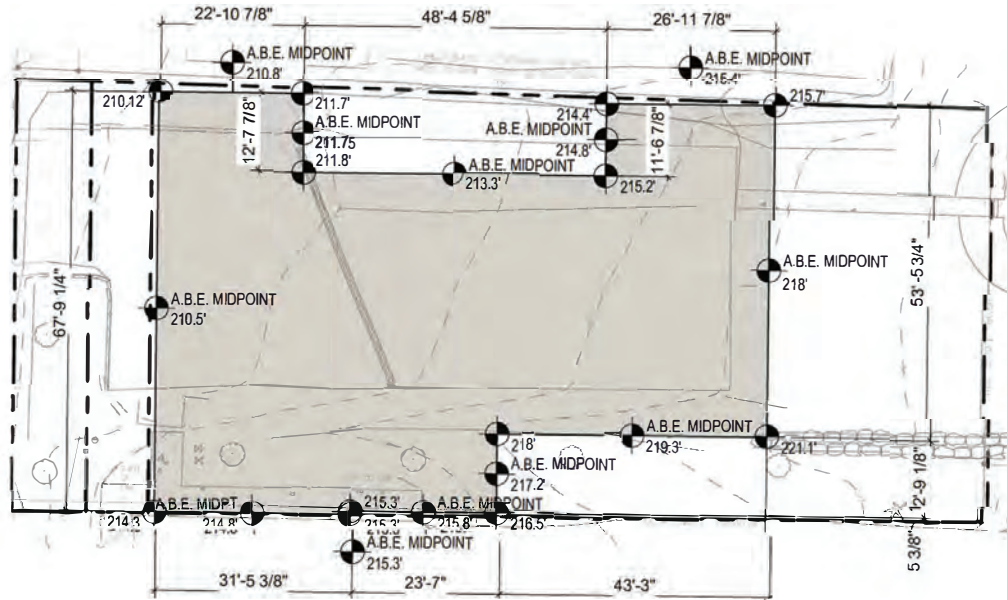
CALCULATIONS COMPLETED PER IBC 2012 CODE COMMENTARY FIGURE 202(24)

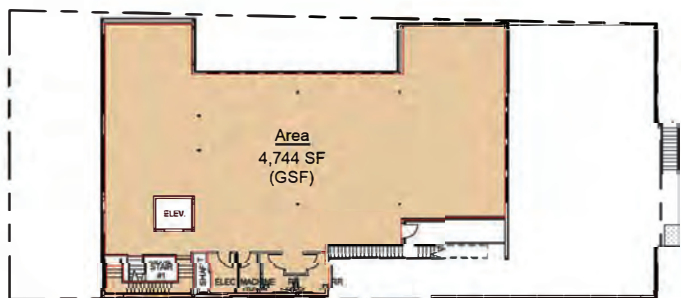
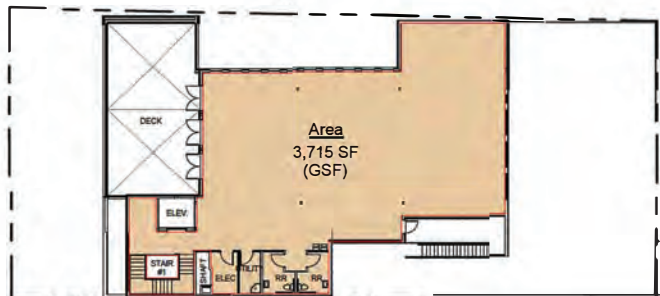
NORTH ELEVATION	WEST ELEVATION
((210.12 + 211.7)/2) x 22.9 = 4,829.84	((214.3 + 210.12)/2) x 67.8 = 14,387.84
((211.7 + 211.8)/2) x 12.7 = 2,689.23	
((211.8 + 215.2)/2) x 48.4 = 10,333.40	
((215.2 + 214.4)/2) x 11.6 = 2,491.68	
((214.4 + 215.7)/2) x 27 = 5,806.35	
26,150.50	
EAST ELEVATION	SOUTH ELEVATION
((215.7 + 221.1)/2) x 53.5 = 11,684.40	((216.5 + 215.3)/2) x 23.6 = 5,095.24
((221.1 + 218)/2) x 43.25 = 9,495.54	((215.3 + 215.3)/2) x 0.4 = 86.12
((218 + 216.5)/2) x 12.8 = 2,780.80	((215.3 + 214.3)/2) x 31.4 = 6,744.72
23,960.74	11,926.08

26,150.50 + 23,960.74 + 14,387.84 + 11,926.08 = TOTAL = 76,425.16"
PERIMETER OF BUILDING = 355.35'

AVERAGE GRADE PLANE = TOTAL/PERIMETER = 76,425.16'/355.35' = 215.07' = 215'-0.8"

FIRST FLOOR ELEVATION IS 211' - 0"
FIRST FLOOR IS 4'-0.8" BELOW AVERAGE GRADE PLANE





1 | GROSS FLOOR AREA PLANS
1" = 30'-0"

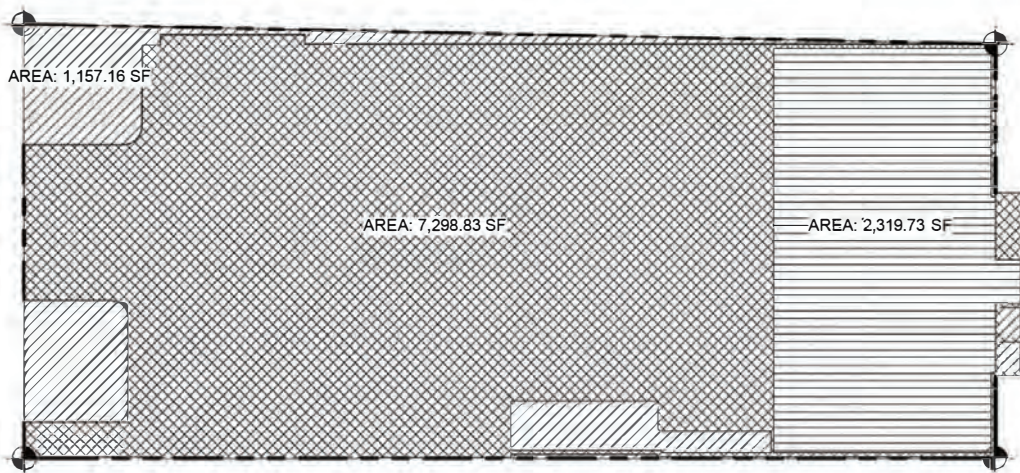
0 7.5' 15' 30'

KZC TABLE 40.40.160 DEVELOPMENT STANDARDS
1 VEHICLE STALL REQUIRED PER 300 GROSS FLOOR AREA




GROSS FLOOR AREA: 229 + 4,744 + 3,715 = 8,688 GSF

BUILDING GROSS FLOOR AREA / 300 = MINIMUM REQUIRED VEHICLE STALLS
8,688 GSF / 300 = 28.96 = 29 VEHICLE STALL MINIMUM

(BASE BLDG CALC) VEHICLE STALLS:	REGULAR 12	COMPACT 14	ACCESSIBLE 2	BICYCLE CREDIT 1
TOTAL PARKING STALLS:	REQUIRED 28	PROPOSED 28		



LEGEND - LOT COVERAGE

-  IMPERVIOUS AREA
EX: ASPHALT, CONCRETE, ETC
-  50% PERMEABLE
EX: 10"x10" PAVERS, ETC
-  PERMEABLE SURFACE
EX: LANDSCAPING, PLANTING, GRASS, ETC

LOT COVERAGE CALCULATIONS

PER KZC TABLE 35.30 DENSITY/DIMENSIONS - COMMERCIAL ZONES (INCLUDING HENC-3)

TOTAL AREA:	10,632.00 SF
COVERAGE ALLOWED:	80.00%
TOTAL LOT COVERAGE ALLOWED:	8,505.60 SF
IMPERVIOUS AREA:	7,298.83 SF
SEMI-PERMEABLE*:	1,159.87 SF
TOTAL AREA PROPOSED:	8,458.7 SF
COVERAGE PROPOSED:	79.56%

* Permeable surfaces counted at 50% coverage, per Kirkland Municipal Code 115.90.3, up to a maximum site reduction of 10%



- 1 Entry Drive
- 2 Planting Area
- 3 Permeable Paving
- 4 Pedestrian Access
- 5 Specimen Tree



Hypericum frondosum 'Sunburst'
Sunburst Hypericum



Deschampsia cespitosa
Tufted Hair Grass



Polystichum munitum
Western Sword Fern



Spiraea japonica 'Neon Flash'
Neon Flash Spirea



Salvia x sylvestris 'May Night'
May Night Sage



Heuchera villosa 'Inheugh'
Grande Black Coral Bells



Stewartia Pseudocamellia
Japanese Stewartia



Permeable Paving

CONCEPTUAL SITE PLAN AND PRECEDENT IMAGERY

6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020

Brumbaugh & Associates

FREIHEIT
ARCHITECTURE

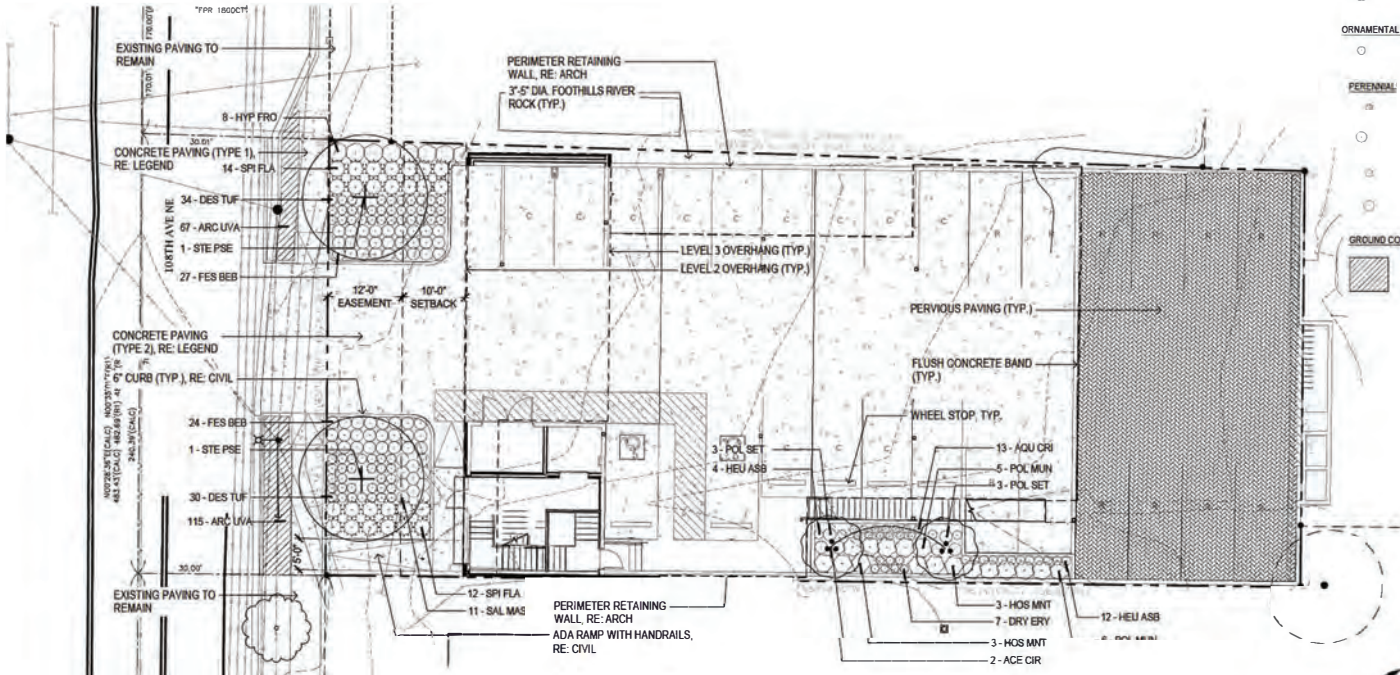
PAVING / MATERIALS LEGEND - SITE	
SYMBOL	DESCRIPTION
	CONCRETE PAVING (TYPE 1) - C.I.P CONCRETE, SCORE PATTERN PER PLANS, LIGHT BROOM FINISH, NATURAL COLOR
	CONCRETE PAVING (TYPE 2) - VEHICULAR C.I.P CONCRETE, SCORE PATTERN PER PLANS, LIGHT BROOM FINISH, NATURAL COLOR
	GRASSPAVE2 POROUS GRASS PAVER BY INVISIBLE STRUCTURES, INC.
	ECO-LINE PERMEABLE PAVERS BY UNILOCK
	3'-5" DIA. MEXICAN BEACH PEBBLES, ASSUPPLIED BY MARENAKOS ROCK CENTER

LANDSCAPE NOTES:

- GROUND COVER SHALL EXTEND UNDER ALL TREE AND SHRUB CANOPIES AT THE SPECIFIED SPACING TO PROVIDE COMPLETE COVERAGE IN ALL PLANTING BEDS DESIGNATED TO RECEIVE GROUND COVER.
- ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.
- IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY FIELD CHANGES TO THE SITE PLANS WHICH MAY REQUIRE ADJUSTMENT OF DESIGN.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE INFORMATION FOR ON GRADE ONLY. IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY ADVERSE DRAINAGE CONDITIONS WHICH MAY AFFECT THE HEALTH OF PLANT MATERIAL.
- NO PRE-EMERGENT HERBICIDES SHALL BE USED ON THE PROJECT SITE DURING THE FIRST YEAR WARRANTY PERIOD.
- ALL TREES SHALL MAINTAIN AN 8' SEPARATION FROM STORM, SEWER, WATER LINES, METERS, AND UTILITIES. IF LESS THAN 8' IS PROVIDED, A 4' SEPARATION WITH ROOT BARRIER MUST BE PROVIDED.
- ALL DECIDUOUS TREES SHALL MAINTAIN A 3' CLEARANCE FROM FACE OF CURB. ALL CONIFER TREES SHALL MAINTAIN A 6' CLEARANCE FROM FACE OF CURB.
- SHRUBS SHALL MAINTAIN A 3' CLEARANCE FROM HYDRANTS AND WPIVS.
- TREES WITHIN SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 8'.

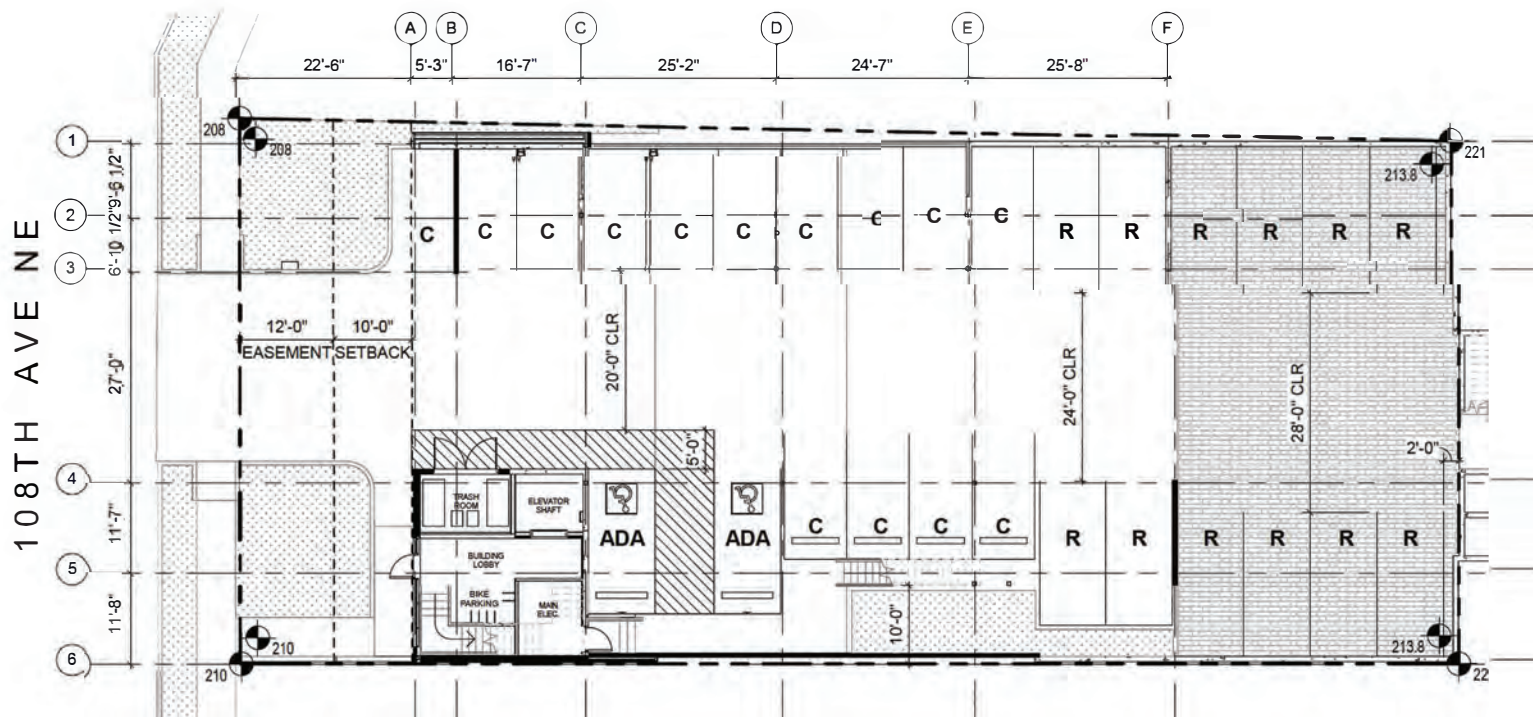
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
	2	ACER CIRCINATUM	VINE MAPLE	6'-10" HT		
	2	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	8 & 8		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	6	HOSTA X 'MINUTEMAN'	MINUTEMAN PLANTAIN LILY	3 GAL	36" o.c.	
	8	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST HYPERICUM	5 GAL	36" o.c.	
	26	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	3 GAL	36" o.c.	
FERNS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	7	DRYOPTERIS ERYTHROSORA	AUTUMN FERN	2 GAL	18" o.c.	
	11	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	36" o.c.	
	7	POLYSTICHUM SETIFERUM	SOFT SHIELD FERN	2 GAL	24" o.c.	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	64	DESCHAMPSIA CESPITOSA	TWIFTED HAIR GRASS	1 GAL	18" o.c.	
PERENNIAL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	13	AQUILEGIA X 'CRIMSON STAR'	CRIMSON STAR COLUMBINE	1 GAL	18" o.c.	
	51	FESTUCA GLAUCA 'BEYOND BLUE'	BEYOND BLUE FESCUE	1 GAL	24" o.c.	
	16	HEUCHERA VILLOSA 'TINIEUG'	GRANDE BLACK CORAL BELLS	1 GAL	18" o.c.	
	11	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL	24" o.c.	
GROUND COVER	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	182	ARCTOSTAPHYLOS UVA-URSI	KINKINIKNICK	1 GAL	12" o.c.	



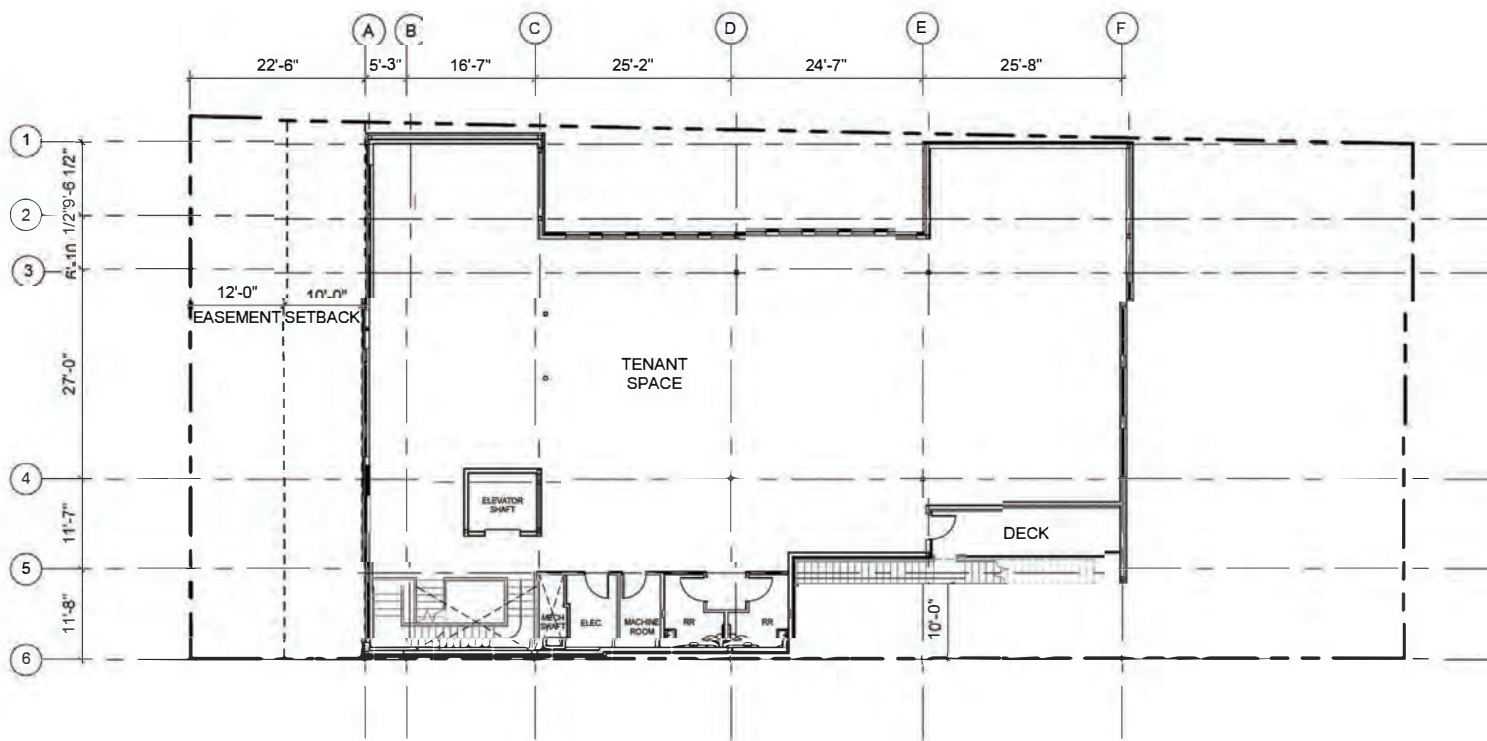
LANDSCAPE SITE AND PLANTING PLAN
1" = 20'-0"





AT-158 FLOOR PLAN LEVEL 01
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020

0 4' 8' 16' NORTH
FREIHEIT
ARCHITECTURE

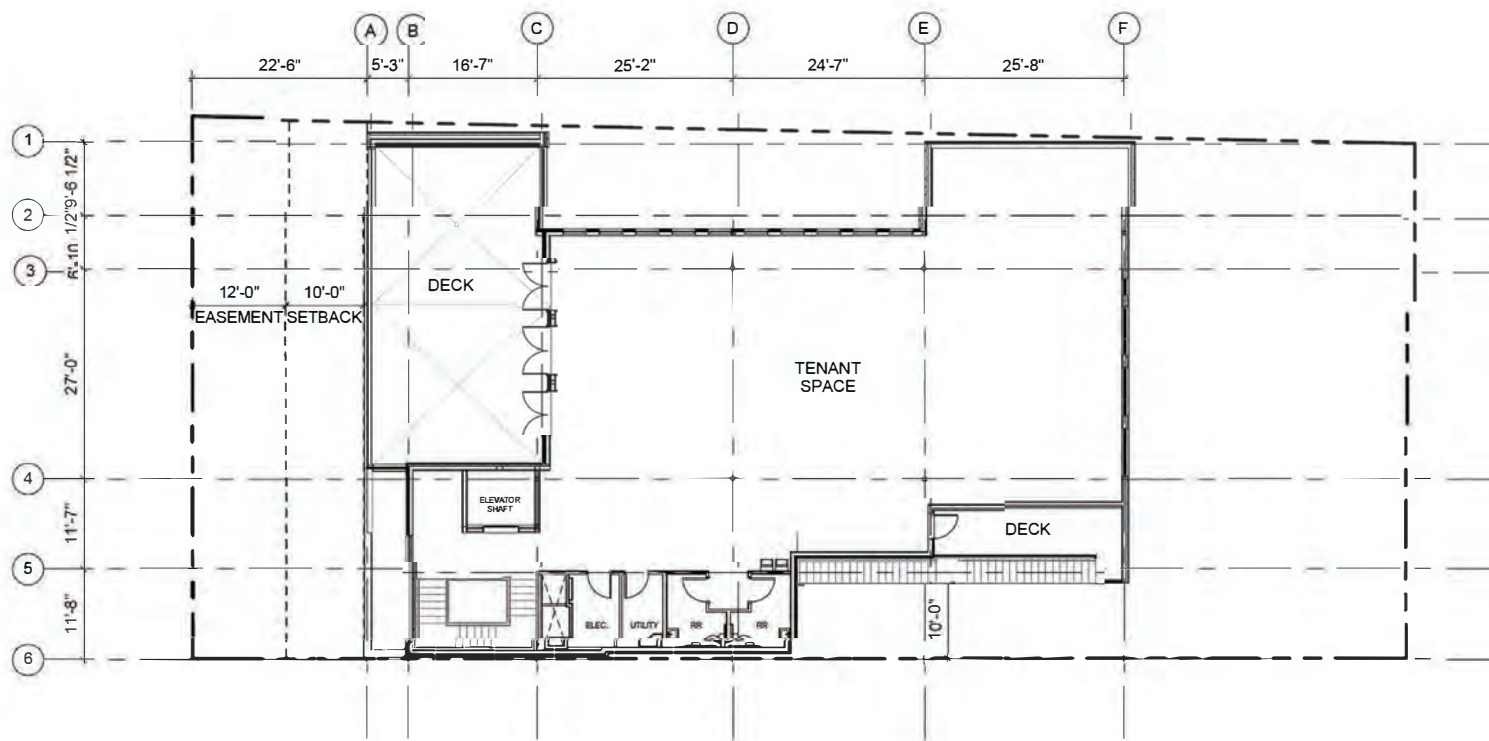


AT 158 FLOOR PLAN LEVEL 02
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020

0 4' 8' 16'

NORTH

FREIHEIT
ARCHITECTURE



AVE 158 FLOOR PLAN LEVEL 03
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020

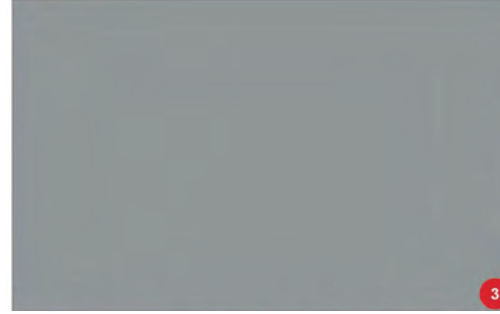
0 4' 8' 16' NORTH
FREIHEIT
ARCHITECTURE



METAL PANEL - DARK BRONZE
@ NORTH WALLS



GLASS
@ WINDOW WALL



STANDING SEAM ROOF - ZINC GRAY
@ ROOF



STONE - NICKEL & SILENT GRAY
@ ENTRY TOWER



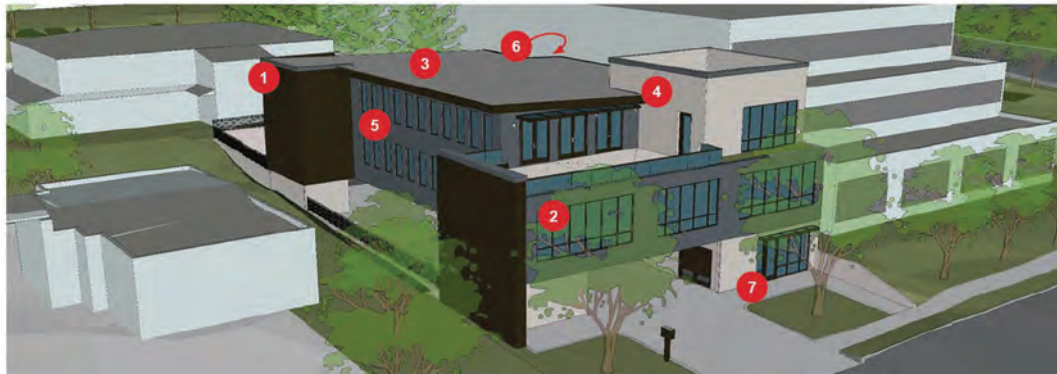
METAL PANEL - CHARCOAL
@ NORTH & WEST WALLS



HARDI PANEL - NIGHT GRAY
@ EAST & SOUTH WALLS



WINDOW MULLIONS - DARK BRONZE
@ WINDOW WALL



- 1 METAL PANEL - DARK BRONZE
- 2 GLASS
- 2 STANDING SEAM ROOF - ZINC GRAY
- 4 STONE - NICKEL & SILENT GRAY
- 5 METAL PANEL - CHARCOAL
- 6 HARDI PANEL - NIGHT GRAY
- 2 WINDOW MULLIONS - DARK BRONZE



SITE RAILING
@ SITE RETAINING WALL



GLASS RAILING - DARK BRONZE
@ WEST & SOUTH DECKS



CANOPY - DARK BRONZE
@ WEST WALLS ABOVE DOORS



DECK PAVERS - PRECAST CONCRETE
@ WEST & SOUTH DECKS



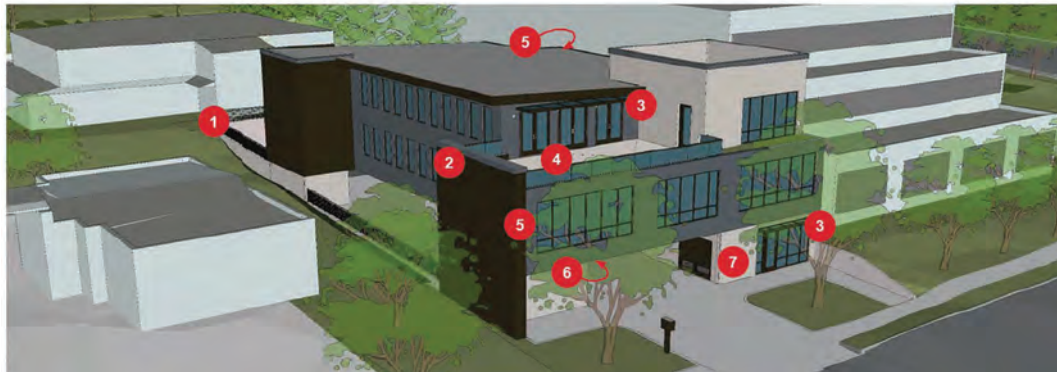
STEEL STAIRS - DARK BRONZE
@ SOUTH DECK



BIKE RACK - DERO
@ TUCK-UNDER PARKING



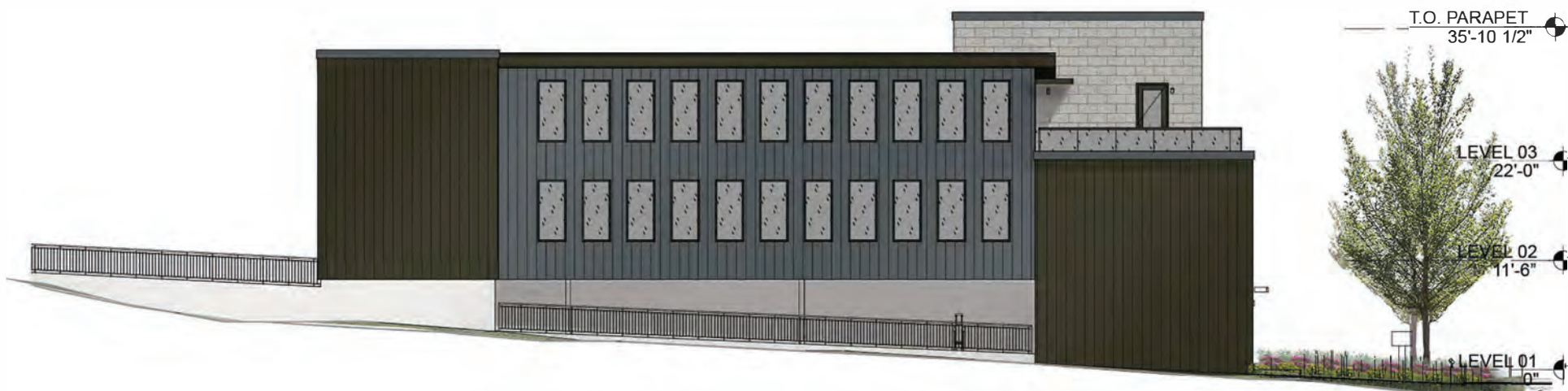
LIGHT FIXTURE - DARK BRONZE
@ EXTERIOR WALLS



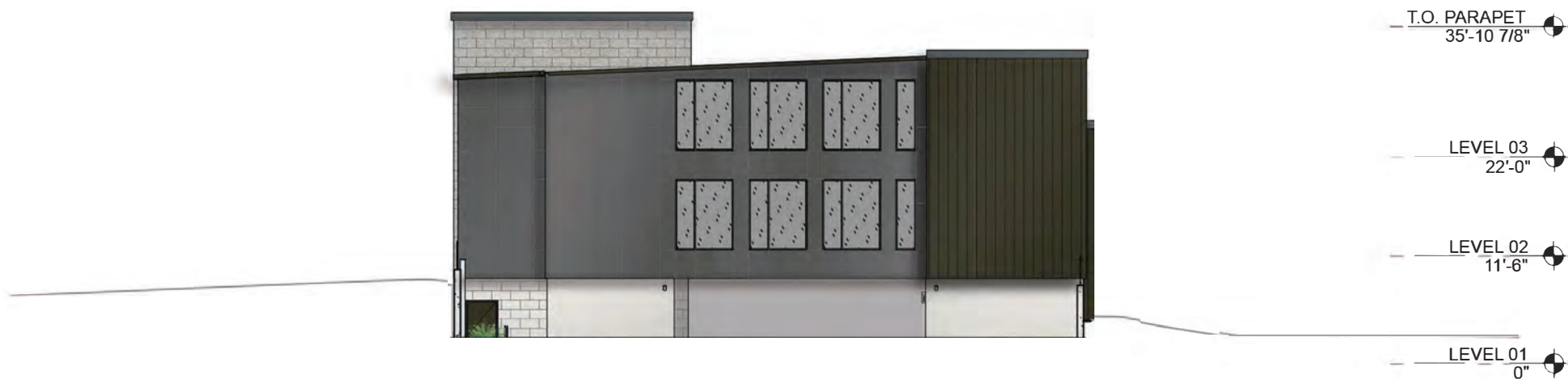
- 1 SITE RAILING
- 7 GLASS RAILING
- 5 CANOPY - DARK BRONZE
- 1 DECK PAVERS - CONCRETE
- 5 STEEL STAIRS - DARK BRONZE
- 6 BIKE RACK - DERO
- 7 LIGHT FIXTURE - DARK BRONZE



WEST ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020



APR-188 NORTH ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020



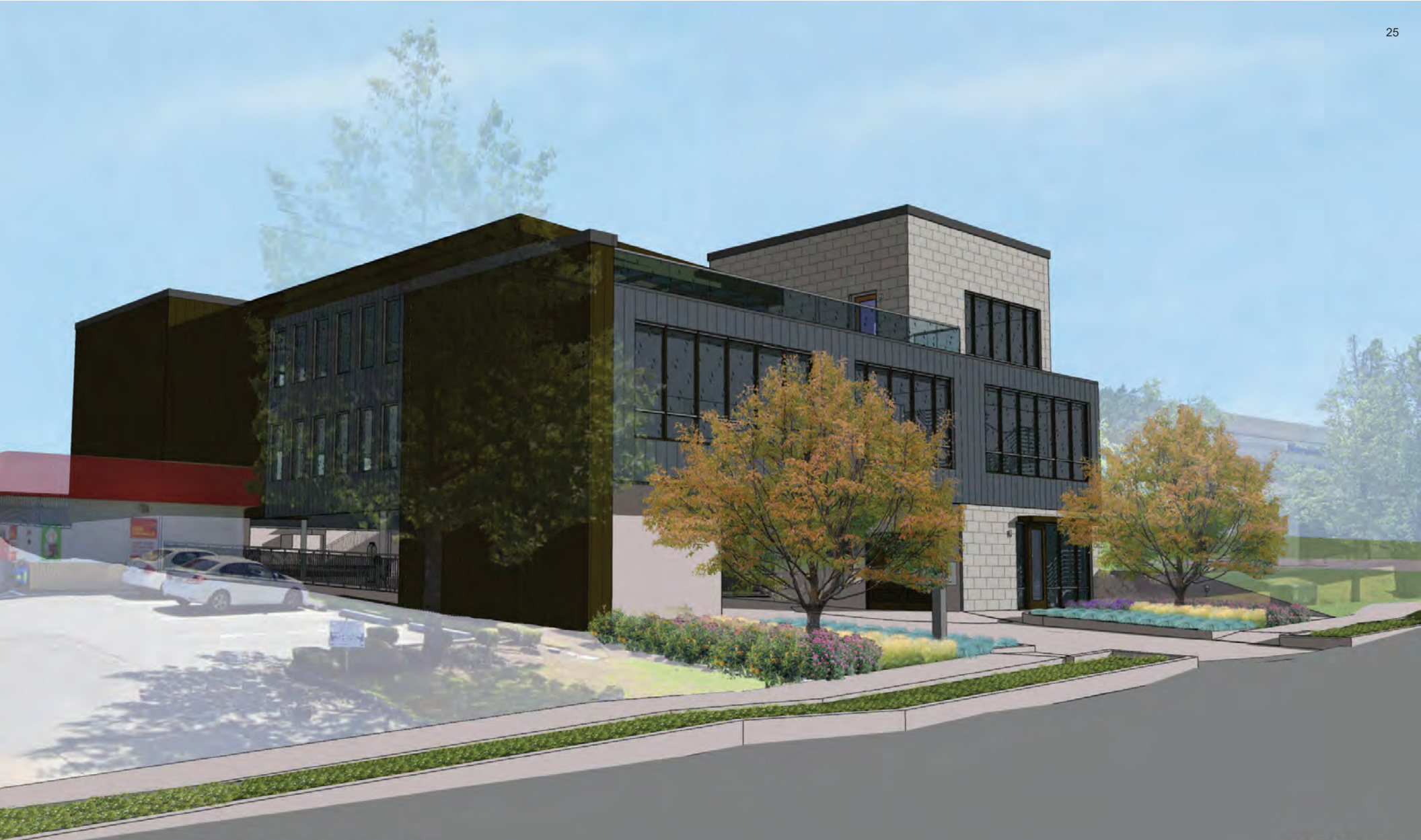
4181-188 EAST ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020



AKP-189 SOUTH ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020



AVP-158
GROUND LEVEL PERSPECTIVE - SW
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 09/30/2020



AVD-168
GROUND LEVEL PERSPECTIVE - NW
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 09/30/2020





A19-188
GROUND LEVEL PERSPECTIVE - SE
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 09/30/2020

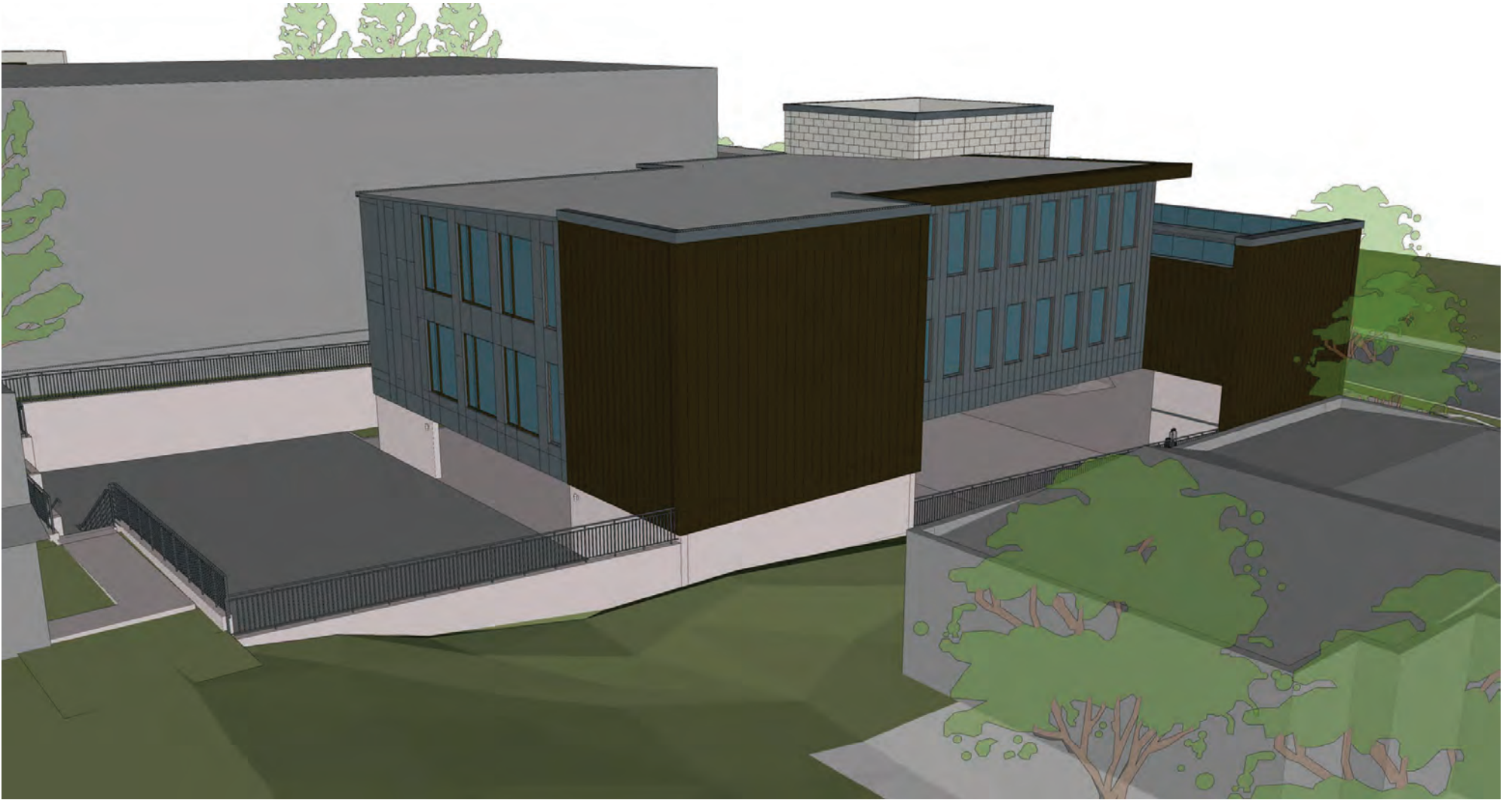




A18-158 SCREENSHOT FROM THE LIVE SKETCHUP MODEL - SW AERIAL
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020



418-158 SCREENSHOT FROM THE LIVE SKETCHUP MODEL - NW AERIAL
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020



A18-158 SCREENSHOT FROM THE LIVE SKETCHUP MODEL - NE AERIAL
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 10/19/2020

BUILDING GROSS AREA

1st Floor:	229 SF
2nd Floor:	4,744 SF
3rd Floor:	3,715 SF
TOTAL:	8,688 SF

PARKING REQUIREMENTS

Gross Area / 300 SF per Stall	
8,700 SF / 300 SF per Stall = 29 Stalls	
Parking credit due to bicycle parking (-1 Stall)	
Required Parking Stalls = 28 Stalls	

LOT COVERAGE

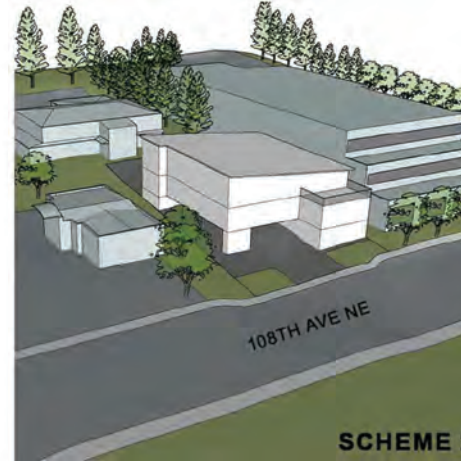
Site Area:	10,632 SF
Lot Coverage:	79.56%

PARKING PROVIDED

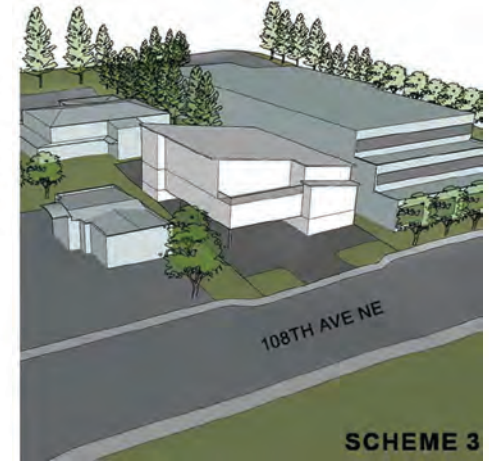
Compact:	14 Stalls
Standard:	14 Stalls
TOTAL:	28 Stalls

BUILDING HEIGHT

ABE:	214' 8"
Top of Roof:	244' 8"
Top of Mechanical:	248' 8"



SCHEME 2



SCHEME 3

CONCEPTUAL DESIGN CONFERENCE

The proposed design represented here is an evolution of schemes 2 & 3 from the Conceptual Design Conference. The board indicated that either of these conceptual designs could form the basis for the project.

The building has evolved since the previous meeting and now incorporates a main entry element on the south west corner of the property. This mass also serves as the rooftop mechanical screen. Instead of having the entire entry element project beyond the front façade as was previously designed, the second floor façade continues all the way across the front elevation in order to meet the required 5' minimum upper level setback. The north portion of the façade steps back further in order to meet the required 15' average setback and provide a rooftop deck for tenant use.

The structural system used is concrete shear walls and steel columns on the ground level, with steel and glu-lam beams on the tenant floors. Exterior materials are a mix of metal panels and stone tile with a low-slope standing seam roof.

Overall, the look and feel of the project fits into the local context of office buildings along 6th street and provides a great building to the neighborhood on a previous under utilized site.



DESIGN RESPONSE CONFERENCE

ARBORIST REPORT/TREE PLAN

6700 108th AVE NE
Kirkland, WA



Report Prepared by:
Bob Layton
Registered Consulting Arborist #670
Certified Arborist #PN-2714A

January 16, 2020

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 Judging Retention Suitability 4
Observations 4
Discussion/Recommendations..... 5
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Tree Density-Tree Replacement 6
Arborist Disclosure Statement 7

Attachments

- Photos, pages 8 - 11
- Tree Summary Table
- Tree Plan Map
- Kirkland Fencing Detail

Assignment

Layton Tree Consulting, LLC was contacted by Dan Wachtler, and was asked to compile an Arborist Report for a property in Kirkland. The subject property is located at 6700 108th AVE NE. The purpose of the report is to satisfy City requirements associated with tree protection regulations and the proposed re-development of the property.

My assignment is to prepare a written report on present tree conditions, which is to be submitted to the City with the development application materials.

This report covers all of the criteria set forth under the City of Kirkland's tree regulations (Chapter 95 of the Kirkland Zoning Code). The required minimum tree density for the parcel (+/- 10,632 sq. ft.) is 7 tree credits.

Date of Field Examination: January 16, 2020

Description

Seven significant trees were identified on the property. Subject trees are primarily located on the south perimeter of this vacant, commercial property. These are primarily comprised of young, planted ornamental deciduous varieties.

A numbered aluminum tag was attached to the lower trunk of the subject trees. These tag numbers correspond with the numbers on the Tree Summary Table and attached map.

Two off-site trees were also assessed. One is located within the right-of-way of 108th Ave NE and one is located on the neighboring property to the south, off of the southeast property corner.

Methodology

Each tree in this report was visited. Tree diameters were measured by tape. The tree heights were measured using a Spiegel Relaskop. Each tree was visually examined for defects and vigor. The tree assessment procedure involves the examination of many factors:

The crown or canopy of the tree is examined for current vigor/health by examining the foliage for appropriate color and density, the vegetative buds for color and size, and the branches for structural form and annual shoot growth; and the overall presence of limb dieback and/or any disease issues.

The trunk or main stem of the tree is inspected for decay, which includes cavities, wounds, fruiting bodies of decay (conks or mushrooms), seams, insect pests, bleeding or exudation of sap, callus development, broken or dead tops, structural defects and unnatural leans. Structural defects can include but are not limited to excessive or unnatural leans, crooks, forks with V-shaped crotches, multiple attachments.

The root collar and exposed surface roots are inspected for the presence of decay, insect damage, as well as if they have been injured or wounded, undermined or exposed, or the original grade has been altered.

Based on these factors a determination of condition is made. A 'viable' tree, as defined by the City of Kirkland is "A significant tree (a trunk diameter greater than six inches when measured four and a half feet above ground) that a qualified professional has determined to be in good health, with a low risk of failure due to structural defects, is wind firm if isolated or remains as part of a grove, and is a species that is

suitable for its location.” Trees considered ‘non-viable’ are trees that are in poor condition due to disease and/or pest infestation, age related decline, have significant decay issues and/or cumulative structural defects, which will compromise longevity.

Judging Condition

The three condition categories are described as follows:

Good – free of significant structural defects, no disease concerns, minor pest issues, no significant root issues, good structure/form with uniform crown or canopy, foliage of normal color and density, average or normal vigor, will be wind firm if isolated or left as part of a grouping or grove of trees, suitable for its location

Fair – minor to moderate structural defects not expected to contribute to a failure in near future, no disease concerns, moderate pest issues, no significant root issues, asymmetric or unbalanced crown or canopy, average or normal vigor, foliage of normal color, moderate foliage density, will be wind firm if left as part of a grouping or grove of trees, cannot be isolated, suitable for its location

Poor – major structural defects expected to cause fail in near future, disease or significant pest concerns, decline due to old age, significant root issues, asymmetric or unbalanced crown or canopy, sparse or abnormally small foliage, poor vigor, not suitable for its location

The attached tree conditions map indicates the ‘condition rating’ of the subject trees found at the site. The attached Tree Summary Table provides specific information on tree sizes and drip-line measurements.

Judging Retention Suitability

Not all trees necessarily warrant retention. The three retention suitability categories as described in ANSI A300 Part 5 (Standard Practices for the Management of Trees During Site Planning, Site Development and Construction) are as follows:

Good – trees are in good health condition and structural stability and have the potential for longevity at the site

Fair – trees are in fair health condition and/or have structural defects that can be mitigated with treatment. These trees may require more intense management and monitoring, and may have shorter life-spans than those in the “good” category.

Poor – trees are in poor health condition and have significant defects in structure that cannot be mitigated with treatment. These trees can be expected to decline regardless of management. The species or individual tree may possess characteristics that are incompatible or undesirable in landscape settings or be unsuited for the intended use of the site.

Observations

The subject trees are described as follows:

Tree #1 is a young to semi-mature pin oak, located at the front of the property. It is located near the power lines adjacent to 108th Ave NE. It has been pruned back in the past to provide line clearance, via minor topping cuts. Vigor is good. No concerning conditions were observed. Condition is rated as good.

Tree #2 is a young Chanticleer pear, located in the southwest corner of the property. It has developed typical upright form. Vigor is good. No concerning conditions were observed. Condition is rated as good.

Trees #3, #4, #5 and #6 are young European hornbeam, located in a planted row on the south perimeter, approximately 7 to 8-feet off of the property line. All have developed typical upright form with a full crown. Vigor is good. #3 has a bad fork of the main stem which will compromise future stability. It is currently in fair condition. The remainder are in good condition.

Tree #7 is a young Excelsa Western red cedar, located in the southeast corner of the property above a rockery retaining wall. It is of good vigor. No concerning conditions were observed. Condition is rated as good.

Neighboring Trees

Tree #101 is a young Chanticleer pear, located in the planting strip between the sidewalk and 108th Ave NE. Its dripline does not encroach upon the subject property. It has developed typical upright form. Vigor is good. No concerning conditions were observed. Condition is rated as good.

Tree #102 is a young Excelsa Western red cedar, located off of the southeast property corner. It is of good vigor. No concerning conditions were observed. Condition is rated as good. Its dripline only encroaches over the property line by a couple of feet.

Discussion/Recommendations

The intensity of proposed development will require the removal of all trees from the property. The extents of the required grading will necessitate their removal. No impacts are anticipated for off-site Trees #101 and #102.

The extent of drip-lines for subject trees can be found on the Tree Summary Table. For trees to be retained, driplines are shown on the attached map. The information on the attached map and in this report shall be used by the project architect to create the final tree retention plan sheet for City submittal.

The recommended Limit of Disturbance (LOD) measurements can also be found on the tree summary table. These have also been delineated on the attached map for trees where retention may be feasible. The LOD measurements are based on species, age, condition, drip-line, prior improvements, proposed impacts and the anticipated cumulative impacts to the entire root zone. These shall be referenced when determining the feasibility of retention. Position tree protection fencing as shown on the attached tree plan map.

Care shall be taken when working adjacent to off-site trees, particularly Tree #102 which will be located less than 5-feet from the new parking lot. This is a young tree in very good condition that can withstand the proposed impact so long as it is properly cared for. The lower crown may need to be pruned to provide adequate clearance. Crown raise (remove lower branches back to trunk) the tree to 6 to 8-feet above ground on the northwest side only to provide the necessary clearance.

Care shall also be taken when working adjacent to the neighboring mature arborvitae and pyramidalis evergreen hedges. Excavation or disturbance shall be limited to the property line. Position protection fencing at the property line as shown on the attached tree plan map.

Tree Protection Measures

The following guidelines are recommended to ensure that the designated space set aside for the preserved trees are protected and construction impacts are kept to a minimum. Standards have been set forth under Kirkland Zoning Code 95.34 of Chapter 95. Please review these standards prior to any development activity.

- Tree protection fencing shall be erected per the attached tree plan map prior to moving any heavy equipment on site. Doing this will set clearing limits and avoid compaction of soils within root zones of retained trees.
- Excavation limits shall be laid out in paint on the ground to avoid over excavation and unnecessary damage.
- Excavations within the drip-lines shall be monitored by a qualified tree professional so necessary precautions can be taken to decrease impacts to tree parts. A qualified tree professional shall monitor excavations when work is required and allowed within the drip-line or critical root zone.
- To establish sub grade for foundations, curbs and pavement sections near the trees, soil shall be removed parallel to the roots and not at 90-degree angles to avoid breaking and tearing roots that lead back to the trunk within the drip-line. Any roots damaged during these excavations should be exposed to sound tissue and cut cleanly with a saw. Cutting tools should be sterilized with alcohol.
- Areas excavated within the drip-line of retained trees shall be thoroughly irrigated weekly during dry periods.
- Preparations for final landscaping shall be accomplished by hand within the drip-lines of retained trees. Large equipment shall be kept outside of the tree protection zones at all times.

Tree Density-Tree Replacement

Tree Density Calculation

Lot Size – +/- 10,632 sq.ft.

$10,632/43,560 \times 30 = 7.3$

Required Minimum Tree Density = 7 tree credits

Existing Tree Credits = 9

Tree Credits to be retained = 0

Supplemental Trees required = 7 (consult with City Planner)

Supplemental trees will likely be required under Chapter 95 of the Zoning Code. It is best to consult with your City planner on any required landscape/tree replacement requirements.

For planting and maintenance specifications, refer to chapters 95.50 and 51 of the Kirkland Zoning Code.

Arborist Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training and experience to examine and assess trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risks associated with living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that grow, respond to their environment, mature, decline and sometimes fail in ways we do not fully understand. Conditions are often hidden within trees and below ground.

Arborists cannot guarantee that a tree will be healthy and/or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed. Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

Photo Documentation

Tree #1



Tree #1 – upper crown



Tree #2



Trees #3, #4 and #5, looking west down south property line



Trees #6 and #7



Trees #7 and #102, above



Mature pyramidalis hedge off of north property line at east end of property



Mature arborvitae hedge at front of property off north property line





Layton Tree Consulting LLC

For: Taco Truck LLC
Site: 6700 108th AVE NE - Kirkland

Tree Summary Table

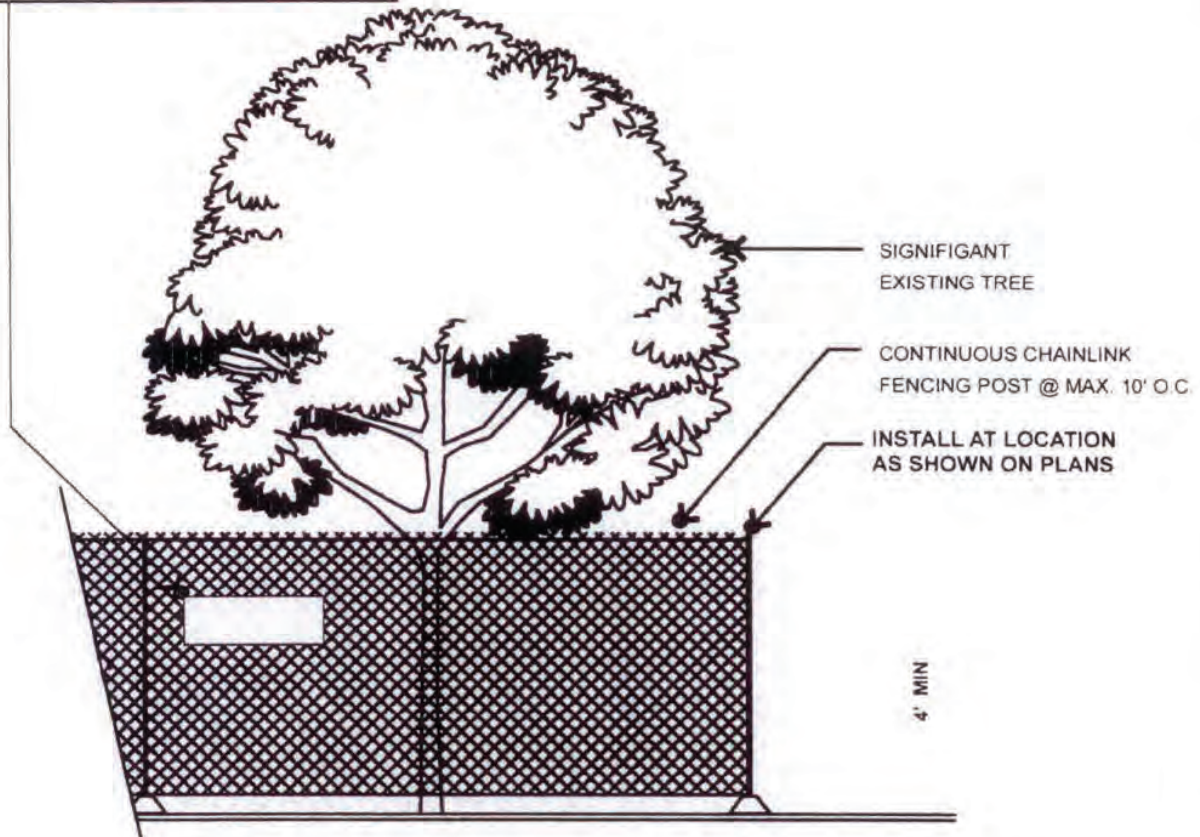
Date: 1/16/2020

Tree/ Tag #	Species	DBH (inches)	Height (feet)	Tree Credit	Drip-Line / Limits of Disturbance (feet)				Retention Condition	Suitability	Comments	Proposal
					N	S	E	W				
1	pin oak	14	34	3	19/10	16/10	16/10	18/6	Good	Fair	topped in past for power lines, minor toppings	Remove
2	Chanticleer pear	7	32	1	5/6	5	4	7	Good	Fair	young, typical form	Remove
3	European hornbeam	8	33	1	8	8	8	9	Fair	Fair	bad fork at 7 feet, good vigor	Remove
4	European hornbeam	8	34	1	8	8	8	8	Good	Fair	typical form, young, good vigor	Remove
5	European hornbeam	8	32	1	8	8	8	8	Good	Fair	typical form, young, good vigor	Remove
6	European hornbeam	8	31	1	8	8	8	8	Good	Fair	typical form, young, good vigor	Remove
7	Excelsa red cedar	10	37	1	9/9	7	8	9/10	Good	good	good vigor, young	Remove
	Neighboring/Street Trees											
101	Chanticleer pear	7	22	NA	7	NA	5	6	good	good	street tree, young, typical form, forked top	Protect
102	Excelsa red cedar	11	36	NA	8/8	NA	NA	7/5	good	good	good vigor, young	Protect

Drip-Line and Limits of Disturbance measurements from face of trunk
TBD = to be determined

FENCING SIGN DETAIL

Tree Protection Area, Entrance Prohibited
To report violations contact
City Code Enforcement
at (425)587-3225



1. MINIMUM FOUR (4) FOOT HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE TREE (S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
2. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER ONE (1) INCH DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND COVERED WITH SOIL AS SOON AS POSSIBLE.
3. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
4. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) FEET ALONG THE FENCE.



**TREE PROTECTION
FENCING DETAIL**



CITY OF KIRKLAND
Planning and Building Department
123 5th Avenue, Kirkland, WA 98033
425.587.3600 ~ www.kirklandwa.gov

DEVELOPMENT STANDARDS LIST

File: DRV20-00187

ZONING CODE STANDARDS

92.35 Prohibited Materials In Design Districts. If in a design district the following building materials are prohibited or limited in use: mirrored glass or reflective materials, corrugated fiberglass, chain link fencing, metal siding, concrete block, backlit awnings. Water spigots are required along building facades along sidewalks for cleaning and plant watering. Commercial buildings with more than one tenant shall install a cornerstone or plaque.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.44 Parking Area Landscape Islands. Landscape islands must be included in parking areas as provided in this section.

95.45 Parking Area Landscape Buffers. Applicant shall buffer all parking areas and driveways from the right-of-way and from adjacent property with a 5-foot wide strip as provided in this section. If located in a design district a low hedge or masonry or concrete wall may be approved as an alternative through design review.

95.50 Tree Installation Standards. All supplemental trees to be planted shall conform to the Kirkland Plant List. All installation standards shall conform to Kirkland Zoning Code Section 95.45.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required. In JBD and CBD cabinet signs are prohibited.

105.10.2 Pavement Setbacks. The paved surface in an access easement or tract shall be set back at least 5 feet from any adjacent property which does not receive access from that easement or tract. An access easement or tract that has a paved area greater than 10 feet in width must be screened from any adjacent property that does not receive access from it. Screening standards are outlined in this section.

105.18 Pedestrian Walkways. All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required. In design districts through block pathways or other pedestrian improvements may be required. See also Plates 34 in Chapter 180.

105.32 Bicycle Parking. All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an

entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

105.19 Public Pedestrian Walkways. The height of solid (blocking visibility) fences along pedestrian pathways that are not directly adjacent a public or private street right-of-way shall be limited to 42 inches unless otherwise approved by the Planning or Public Works Directors. All new building structures shall be setback a minimum of five feet from any pedestrian access right-of-way, tract, or easement that is not directly adjacent a public or private street right-of-way. If in a design district, see section and Plate 34 for through block pathways standards.

105.20 Required Parking. 29 parking spaces are required for this use.

105.58 Parking Lot Locations in Design Districts. See section for standards unique to each district.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.60.4 Parking Lot Walkways. All parking lots which contain more than 25 stalls must include pedestrian walkways through the parking lot to the main building entrance or a central location. Lots with more than 25,000 sq. ft. of paved area must provide pedestrian routes for every 3 aisles to the main entrance.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

105.96 Drive Through Facilities. See section for design criteria for approving drive through facilities.

110.52 Sidewalks and Public Improvements in Design Districts. See section, Plate 34 and public works approved plans manual for sidewalk standards and decorative lighting design applicable to design districts.

110.60.5 Street Trees. All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may

occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.40 Fence Location. Fences over 6 feet in height may not be located in a required setback yard. A detached dwelling unit abutting a neighborhood access or collector street may not have a fence over 3.5 feet in height within the required front yard. No fence may be placed within a high waterline setback yard or within any portion of a north or south property line yard, which is coincident with the high waterline setback yard.

A detached dwelling unit may not have a fence over 3.5 feet in height within 3 feet of the property line abutting a principal or minor arterial except where the abutting arterial contains an improved landscape strip between the street and sidewalk. The area between the fence and property line shall be planted with vegetation and maintained by the property owner.

115.45 Garbage and Recycling Placement and Screening. For uses other than detached dwelling units, duplexes, moorage facilities, parks, and construction sites, all garbage receptacles and dumpsters must be setback from property lines, located outside landscape buffers, and screened from view from the street, adjacent properties and pedestrian walkways or parks by a solid sight-obscuring enclosure.

115.47 Service Bay Locations. All uses, except single family dwellings and multifamily structures, must locate service bays away from pedestrian areas. If not feasible must screen from view.

115.75.2 Fill Material. All materials used as fill must be non-dissolving and non-decomposing. Fill material must not contain organic or inorganic material that would be detrimental to the water quality, or existing habitat, or create any other significant adverse impacts to the environment.

115.90 Calculating Lot Coverage. The total area of all structures and pavement and any other impervious surface on the subject property is limited to a maximum percentage of total lot area. See the Use Zone charts for maximum lot coverage percentages allowed. Section 115.90 lists exceptions to total lot coverage calculations See Section 115.90 for a more detailed explanation of these exceptions.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115 Required Setback Yards. This section establishes what structures, improvements and activities may be within required setback yards as established for each use in each zone.

115.115.3.g Rockeries and Retaining Walls. Rockeries and retaining walls are limited to a maximum height of four feet in a required yard unless certain modification criteria in this section are met. The combined height of fences and retaining walls within five feet of each other in a required yard is limited to a maximum height of 6 feet, unless certain modification criteria in this section are met.

115.115.3.p HVAC and Similar Equipment: These may be placed no closer than five feet of a side or rear property line, and shall not be located within a required front yard; provided, that HVAC equipment may be located in a storage shed approved pursuant to subsection (3)(m) of this section or a garage approved pursuant to subsection (3)(o)(2) of this section. All HVAC equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the noise provisions of KZC 115.95.

115.115.d Driveway Setbacks. Parking areas and driveways for uses other than detached dwelling units, attached and stacked dwelling units in residential zones, or schools and day-cares with more than 12 students, may be located within required setback yards, but, except for the portion of any driveway which connects with an adjacent street, not closer than 5 feet to any property line.

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

Prior to issuance of a grading or building permit:

95.30(4) Tree Protection Techniques. A description and location of tree protection measures during construction for trees to be retained must be shown on demolition and grading plans.

95.34 Tree Protection. Prior to development activity or initiating tree removal on the site, vegetated areas and individual trees to be preserved shall be protected from potentially damaging activities. Protection measures for trees to be retained shall include (1) placing no construction material or equipment within the protected area of any tree to be retained; (2) providing a visible temporary protective chain link fence at least 6 feet in height around the protected area of retained trees or groups of trees until the Planning Official authorizes their removal; (3) installing visible signs spaced no further apart than 15 feet along the protective fence stating "Tree Protection Area, Entrance Prohibited" with the City code enforcement phone number; (4) prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional; and (5) ensuring that approved landscaping in a protected zone shall be done with light machinery or by hand.

27.06.030 Park Impact Fees. New residential units are required to pay park impact fees prior to issuance of a building permit. Please see KMC 27.06 for the current rate. Exemptions and/or credits may apply pursuant to KMC 27.06.050 and KMC 27.06.060. If a property contains an existing unit to be removed, a "credit" for that unit shall apply to the first building permit of the subdivision.

Prior to occupancy:

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City

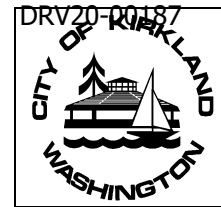
95.51.2.b Tree Maintenance. For detached dwelling units, the applicant shall submit a 5-year tree maintenance agreement to the Planning and Building Department to maintain all pre-existing trees designated for preservation and any supplemental trees required to be planted.

95.51.3 Maintenance of Preserved Grove. The applicant shall provide a legal instrument acceptable to the City ensuring the preservation in perpetuity of approved groves of trees to be retained.

110.60.5 Landscape Maintenance Agreement. The owner of the subject property shall sign a landscape maintenance agreement, in a form acceptable to the City Attorney, to run with the subject property to maintain landscaping within the landscape strip and landscape island portions of the right-of-way (see Attachment @). It is a violation to pave or cover the landscape strip with impervious material or to park motor vehicles on this strip.

110.60.6 Mailboxes. Mailboxes shall be installed in the development in a location approved by the Postal Service and the Planning Official. The applicant shall, to the maximum extent possible, group mailboxes for units or uses in the development.

110.75 Bonds. The City may require or permit a bond to ensure compliance with any of the requirements of the Required Public Improvements chapter. A @ shall be submitted for @.



PUBLIC WORKS CONDITIONS

Permit #: DRV20-00187

Project Name: 6700 Houghton Commercial Building

Project Address: 6700 108th Ave NE

Date: April 29, 2020

Public Works Staff Contacts

Jamie Ward, Development Engineer

Phone: 425-587-3809 / E-mail: jward@kirklandwa.gov

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the [City of Kirkland Public Works Pre-Approved Plans and Policies Manual](#). A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site.
2. This project will be subject to [Public Works Permit and Connection Fees](#). It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The applicant should anticipate the following fees:
 - Water, Sewer, and Surface Water Connection Fees *
 - Side Sewer Inspection Fee *
 - Septic Tank Abandonment Inspection Fee
 - Water Meter Fee *
 - Right-of-way Fee
 - Review and Inspection Fee
 - Building Permits associated with this proposed project will be subject to the traffic, park, and school impact fees per Chapter 27 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s). Any existing buildings within this project which are demolished will receive a Traffic Impact Fee credit, Park Impact Fee Credit and School Impact Fee Credit. This credit will be applied to the first Building Permits that are applied for within the project. The credit amount for each demolished building will be equal to the most currently adopted Fee schedule.

** Fee to be paid with the issuance of a Building Permit.*

3. Prior to submittal of a Building or Zoning Permit, the applicant must apply for a Concurrency Test Notice. Contact Thang Nguyen, Transportation Engineer, at 425-587-3869 for more information. A separate Concurrency Permit will be created.
4. After concurrency has passed, the project will receive a concurrency test notice that allows the applicant to proceed with all development permits. A "Certificate of



Concurrency” is established with a development or building permit. It will read as follows: CERTIFICATE OF CONCURRENCY: This project has been reviewed and approved for water, sewer, and traffic concurrency. Any water and sewer mitigating conditions are listed within the conditions below. Any traffic mitigating conditions will be found in an attached memorandum from the Public Works Traffic Engineering Analyst to the Planning Department Project Planner. Upon issuance of this permit, this project shall have a valid Certificate of Concurrency and concurrency vesting until the permit expires. This condition shall constitute issuance of a Certificate of Concurrency pursuant to chapter 25.12 of the Kirkland Municipal Code.

5. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the [Public Works Policy G-7, Engineering Plan Requirements](#). This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
6. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
7. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
8. A completeness check meeting is required prior to submittal of any Building Permit applications.
9. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage, recycling and composting storage and pickup. The plan shall conform to [Policy G-9](#) in the Public Works Pre-approved Plans and be approved by Waste Management and the City. Important feature is to provide enough storage area for recycling and composting; and being able to pick up containers without storing in the ROW overnight. Submit the plan with a cover letter to explain how Policy G-9 requirements will be met. Please contact John MacGillivray, 425.587.3804, if you have questions.
10. The required tree plan shall include any significant tree in the public right-of-way along the property frontage.

Sanitary Sewer Conditions:

1. The existing sanitary sewer main in the right-of-way is adequate to serve the project.
2. Provide a 6-inch minimum side sewer stub; sizing determined by plumbing code. Side sewers serving the property shall be PVC gravity sewer pipe per Public Works Pre-



Approved Criteria. The existing side sewer may be used if it meets material and sizing requirements and review of the pipe video shows the pipe in satisfactory condition.

3. Any businesses serving food or drink are required to have grease interceptor on the waste line prior to discharge to the City sewer system. The interceptor shall be sized per the Uniform Plumbing Code (minimum).

Water System Conditions:

1. The existing water main in the right-of-way is adequate to serve the project.
2. Provide a separate water service from the water main to the meter for each use (irrigation is a separate use); City of Kirkland will set the water meter. The water size is determined when the Building Permit is submitted and is sized per the Uniform Plumbing Code.
3. The existing water service shall be abandoned at the main, unless approved otherwise by Public Works. Note: The existing water service may be used provided that it is in the right location, is not galvanized or blue poly, and is sized adequately to serve the building (per the Plumbing Code).
4. See Fire Department conditions for fire flow requirements.

Surface Water Conditions:

1. Provide temporary and permanent storm water control in accordance with the [2016 King County Surface Water Design Manual \(KCSWDM\)](#) and the City of Kirkland Addendum (Policy [D-10](#)).
2. To determine the drainage review level required, the target impervious surface area is the maximum allowable lot coverage area for the project, plus any offsite improved impervious areas. See Policies [D-2](#) and [D-3](#) in the Public Works Pre-Approved Plans for drainage review information, or contact Kirkland Surface Water staff at (425) 587-3800 for assistance. The Kirkland [Drainage Review Flow Chart](#) is a helpful tool to determine a project's drainage review level. Drainage review levels are summarized below:
 - Full Drainage Review
 - Any non-single-family residential project that creates more than 2,000 sf of new and/or replaced impervious surface, or greater than 7,000 sf of land disturbing activity will trigger a Full Drainage Review.
 - Single family residential projects that propose improvements greater than the Simplified thresholds explained above will be subject to a Full Drainage Review.



3. A preliminary drainage report (Technical Information Report) must be submitted with the subdivision application. This must include a downstream analysis for all projects (except for Basic and Simplified Drainage Review projects). Provide a level one off-site analysis per Core Requirement #2 of the KCSWDM.
 - For Simplified Drainage Review, use the Simplified TIR Submittal Template available on the City of Kirkland website. Navigate to the following webpage:
"City of Kirkland Utilities > Storm & Surface Water > Development & Construction"
4. This project is in a Level 1 Flow Control Area (Potential Direct Discharge), and is required to comply with core drainage requirements in the KCSWDM.
 - a) To qualify for direct discharge, the applicant must demonstrate (at a minimum):
 - The conveyance system between the project site and Lake Washington will be comprised of manmade conveyance elements and will be within public right-of-way or a public or private drainage easement, AND
 - The conveyance system will have adequate capacity per Core Requirement #4, Conveyance System, for the entire contributing drainage area, assuming build-out conditions to current zoning for the equivalent area portion and existing conditions for the remaining area;
 - b) If a stormwater detention system is required, this project may be designed to Level 1 flow control standards. Existing conditions may be used as the pre-developed condition. Calculations of the existing impervious surface area for modeling shall be in accordance with the formula described in the KCSWDM.
5. The project may qualify for an exception to detention if the target surfaces will generate no more than a 0.15 cfs increase in the existing conditions 100-year peak flow. The 15-minute time step must be used to perform the flow control analysis. Do not use the 1-hour time step. Approved hydrologic modeling programs are MGS Flood and WWHM 2012.
6. Evaluate the feasibility and applicability of dispersion, infiltration, and other stormwater Low Impact Development (LID) Best Management Practices (BMPs) per the KCSWDM. If feasible, stormwater LID BMPs are required to the maximum extent feasible. If LID BMPs are infeasible, pervious pavement cannot be used to reduce overall impervious lot coverage. The Private Maintenance Agreement will be recorded on all projects that construct a stormwater LID BMP or facility, per Policy [D-7](#).
7. Soil information may be necessary for designing LID BMPs per the KCSWDM, and there are other reasons a soil report is necessary for a project (e.g., steep slopes, sensitive areas, etc.). Refer to Policy [D-8](#) for details.



8. Special inspections may be required for LID BMPs on this project. Provide documentation of inspections by a licensed geotechnical professional that the BMP will function as designed.
9. If the project will create or replace more than 5,000 square feet of pollution generating impervious surface (PGIS), provide water quality treatment in accordance with the KCSWDM. The enhanced treatment level is required for multi-family residential, commercial, industrial projects, and single family residential projects with eight or more dwelling units per acre density.
10. Soil Amendment per Pre-Approved Plan E.12 is required for all landscaped areas.
11. Provide a separate storm drain connection to each lot for conveyance. All roof and driveway drainage must be tight-lined to the storm drain system or utilize low impact development techniques on-site.
12. Provide collection and conveyance of right-of-way storm drainage. Provide a plan and profile design for the storm sewer system. Size and material of construction shall be in accordance with the City Kirkland Pre-Approved Plans and Notes. Refer to Policy [D-5](#) for details.
13. Construction Stormwater Pollution Prevention Plan (CSWPPP):
 - All proposed projects that will conduct construction activities onsite, or offsite must provide stormwater pollution prevention and spill controls to prevent, reduce, or eliminate the discharge of pollutants (including sediment) to onsite or adjacent stormwater systems or watercourses.
 - Refer to Core Requirement No. 5 in the KCSWDM and Policy [D-12](#).
 - Provide an erosion control report and plan with the Building or Land Surface Modification Permit application. The plan shall be in accordance with the KCSWDM.
 - Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts 108th Ave NE. This street is an Arterial type street. Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:



- A. Remove and replace all curb and gutter along the frontage; same location.
 - B. Install a landscape strip to match the existing width south of the project. Install street trees 30 ft on center, if feasible (small frontage, power lines, and driveway cut).
 - C. Install a 5-ft wide concrete sidewalk behind the landscape strip.
 - D. The 5-ft sidewalk requirement will be installed rather than a 8-ft wide sidewalk that would have been required at this location, due to the required dedication of that area to the City of Kirkland for future corridor improvements along 108th Ave NE. Mentioned below in section F.a.i
 - E. Identify and protect trees with retention value in the right-of-way.
 - F. Coordinate improvements with planned Kirkland street projects.
 - a. A Public Right-of-Way Easement is required for future corridor improvements.
 - i. Provide the 12 ft easement along 108th Ave frontage; total area of dedication to be finalized at later date (~837 SF).
 - ii. The value of the easement to be credited toward the required traffic impact fee for this project.
 - b. New driveway design needs to evaluate the future street widening and show that the proposed project access will work with the future road widening and frontage improvements.
2. When three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline, the street shall be overlaid with new asphalt or the existing asphalt shall be removed and replaced per the City of Kirkland [Street Asphalt Overlay Policy R-7](#).
- Existing streets with 4-inches or more of existing asphalt shall receive a 2-inch (minimum thickness) asphalt overlay. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.
 - Existing streets with 3-inches or less of existing asphalt shall have the existing asphalt removed and replaced with an asphalt thickness equal or greater than the existing asphalt provided however that no asphalt shall be less than 2-inches thick and the subgrade shall be compacted to 95% density.
3. Access Requirements (KZC Chapter 105.10):
- The driveway will be limited to right-turns entering and exiting. No left-turn movement.
4. Meet the requirements of the Kirkland [Driveway Policy R-4](#). Spacing Table from R-4, for reference:



Chart below shows recommended (desirable) and minimum (required) values.

	Street Functional Type		Land Use Category		
			Residential	Multi-family / Non-residential	
			Required	Recommended	Required
Setback from Intersections	Local		50'	75'	75'
	Collector	Unsignalized	75'	75'	75'
		Signalized	100'	200'	150'
	Arterial	Unsignalized	100'	150'	100'
		Signalized	150'	200'	150'
	HAL		150'	200'	150'
Spacing	Local		10'	50'	50'
	Collector		20'	50'	50'
	Arterial		100'	150'	150'
Offset to the Left of Existing Opposing Driveway	Local		NA	NA	NA
	Collector		NA	NA	NA
	Arterial	25-30 MPH	100'	150'	150'
		35 MPH	150'	200'	150'

5. Meet the requirements of the Kirkland [Intersection Sight Distance Policy R.13](#). All street and driveway intersections shall not have any visual obstructions within the sight distance triangle.
6. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project, associated street, or utility improvements.
7. Underground all new and existing on-site utility lines and overhead transmission lines. Underground any new off-site transmission lines.
8. Zoning Code Section 110.60.7.b establishes the requirement that existing utility and transmission (power, telephone, etc.) lines on-site and in rights-of-way adjacent to the site must be underground. The Public Works Director may determine if undergrounding transmission lines in the adjacent right-of-way is not feasible and defer the undergrounding by signing an agreement to participate in an undergrounding project, if one is ever proposed. In this case, the Public Works Director has determined that undergrounding of existing overhead utility on 108th Avenue NE is not feasible at this time and the undergrounding of off-site/frontage transmission lines should be deferred with a Local Improvement District (LID) No Protest Agreement.
9. New LED street lights may be required per Puget Sound Energy design and Public Works approval. Contact the INTO Light Division at PSE for a lighting analysis. If lighting is necessary, design must be submitted prior to issuance of a grading or building permit.

Kayla Neckorcuk – Territory Engineer for King County, Intolight, PUGET SOUND ENERGY
Tel 425-577-2392 | Fax 425-462-3149

Email Kayla.Neckorcuk@pse.com | Website: www.intolight.com



10. A striping plan for the street must be submitted with the building or grading permit.

Related City Website Links

- [City of Kirkland Pre-Approved Plans and Policies](#)
- [Public Works Development Fees](#)
- [Stormwater FAQs](#)
- Application Forms ([Electronic](#), [Paper](#))
- [KZC105 – Private Drive, Private and Pedestrian Walkway Requirements](#)
- [KZC110 - Public Right-of-way Improvement Requirements](#)

CHAPTER 35 – COMMERCIAL ZONES (BN, BNA, FHNC, BC, BC 1, BC 2, BCX, HENC 1, HENC 3)

Sections:

- [35.05](#) User Guide
 - [35.05.010](#) Applicable Zones
 - [35.05.020](#) Common Code References
- [35.10](#) General Regulations
 - [35.10.010](#) All Commercial Zones
 - [35.10.020](#) BN, BNA Zones
 - [35.10.030](#) BC, BC 1, BC 2 Zones
 - [35.10.040](#) BCX Zones
 - [35.10.050](#) FHNC Zone
 - [35.10.060](#) HENC 1, HENC 3 Zones
- [35.20](#) Permitted Uses
- [35.30](#) Density/Dimensions
- [35.40](#) Development Standards

35.05 User Guide

Step 1. Check that the zone of interest is included in KZC [35.05.010](#), Applicable Zones. If not, select the chapter where it is located.

Step 2. Refer to KZC [35.05.020](#), Common Code References, for relevant information found elsewhere in the code.

Step 3. Refer to the General Regulations in KZC [35.10](#) that apply to the zones as noted.

Step 4. Find the Use of interest in the Permitted Uses Table in KZC [35.20](#) and read across to the column pertaining to the zone of interest. If a Use is not listed in the table, it is not allowed. A listed use is permitted unless “NP” (Not Permitted) is noted for the table. Note the Required Review Process and Special Regulations that are applicable. There are links to the Special Regulations listed immediately following the table (PU-1, PU-2, PU-3, etc.).

Step 5. Find the Use of interest in the Density/Dimensions Table in KZC [35.30](#) and read across the columns. Note the standards (Minimum Lot Size, Required Yards, Maximum Lot Coverage, and Maximum Height of Structure) and Special Regulations that are applicable. There are links to the Special Regulations listed immediately following the table (DD-1, DD-2, DD-3, etc.).

Step 6. Find the Use of interest in the Development Standards Table in KZC [35.40](#) and read across the columns. Note the standards (Landscape Category, Sign Category, and Required Parking Spaces) and Special Regulations that are applicable. There are links to the Special Regulations listed immediately following the table (DS-1, DS-2, DS-3, etc.).

Note: Not all uses listed in the Density/Dimensions and Development Standards Tables are permitted in each zone addressed in this chapter. Permitted uses are determined only by the Permitted Uses Table.

35.05.010 Applicable Zones

This chapter contains the regulations for uses in the commercial zones (BN, BNA, BC,

BC 1, BC 2, BCX, FHNC, HENC 1, HENC 3) of the City.

35.05.020 Common Code References

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. Public park development standards will be determined on a case-by-case basis. See KZC 45.50.
3. Review processes, density/dimensions and development standards for shoreline uses can be found in Chapter 83 KZC, Shoreline Management.
4. Some development standards or design regulations may be modified as part of the design review process. See Chapters 92 and 142 KZC for requirements.
5. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with Assisted Living Facility, Attached or Stacked Dwelling Units, and Stacked Dwelling Unit uses.
6. Development adjoining the Cross Kirkland Corridor or Eastside Rail Corridor shall comply with the standards of KZC 115.24.
7. Structures located within 30 feet of a parcel in a low density zone or a low density use in PLA 17 shall comply with additional limitations on structure size established by KZC 115.136.

(Ord. 4637 § 3, 2018; Ord. 4636 § 3, 2018; Ord. 4476 § 2, 2015)

35.10 General Regulations

35.10.010 All Commercial Zones

The following regulations apply to all uses in these zones unless otherwise noted:

1. Surface parking areas shall not be located between the street and building unless no feasible alternative exists. Parking areas located to the side of the building are allowed; provided, that the parking area and vehicular access occupies less than 30 percent of the property frontage and design techniques adequately minimize the visibility of the parking.

35.10.020 BN, BNA Zones

1. The following commercial frontage requirements shall apply to all development that includes dwelling units or assisted living uses:
 - a. The street level floor of all buildings shall be limited to one or more of the following uses, except as allowed in subsection (1)(c) of this section: Retail; Restaurant or Tavern; Entertainment, Cultural and/or Recreational Facility; or Office. These uses shall be oriented toward fronting arterial and collector streets and have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building along the street).

The Design Review Board (or Planning Director if not subject to DR) may

approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the commercial frontage will maximize visual interest. The Design Review Board (or Planning Director if not subject to DR) may modify the frontage requirement where the property abuts residential zones in order to create a more effective transition between uses.

b. The commercial floor shall be a minimum of 13 feet in height. In the BN zone, the height of the structure may exceed the maximum height of structure by three feet for a three-story building with the required 13-foot commercial floor.

c. Other uses allowed in this zone and parking shall not be located on the street level floor unless an intervening commercial frontage is provided between the street and those other uses or parking subject to the standards above. Lobbies for residential or assisted living uses may be allowed within the commercial frontage provided they do not exceed 20 percent of the building's linear commercial frontage along the street.

2. Where Landscape Category B is specified, the width of the required landscape strip shall be 10 feet for properties within the Moss Bay neighborhood and 20 feet for properties within the South Rose Hill neighborhood. All other provisions of Chapter 95 KZC shall apply.

3. In the BNA zone, developments may elect to provide affordable housing units as defined in Chapter 5 KZC subject to the voluntary use provisions of Chapter 112 KZC.

35.10.030 BC, BC 1, BC 2 Zones

1. In the BC zone, at least 75 percent of the total gross floor area located on the ground floor of all structures on the subject property must contain retail establishments, restaurants, taverns, hotels or motels, or offices. These uses shall be oriented to an adjacent arterial, a major pedestrian sidewalk, a through-block pedestrian pathway or an internal pathway.

2. In the BC 1 and BC 2 zones, the following requirements shall apply to all development that includes residential or assisted living uses:

a. The development must include commercial use(s) with gross floor area on the ground floor equal to or greater than 25 percent of the parcel size for the subject property. Commercial floor area shall be one or more of the following uses: Retail; Restaurant or Tavern; Entertainment, Cultural and/or Recreational Facility; or Office.

b. The commercial floor shall be a minimum of 13 feet in height.

c. Commercial uses shall be oriented to adjoining arterials.

d. Residential uses, assisted living uses, and parking for those uses shall not be located on the street level floor unless an intervening commercial frontage is provided between the street and those other uses or parking subject to the

standards above. The intervening commercial frontage shall be a minimum of 20 feet in depth. The Planning Director may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the commercial frontage will maximize visual interest. Lobbies for residential or assisted living uses may be allowed within the commercial frontage provided they do not exceed 20 percent of the building's linear commercial frontage along the street.

3. In BC 1 and BC 2 zones, developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. Two additional units may be constructed for each affordable housing unit provided. See Chapter 112 KZC for additional affordable housing incentives and requirements.
4. In the BC 1 and BC 2 zones, side and rear yards abutting a residential zone shall be 20 feet.
5. In the BC 1 and BC 2 zones, all required yards for any portion of a structure must be increased one foot for each foot that any portion of the structure exceeds 35 feet above average building elevation (does not apply to Public Park uses).
6. Maximum height of structure is as follows:
 - a. In the BC zone, if adjoining a low density zone other than RSX, then 25 feet above average building elevation. Otherwise, 30 feet above average building elevation.
 - b. In the BC 1 zone, 35 feet above average building elevation.
 - c. In the BC 2 zone, 35 feet above average building elevation. Structure height may be increased to 60 feet in height if:
 - 1) At least 50 percent of the floor area is residential;
 - 2) Parking is located away from the street by placing it behind buildings, to the side of buildings, or in a parking structure;
 - 3) The ground floor is a minimum 15 feet in height for all retail, restaurant, or office uses (except parking garages); and
 - 4) The required yards of any portion of the structure are increased one foot for each foot that any portion of the structure exceeds 30 feet above average building elevation (does not apply to Public Park uses).

35.10.040 BCX Zones

1. The required yard of any portion of the structure must be increased one foot for each foot that any portion of the structure exceeds 30 feet above average building elevation (does not apply to Public Park uses).

2. The following requirements shall apply to all development that includes residential or assisted living uses:
 - a. The development must include commercial use(s) with gross floor area on the ground floor equal to or greater than 25 percent of the parcel size for the subject property. Commercial floor area shall be one or more of the following uses: Retail; Restaurant or Tavern; Entertainment, Cultural and/or Recreational Facility; or Office.
 - b. The commercial floor shall be a minimum of 13 feet in height. The height of the structure may exceed the maximum height of structure by three feet.
 - c. Commercial uses shall be oriented to adjoining arterials.
 - d. Residential uses, assisted living uses, and parking for those uses shall not be located on the street level floor unless an intervening commercial frontage is provided between the street and those other uses or parking subject to the standards above. The intervening commercial frontage shall be a minimum of 20 feet in depth. The Planning Director may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the commercial frontage will maximize visual interest. Lobbies for residential or assisted living uses may be allowed within the commercial frontage provided they do not exceed 20 percent of the building's linear commercial frontage along the street.

35.10.050 FHNC Zone

1. The following commercial frontage requirements shall apply to all development that includes dwelling units or assisted living uses:
 - a. The street level floor of all buildings shall be limited to one or more of the following uses, except as allowed in subsection (1)(c) of this section: Retail; Restaurant or Tavern; Entertainment, Cultural and/or Recreational Facility; or Office. These uses shall be oriented toward fronting streets and have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building along the street).

The Design Review Board (or Planning Director if not subject to DR) may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the commercial frontage will maximize visual interest.
 - b. The commercial floor shall be a minimum of 15 feet in height.
 - c. Other uses allowed in this zone and parking shall not be located on the street level floor unless an intervening commercial frontage is provided between the street and those other uses or parking subject to the standards above. Lobbies for residential or assisted living uses are allowed within the commercial frontage

provided they do not exceed 20 percent of the building's linear commercial frontage along the street.

2. Maximum height of structure is as follows:
 - a. Thirty-five feet above average building elevation;
 - b. Fifty-five feet above the midpoint of the subject property on the abutting right-of-way, if:
 - 1) The subject property contains a minimum of five acres and any development includes a grocery store with a minimum 20,000 square feet of floor area.
 - 2) Office uses are only allowed on the ground floor and second floor of any structure.
 - 3) For all building facades facing and within 100 feet of Juanita Drive or NE 141st Street, all portions of a structure greater than two stories in height shall be stepped back from the second story building facade by an average of 20 feet. The required upper story step backs for all floors above the second story shall be calculated as Total Upper Story Step Back Area as follows: Total Upper Story Step Back Area = (Linear feet of front property line(s), not including portions of the site without buildings that are set aside for vehicular areas) x (Required average step back) x (Number of stories proposed above the second story). The Design Review Board is authorized to allow rooftop garden structures within the step back area.
 - 4) The proposal includes public gathering places, community plazas, and public art. At least one public plaza shall contain a minimum of 2,500 square feet in one continuous piece with a minimum width of 30 feet. The space shall be designed to be consistent with the design guidelines for public open space.
 - 5) Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing incentives and requirements.
 - 6) Development shall be designed, built and certified to achieve or exceed one or more of the following green building certification standards: Built Green 5 star certified, LEED Gold certified, or Living Building Challenge certified.
 - 7) Signs for a development approved under this provision must be proposed within a Master Sign Plan application (Chapter 100 KZC) for all signs within the project.
 - 8) Drive-in and drive-through facilities are prohibited.
 - c. In addition to the height exceptions established by KZC 115.60, the following exceptions to height regulations zone are established:

- 1) Decorative parapets may exceed the height limit by a maximum of four feet; provided, that the average height of the parapet around the perimeter of the structure shall not exceed two feet.
- 2) For structures with a peaked roof, the peak may extend eight feet above the height limit if the slope of the roof is equal to or greater than four feet vertical to 12 feet horizontal.

35.10.060 HENC 1, HENC 3 Zones

1. In the HENC 1 and 3 zones:
 - a. At least 75 percent of the total gross floor area located on the ground floor of all structures on the subject property must contain retail establishments, restaurants, taverns, hotels or motels, or offices. These uses shall be oriented to a pedestrian-oriented street, a major pedestrian sidewalk, a through-block pathway or the Cross Kirkland Corridor.
 - b. Adjacent to NE 68th Street, 106th Avenue NE, 108th Avenue NE, 6th Street South and the Cross Kirkland Corridor (CKC), any portion of a structure greater than two stories in height must be stepped back from the facade below by an average of 15 feet with a minimum step back of five feet.

The Design Review Board is authorized to allow rooftop deck and/or garden structures within the step back area.
 - c. Development adjoining the Cross Kirkland Corridor shall comply with the standards of KZC 115.24. Safe public pedestrian connections through sites to the Cross Kirkland Corridor are required (for approximate locations see Plate 34O).
 - d. Minimum 14-foot-wide sidewalks are required along 106th Avenue NE, 108th Avenue NE and 6th Street South on the side of the right-of-way that abuts HENC 1; and on both sides of NE 68th Street.
 - e. Drive-in and drive-through facilities are allowed for gas stations and drug stores. All other drive-in and drive-through facilities are prohibited.

2. In the HENC 1 zone:
 - a. No more than 20 percent of the gross floor area for any building may include office uses. This requirement does not apply to the area in HENC 1 that is located north of NE 68th Street between the Cross Kirkland Corridor and what would be the northern extension of 106th Avenue NE.
 - b. Structure height may be increased to 35 feet above ABE if:
 - 1) A development of four acres or less includes at least one grocery store, hardware store, or drug store containing a minimum of 20,000 square feet of gross floor area.

- 2) A development of more than four acres includes at least one grocery store, hardware store, or drug store containing a minimum of 20,000 square feet of gross floor area and one grocery store, hardware store, or drug store containing a minimum of 10,000 square feet of gross floor area.
- 3) The site plan is approved by the Design Review Board and includes public gathering places and community plazas with public art. At least one of these public areas must measure a minimum of 1,500 square feet with a minimum width of 30 feet.
- 4) The commercial floor is a minimum of 13 feet in height.
- 5) Maximum allowed lot area per residential dwelling unit is 900 square feet or 48 units per acre.
- 6) Development shall be designed, built and certified to achieve or exceed one or more of the following green building certification standards: Built Green 5 star certified, LEED Gold certified, or Living Building Challenge certified.
- 7) At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives.

(Ord. 4637 § 3, 2018; Ord. 4636 § 3, 2018; Ord. 4476 § 2, 2015)

35.20 Permitted Uses

Permitted Uses Table – Commercial Zones (BN, BNA, FHNC, BC, BC 1, BC 2, BCX, HENC 1, HENC 3)

(See also KZC [35.30](#), Density/Dimensions Table, and KZC [35.40](#), Development Standards Table)

Use		Required Review Process:				
		BN, BNA	FHNC	BC, BC 1, BC 2	BCX	HENC 1, HENC 3
		I = Process I, Chapter 145 KZC IIA = Process IIA, Chapter 150 KZC IIB = Process IIB, Chapter 152 KZC DR = Design Review, Chapter 142 KZC None = No Required Review Process NP = Use Not Permitted # = Applicable Special Regulations (listed after the table)				
35.20.010	Assisted Living Facility	DR 1, 2, 3	DR 1, 2, 3	None 1, 2, 4	None 1, 2, 5	DR 1, 2, 4
35.20.020	Attached or Stacked Dwelling Units*	DR 3	DR 3	None 4	None 5	DR 4
35.20.030*	Reserved					
35.20.040	Church	DR 10	DR 10	None 10	None 10	DR 10
35.20.050	Community Facility	DR	DR	None	None	DR

35.20.060	Convalescent Center	DR	DR	None 2	None	DR 2
35.20.070	Entertainment, Cultural and/or Recreational Facility	DR 11, 12, 13, 14	DR 11, 12, 13, 14	None	None	DR
35.20.080	Government Facility	DR	DR	None	None	DR
35.20.090	Hotel or Motel	NP	DR 15	None 15	None 15	DR 15
35.20.100	Mini-School or Mini-Day-Care Center	DR 10, 16, 17	DR 10, 16, 17	None 10, 16, 17	None 10, 16, 17	DR 10, 16, 17
35.20.110	Nursing Home	DR	DR	None 2	None	DR 2
35.20.120	Office Use	DR 18, 19, 21	DR 18, 19, 21	None 18, 19	None 18, 19	DR 18, 19
35.20.130	Private Lodge or Club	DR	DR	None	None	DR
35.20.140	Public Park	See KZC 45.50 for required review process.				
35.20.150	Public Utility	IIA	IIA	None	None	DR
35.20.160	Restaurant or Tavern	DR 11, 12, 13	DR 11, 12, 13	None 11, 13	None 11, 13	DR 11
35.20.170*	Retail Establishment other than those specifically listed in this zone, selling goods, or providing services	NP	DR 12, 23	None 11, 12, 23, 30	None 11, 12, 23	DR 11, 12, 23, 30
35.20.180*	Retail Establishment providing banking and related financial services	DR 11	DR 11	None 11	None 11	DR 11
35.20.190*	Retail Establishment providing laundry, dry cleaning, barber, beauty or shoe repair services	DR 11, 12, 13	DR 11, 12, 13	None 11, 12	None 11, 12	DR 11, 12
35.20.200	Retail Establishment providing storage services	NP	NP	None 25, 26	None 25	DR 25, 26
35.20.210*	Retail Establishment providing vehicle or boat sales or vehicle or boat service or repair	NP	NP	None 27	None 6, 7, 8, 9	NP
35.20.220*	Retail Establishment selling drugs, books, flowers, liquor, hardware supplies, garden supplies or works of art	DR 11, 23, 30	DR 11, 23, 30	None 11, 12, 23, 30	None 11, 12, 23	DR 11, 12, 23, 30
35.20.230*	Retail Establishment selling groceries and related items	DR 11, 23	DR 11, 23	None 11, 12, 23, 30	None 11, 12, 23	DR 11, 12, 23, 30
35.20.240*	Retail Variety or Department Store	DR 11, 23	DR 11, 23	None 11, 12, 23, 30	None 11, 12, 23	DR 11, 12, 23, 30
35.20.250	School or Day-Care Center	DR 10, 16, 17	DR 10, 16, 17	None 10, 16, 17	None 10, 16, 17	DR 10, 16, 17

35.20.260*	Reserved					
35.20.270	Vehicle Service Station	DR 17, 28, 29	DR 17, 28, 29	I 28	I 28	DR 28

Permitted Uses (PU) Special Regulations:

- PU-1. A facility that provides both independent dwelling units and assisted living units shall be processed as an assisted living facility.
- PU-2. If a nursing home use is combined with an assisted living facility use in order to provide a continuum of care for residents, the required review process shall be the least intensive process between the two uses.
- PU-3. This use is only allowed on the street level floor subject to the provisions of KZC [35.10.020\(1\)](#) or [35.10.050](#).
- PU-4*. Attached Dwelling Units are not allowed in the BC, BC 1 and BC 2 zones. In the BC, HENC 1 and HENC 3 zones, this use, with the exception of a lobby, may not be located on the ground floor of a structure. In the BC 1 and BC 2 zones, this use is only allowed subject to the provisions of KZC [35.10.030\(2\)](#).
- PU-5*. Attached Dwelling Units are not allowed in the BCX zone. This use is only allowed subject to the provisions of KZC [35.10.040\(2\)](#).
- PU-6*. This use specifically excludes new or used vehicle or boat sales or rentals, except motorcycle sales, service, or rental is permitted if conducted indoors.
- PU-7. No openings (i.e., doors, windows which open, etc.) shall be permitted in any facade of the building adjoining to any residentially zoned property. Windows are permitted if they are triple-paned and unable to be opened.
- PU-8. Storage of used parts and tires must be conducted entirely within an enclosed structure. Outdoor vehicle parking or storage areas must be buffered as required for a parking area in KZC 95.45. See KZC 115.105, Outdoor Use, Activity and Storage, for additional regulations.
- PU-9. Prior to occupancy of the structure, documentation must be provided and stamped by a licensed professional verifying that the expected noise to be emanating from the site adjoining to any residential zoned property complies with the standards set forth in WAC 173-60-040(1) for a Class B source property and a Class A receiving property.
- PU-10. May include accessory living facilities for staff persons.
- PU-11. Uses with drive-in and drive-through facilities are prohibited in the BN zone. Access from drive-through facilities must be approved by the Public Works Department. Drive-through facilities must be designed so that vehicles will not block traffic in the right-of-way while waiting in line to be served.
- PU-12. Ancillary assembly and manufactured goods on the premises of this use are permitted only if:

- a. The assembled or manufactured goods are directly related to and are dependent upon this use, and are available for purchase and removal from the premises.
 - b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses.
- PU-13. For restaurants with drive-in or drive-through facilities, one outdoor waste receptacle shall be provided for every eight parking stalls.
- PU-14. Entertainment, cultural and/or recreational facilities are only allowed in BNA and FHNC zones.
- PU-15. May include ancillary meeting and convention facilities.
- PU-16. A six-foot-high fence is required along the property lines adjacent to the outside play areas.
- PU-17. Hours of operation may be limited by the City to reduce impacts on nearby residential uses.
- PU-18. The following regulations apply to veterinary offices only:
- a. May only treat small animals on the subject property.
 - b. Outside runs and other outside facilities for the animals are not permitted.
 - c. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an Acoustical Engineer, must be submitted with the development permit application.
- PU-19. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if:
- a. The ancillary assembled or manufactured goods are subordinate to and dependent on this use.
 - b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.
- PU-20. Reserved.
- PU-21. For properties located within the Moss Bay neighborhood, this use not allowed above the street level floor of any structure.
- PU-22. Reserved.
- PU-23. A delicatessen, bakery, or other similar use may include, as part of the use, accessory seating if:
- a. The seating and associated circulation area does not exceed more than 10 percent of the gross floor area of the use; and
 - b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded.

- PU-24. Reserved.
- PU-25. May include accessory living facilities for resident security manager.
- PU-26. This use not permitted in BC 1 and BC 2 zones or if any portion of the property is located within 150 feet of the Cross Kirkland Corridor.
- PU-27. Vehicle and boat rental are allowed as part of this use.
- PU-28. May not be more than two vehicle service stations at any intersection.
- PU-29. This use is not allowed in the BN zone.
- PU-30. Retail establishments selling marijuana or products containing marijuana are not permitted on properties abutting the school walk routes shown on Plate 46.

(Ord. 4637 § 3, 2018; Ord. 4636 § 3, 2018; Ord. 4479 § 1, 2015; Ord. 4476 § 2, 2015)

**Code reviser's note: This section of the code has been modified from what was shown in Ord. 4476 to simplify the code and reflect the intent of the City.*

35.30 Density/Dimensions

Density/Dimensions Table – Commercial Zones (BN, BNA, FHNC, BC, BC 1, BC 2, BCX, HENC 1, HENC 3)

(Refer to KZC [35.20](#), Permitted Uses Table, to determine if a use is allowed in the zone; see also KZC [35.40](#), Development Standards Table)

USE	Minimum Lot Size	REQUIRED YARDS (See Chapter 115 KZC)			Maximum Lot Coverage	Maximum Height of Structure ABE = Average Building Elevation
		Front	Side	Rear		
35.30.010 Assisted Living Facility	BN: None ³ BNA: None ² ³ FHNC: None ² BC, BC 1, BC 2, HENC 1, HENC 3: None ¹ BCX: None	BN, BNA: ⁴ FHNC: ^{4, 18} BC, BC 1, BC 2: ^{4, 5} BCX: ^{4, 6} HENC 1, HENC 3: ^{4, 20}				
35.30.020* Attached or Stacked Dwelling Units	BN, BNA: None ^{2, 7} FHNC: None ² BC, BCX, HENC 1, HENC 3:	BN, BNA, BC, BC 1, BC 2, BCX: ⁴ FHNC: ^{4, 18} HENC 1, HENC 3: ^{4, 20}				

		None BC 1, BC 2: None ¹⁶					
35.30.030*	Reserved						
35.30.040	Church	None	10' BN, BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10} BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.050	Community Facility	None	10' BN, BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10} BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.060	Convalescent Center	None	10' BN, BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BNA: 35' above ABE. ^{9, 10} BC, BC 1, BC 2: ¹¹ FHNC: ¹⁹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.070	Entertainment, Cultural and/or Recreational Facility	None BN, BNA: None ¹²	10' BC, BCX: 20'	BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10} BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.080	Government Facility	None	10' BN, BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10} BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.090	Hotel or Motel	None	10'	BC, BC 1,	BC, BC 1,	80%	FHNC: ¹⁹

			BC, BCX: 20'	BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0' FHNC: 10'	BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0' FHNC: 10'		BC, BC 1, BC 2: 11 BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. 20
35.30.100	Mini-School or Mini-Day-Care Center	None	10' BN: 0' BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. 9 10 BNA: 35' above ABE. 9 10 FHNC: 19 BC, BC 1, BC 2: 11 BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. 20
35.30.110	Nursing Home	None	10' BN, BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. 9 10 BNA: 35' above ABE. 9 10 FHNC: 19 BC, BC 1, BC 2: 11 BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. 20
35.30.120	Office Use	None	10' BN: 0' BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. 9 10 BNA: 35' above ABE. 9 10 FHNC: 19 BC, BC 1, BC 2: 11 BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. 20
35.30.130	Private Lodge or Club	None	10' BN, BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. 9 10 BNA: 35' above ABE. 9 10 FHNC: 19 BC, BC 1, BC 2: 11 BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. 20
35.30.140	Public Park	Development standards will be determined on a case-by-case basis.					
35.30.150	Public Utility	None	10' BN, BC, BCX: 20'	BN, BNA, FHNC: 20' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1.	BN, BNA, FHNC: 20' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1.	80%	BN: 30' above ABE. 9 10 BNA: 35' above ABE. 9 10 FHNC: 19 BC, BC 1, BC 2: 11 BCX: 30' above ABE.

				HENC 3: 0'	HENC 3: 0'		HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.160	Restaurant or Tavern	None BN, BNA, HENC 1, HENC 3: None ¹²	10' BN, HENC 1, HENC 3: 0' BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE.^{9, 10} BNA: 35' above ABE.^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE.²⁰
35.30.170*	Retail Establishment other than those specifically listed in this zone, selling goods, or providing services	None	BC, BCX: 20' FHNC, BC 1, BC 2: 10' HENC 1, HENC 3: 0'	BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0' FHNC: 10'	BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0' FHNC: 10'	80%	FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE.²⁰
35.30.180*	Retail Establishment providing banking and related financial services	None BN, BNA, HENC 1, HENC 3: None ¹²	BN, HENC 1, HENC 3: 0' BC, BCX: 20' BNA, FHNC, BC 1, BC 2: 10'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE.^{9, 10} BNA: 35' above ABE.^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE.²⁰
35.30.190*	Retail Establishment providing laundry, dry cleaning, barber, beauty or shoe repair services	None BN, BNA, HENC 1, HENC 3: None ¹²	BN, HENC 1, HENC 3: 0' BC, BCX: 20' BNA, FHNC, BC 1, BC 2: 10'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE.^{9, 10} BNA: 35' above ABE.^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE.²⁰
35.30.200	Retail Establishment providing storage services	None	BC, BCX: 20' HENC 1, HENC 3: 10'	BC: 0'⁸ BCX, HENC 1, HENC 3: 0'	BC: 0'⁸ BCX, HENC 1, HENC 3: 0'	80%	BC: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE.²⁰
35.30.210*	Retail Establishment providing vehicle or boat sales or vehicle or boat service or	None	BC, BCX: 20' BC 1, BC 2: 10'	BC, BCX, BC 1, BC 2: 0'⁸	BC, BCX, BC 1, BC 2: 0'⁸	80%	BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE.

	repair						
35.30.220*	Retail Establishment selling drugs, books, flowers, liquor, hardware supplies, garden supplies or works of art	None BN, BNA: None ¹⁴	BN, HENC 1, HENC 3: 0' BC, BCX: 20' BNA, FHNC, BC 1, BC 2: 10'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10} BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.230*	Retail Establishment selling groceries and related items	None BN, BNA: None ¹⁴	BN, HENC 1, HENC 3: 0' BC, BCX: 20' BNA, FHNC, BC 1, BC 2: 10'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10} BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.240*	Retail Variety or Department Store	None BN, BNA: None ¹⁴	BN, HENC 1, HENC 3: 0' BC, BCX: 20' BNA, FHNC, BC 1, BC 2: 10'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10} BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.250	School or Day-Care Center	None	BN: 0' BNA, FHNC, BC 1, BC 2, HENC 1, HENC 3: 10' BC, BCX: 20'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	BN, BNA, FHNC: 10' BC, BC 1, BC 2: 0' ⁸ BCX, HENC 1, HENC 3: 0'	80%	BN: 30' above ABE. ^{9, 10, 15} BNA: 35' above ABE. ^{9, 10, 15} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30' above ABE. ²⁰
35.30.260*	Reserved						
35.30.270	Vehicle Service Station	22,500 sq. ft.	40'	15'	15'	80%	BNA: 35' above ABE. ^{9, 10} FHNC: ¹⁹ BC, BC 1, BC 2: ¹¹ BCX: 30' above ABE. HENC 1, HENC 3: 30'

above ABE, [20](#)

Density/Dimensions (DD) Special Regulations:

- DD-1. In BC 1, BC 2 and HENC 1, subject to density limits listed for attached and stacked dwelling units. For density purposes, two assisted living units constitute one dwelling unit.
- DD-2. In the BNA zone and in the FHNC zone for properties containing less than five acres, the gross floor area of this use shall not exceed 50 percent of the total gross floor area on the subject property.
- DD-3. For density purposes, two assisted living units shall constitute one dwelling unit. Total dwelling units may not exceed the number of stacked dwelling units allowed on the subject property.
- DD-4. Same as the regulations for the ground floor use.
- DD-5. See KZC [35.10.030](#)(2).
- DD-6. See KZC [35.10.040](#)(2).
- DD-7. The minimum amount of lot area per dwelling unit is as follows:
 - a. In the BN zone, 900 square feet.
 - b. In the BNA zone:
 - i. North of NE 140th Street, 1,800 square feet.
 - ii. South of NE 124th Street, 2,400 square feet.
- DD-8. See KZC [35.10.030](#)(4) and (5).
- DD-9. If adjoining a low density zone other than RSX or RSA, then 25 feet above ABE.
- DD-10. See KZC [35.10.020](#)(1)(b).
- DD-11. See KZC [35.10.030](#)(5) and (6).
- DD-12. Gross floor area for this use may not exceed 10,000 square feet, except in the BN zone the limit shall be 4,000 square feet.
- DD-13. Reserved.
- DD-14. The gross floor area for this use may not exceed 10,000 square feet. Exceptions:
 - a. Retail establishments selling groceries and related items in the BNA zone are not subject to this limit.
 - b. In the BN zone, the limit shall be 4,000 square feet.
- DD-15. For school use, structure height may be increased, up to 35 feet, if:
 - a. The school can accommodate 200 or more students; and

- b. The required side and rear yards for the portions of the structure exceeding the basic maximum structure height are increased by one foot for each additional one foot of structure height; and
- c. The increased height is not specifically inconsistent with the applicable neighborhood plan provisions of the Comprehensive Plan.
- d. The increased height will not result in a structure that is incompatible with surrounding uses or improvements.

This special regulation is not effective within the disapproval jurisdiction of the Houghton Community Council.

DD-16. Nine hundred square feet per unit in BC 1 and BC 2.

DD-17. Gas pump islands may extend 20 feet into the front yard. Canopies or covers over gas pump islands may not be closer than 10 feet to any property line. Outdoor parking and service areas may not be closer than 10 feet to any property line. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.

DD-18. See KZC [35.10.050](#)(2).

DD-19. See KZC [35.10.050](#).

DD-20. See KZC [35.10.060](#).

(Ord. 4637 § 3, 2018; Ord. 4636 § 3, 2018; Ord. 4476 § 2, 2015)

**Code reviser's note: This section of the code has been modified from what was shown in Ord. 4476 to simplify the code and reflect the intent of the City.*

35.40 Development Standards

Development Standards Table – Commercial Zones (BN, BNA, FHNC, BC, BC 1, BC 2, BCX, HENC 1, HENC 3)

(Refer to KZC [35.20](#), Permitted Uses Table, to determine if a use is allowed in the zone; see also KZC [35.30](#), Density/Dimensions Table)

Use	Landscape Category (Chapter 95 KZC)	Sign Category (Chapter 100 KZC)	Required Parking Spaces (Chapter 105 KZC)
35.40.010 Assisted Living Facility	1	A	1.7 per independent unit. 1 per assisted living unit.
35.40.020 Attached or Stacked Dwelling Units	1	A	1.2 per studio unit. 1.3 per 1 bedroom unit. 1.6 per 2 bedroom unit. 1.8 per 3 or more bedroom unit. See KZC 105.20 for visitor parking requirements.
35.40.030* Reserved			

35.40.040	Church	C	B	1 for every four people based on maximum occupancy load of any area of worship. ³
35.40.050	Community Facility	C ⁴	B BN, BNA: B⁵	See KZC 105.25.
35.40.060	Convalescent Center	C BN, BNA: B⁶	B	1 for each bed.
35.40.070	Entertainment, Cultural and/or Recreational Facility	B BNA: B⁶	E BNA: D	See KZC 105.25.
35.40.080	Government Facility	C ⁴	B BN, BNA: B⁵	See KZC 105.25.
35.40.090	Hotel or Motel	B	E	1 per each room. ⁷
35.40.100	Mini-School or Mini-Day-Care Center	D BN, BNA: B⁶	B	See KZC 105.25. ^{8, 9}
35.40.110	Nursing Home	C BN, BNA: B⁶	B	1 for each bed.
35.40.120	Office Use	BN, BNA: B⁶ HENC 1, HENC 3, BC, BC 1, BC 2: C FHNC, BCX: B	D	1 per each 300 sq. ft. of gross floor area. ¹³
35.40.130	Private Lodge or Club	C BN, BNA: B⁶	B	1 per each 300 sq. ft. of gross floor area.
35.40.140	Public Park	Development standards will be determined on a case-by-case basis.		
35.40.150	Public Utility	A ⁴	B BN, BNA: B⁵	See KZC 105.25.
35.40.160	Restaurant or Tavern	BN, BNA: B⁶ FHNC, BC, BC 1, BC 2, BCX: B¹⁰ HENC 1, HENC 2: B	E BN, BNA: D	1 per each 100 sq. ft. of gross floor area.
35.40.170*	Retail Establishment other than those specifically listed in this zone, selling goods, or providing services	B	E	1 per each 300 sq. ft. of gross floor area.
35.40.180*	Retail Establishment providing banking and related financial services	B ⁶	E BN, BNA: D	1 per each 300 sq. ft. of gross floor area.
35.40.190*	Retail Establishment providing laundry, dry cleaning, barber, beauty or shoe repair services	B ⁶	E BN, BNA: D	1 per each 300 sq. ft. of gross floor area.
35.40.200	Retail Establishment providing	A	E	See KZC 105.25.

	storage services			
35.40.210*	Retail Establishment providing vehicle or boat sales or vehicle or boat service or repair	A	E	BC, BC 1, BC 2: See KZC 105.25. ¹¹ BCX: 1 per each 250 sq. ft. of gross floor area. ²
35.40.220*	Retail Establishment selling drugs, books, flowers, liquor, hardware supplies, garden supplies or works of art	B ⁶	E BN, BNA: D	1 per each 300 sq. ft. of gross floor area.
35.40.230*	Retail Establishment selling groceries and related items	B ⁶	E BN, BNA: D	1 per each 300 sq. ft. of gross floor area.
35.40.240*	Retail Variety or Department Store	B ⁶	E BN, BNA: D	1 per each 300 sq. ft. of gross floor area.
35.40.250	School or Day-Care Center	D BN, BNA: B ⁶	B	See KZC 105.25. ^{9, 12}
35.40.260*	Reserved			
35.40.270	Vehicle Service Station	A	E BNA: D	See KZC 105.25.

Development Standards (DS) Special Regulations:

- DS-1. Same as the regulations for the ground floor use.
- DS-2. Ten percent of the required parking spaces on site must have a minimum dimension of 10 feet wide by 30 feet long for motor home/travel trailer use.
- DS-3. No parking is required for day-care or school ancillary to this use.
- DS-4. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
- DS-5. One pedestal sign with a readerboard having electronic programming is allowed at a fire station only if:
 - a. It is a pedestal sign (see Plate 12) having a maximum of 40 square feet of sign area per sign face;
 - b. The electronic readerboard is no more than 50 percent of the sign area;
 - c. Moving graphics and text or video are not part of the sign;
 - d. The electronic readerboard does not change text and/or images at a rate less than one every seven seconds and shall be readily legible given the text size and the speed limit of the adjacent right-of-way;
 - e. The electronic readerboard displays messages regarding public service announcements or City events only;
 - f. The intensity of the display shall not produce glare that extends to adjacent properties

and the signs shall be equipped with a device which automatically dims the intensity of the lights during hours of darkness;

- g. The electronic readerboard is turned off between 10:00 p.m. and 6:00 a.m. except during emergencies;
- h. It is located to have the least impact on surrounding residential properties.

If it is determined that the electronic readerboard constitutes a traffic hazard for any reason, the Planning Director may impose additional conditions.

- DS-6. See KZC [35.10.020](#)(2).
- DS-7. Excludes parking requirements for ancillary meeting and convention facilities. Additional parking requirement for these ancillary uses shall be determined on a case-by-case basis.
- DS-8. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.
- DS-9. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential uses.
- DS-10. For restaurants with drive-in or drive-through facilities Landscape Category A shall apply.
- DS-11. Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in KZC 95.45. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.
- DS-12. An on-site passenger loading area must be provided. The City shall determine the appropriate size of the loading areas on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on nearby residential uses.
- DS-13. If a medical, dental or veterinary office, then one per each 200 square feet of gross floor area.

(Ord. 4637 § 3, 2018; Ord. 4636 § 3, 2018; Ord. 4487 § 1, 2015; Ord. 4476 § 2, 2015)

**Code reviser's note: This section of the code has been modified from what was shown in Ord. 4476 to simplify the code and reflect the intent of the City.*