



# CITY OF GREENACRES AGENDA

PLANNING COMMISSION/LOCAL PLANNING AGENCY

GREENACRES CITY HALL - COUNCIL CHAMBERS

WEDNESDAY, February 1, 2017

7:00 P.M.

---

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT, THIS DOCUMENT CAN BE MADE AVAILABLE IN AN ALTERNATE FORMAT AND SPECIAL ACCOMMODATIONS CAN BE PROVIDED UPON REQUEST.

---

**NOTICE:** If any person decides to appeal any decision of the City of Greenacres Planning Commission at this meeting, he/she will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City does not prepare or provide such record. **FOR HEARING ASSISTANCE:** If any person wishes to use a Listen Aid hearing device, please contact the Planning and Engineering Department prior to any meeting held in the Council Chambers.

---

1. Call to Order and Roll Call for Planning Commission.
2. Agenda Approval - Additions, deletions, or other revisions to the agenda.
3. Approval of Minutes: September 21, 2016
4. Cases:

**PUBLIC  
HEARING**

**SE-16-03  
Res. 2017-04**

**RaceTrac Market**

A request by the petitioner for a Special Exception approval to allow for a Full Service Fuel Station in a Commercial Intensive (CI) zoning district. The site is located at the northwest corner of Lake Worth Rd and Sherwood Forest Blvd. at 6025 Lake Worth Rd (former Walgreens).

**SP-16-02**

**RaceTrac Market**

A request by the petitioner for site and development plan approval to construct a 5,589 sq. ft. convenience store with 8,773 sq. ft. gas canopy with 16 fuel dispensing points, 36 parking spaces and two access points, one from Lake Worth Rd and one from Sherwood Forest Blvd.; The site is located at the northwest corner of Lake Worth Rd and Sherwood Forest Blvd. at 6025 Lake Worth Rd (former Walgreens).

5. Discussion Items:

**ZTA-16-04**

A city-initiated request for a text amendment to revise the Sign Code based on comments from the City Council workshop on October 24, 2016.

**ZTA-16-05**

A city-initiated request for a text amendment to revise Building heights based on comments from the City Council workshop on October 24, 2016.

\* \* \* \* \*

- 1. Call to Order and Roll Call for Local Planning Agency.
- 2. Agenda Approval - Additions, deletions, or other revisions to the agenda.
- 3. Approval of Minutes: July 20, 2016, August 3, 2016, August 17, 2016
- 4. Cases:

**PUBLIC HEARING**

Ord. 2017-04    **CPA-16-03**  
A request by the Planning & Engineering Department to amend the Capital Improvement Element of the Comprehensive Plan to reflect the City's revised Capital Improvement Program, the County's revised 5-Year Road Plan, the Palm Beach County Water Utilities Department's updated Water Supply Work Plan, and the latest Capital Improvement Plan of the School District of Palm Beach County.

**PUBLIC HEARING**

Ord. 2017-05    **CPA-16-05**  
A request by the Planning & Engineering Department to amend the Capital Improvements, Intergovernmental Coordination, and Public School Facilities Elements of the City's comprehensive plan consistent with the Interlocal Agreement between The Palm Beach County School Board and the City of Greenacres. The proposed amendment deletes the school concurrency requirements and substitutes the same with coordinated school planning requirements.

- 5. Concluding Remarks:
- 6. Adjournment of the Planning Commission/Local Planning Agency Meeting.
- 7. Election of Chairperson and Vice Chairperson.



**CITY OF GREENACRES, FLORIDA**

**OFFICIAL MINUTES  
PLANNING COMMISSION**

**Wednesday, September 21, 2016**

**1. Call to Order and Roll Call.**

The Planning Commission meeting was called to order on Wednesday, September 21, 2016 at 7:00 p.m., with Chairwoman Edmundson presiding. Melody Larson, Assistant to the City Clerk called the Roll.

**ROLL CALL:**

Commissioners Present:

Ann Edmundson, Chair  
Wilneeda Emmanuel, Vice Chair  
Estelle Friedman  
Robert Clements  
Larry Tronco

Staff Present:

Kara Irwin-Ferris, Zoning Administrator  
Osniel Leon, Senior Planner  
Joanna Cunningham, City Clerk  
Melody Larson, Assistant to the City Clerk

Public Attendance: 9

Press Attendance: 0

Absent:

Tacara Chambers  
Jack Buzek

**2. Agenda Approval: Additions, deletions, or other revisions to the agenda.**

Chairwoman Edmundson asked if there were any additions, deletions, or revisions to the agenda; hearing none, the agenda was approved.

**3. Approval of Minutes: July 20, 2016 and August 3, 2016.**

Chairwoman Edmundson asked if there were any additions, deletions, or revisions to the minutes of July 20, 2016 and August 3, 2016; hearing none, she called for a motion.

**MOTION:** Commissioner Clements made a motion to approve the Planning Commission minutes of July 20, 2016 and August 3, 2016. Commissioner Tronco seconded the motion.

**VOTE ON THE MOTION:** In favor: Chairwoman Edmundson, Vice Chairwoman Emmanuel, Commissioners Friedman, Clements, and Tronco.

**Motion: 5 – 0.**

**4. Cases:**

- A. SE-16-02 Res. 2016-41** **Get Hooked Arcade** - A request by the petitioner for a Special Exception for an indoor recreational amusement establishment in a Commercial Intensive zoning district. The site is located at the southwest corner of Bowman Street and South Military Trail at 3769 S. Military Trail.

Zoning Administrator Kara Ferris introduced Senior Planner Osniel Leon to the Board.

Senior Planner Leon described the special exception request to allow an indoor recreation amusement facility in the Warbanks Plaza located on the southwest corner of Bowman Street and South Military Trail.

He reported that the applicant is not proposing any changes to the exterior of the building and a video game arcade is a permitted use in the Commercial Intensive (CI) zoning district pursuant to Sec. 16-1 of the City Code and Florida Statutes. The arcade will cater to adults 18 years of age and older; it will have 50 amusement machines and payout will be in the form of printed vouchers redeemable as merchandise or additional games; not cash. He stated staff recommends approval of SE-16-02, subject to staff's twenty (20) conditions of approval.

Chairwoman Edmundson called on board members for comments.

Commissioner Tronco asked if the owners have prior experience with this type of business and have they experienced any disturbances. He asked if the Palm Beach Sheriff's Office (PBSO) had any concerns about the facility.

Kenneth Woo, agent for the owner, stated he has been in the arcade business since 2003. He was aware of other arcade operators who had problems, but he had not experienced any. He reported that PBSO did inspect his facility to ensure that the correct security system had been installed.

Zoning Administrator Kara Ferris added that PBSO also attends Land Development Staff meetings where departments review these petitions for compliance and provide comments that are incorporated into the Staff Report.

Commissioner Clements wanted assurance that no one younger than 18 years of age would be allowed in the facility.

Chairwoman Edmundson wanted assurance that security was available at the door.

Mr. Woo explained security would be available on weekends after 9:00 pm.

Commissioner Friedman asked if food would be served.

Mr. Woo explained if more than 10 patrons are in attendance, the arcade will order



pizza or sandwiches; but noted there would be no cooking on the premises.

Vice Chairwoman Emmanuel asked if the 18-year age requirement would change over time.

Mr. Woo explained HB 641 mandates the age requirement.

Chairwoman Edmundson questioned the hours of operation from 10 a.m.- 12 p.m. and asked if it was necessary to stay open so late during the week.

Mr. Woo explained those hours are the allowable times and it is up to each business operator to establish their own hours. He confirmed that the arcade would be open until 12 a.m. on Fridays and Saturdays.

Chairwoman Edmundson pointed out that only one (1) handicap parking space is being provided and asked if at least one more space could be added.

Mr. Woo offered to request additional handicap spaces from the plaza owner and noted that her request could easily be accommodated.

Zoning Administrator Ferris explained that this parcel was annexed from the County and currently does not meet the City's parking regulations. As part of the annexation process, the City accepted the existing building in its current condition. She noted if the applicant desires to add additional handicap parking in the future, permits would be required.

Chairwoman Edmundson believed it was important especially for wheelchair-bound customers. She asked if any external improvements would be made.

Mr. Woo reported that the plaza had recently been renovated with some bays receiving new shutters.

Chairwoman Edmundson opened the floor to the public. She asked if anyone was in favor of, or opposed to Resolution No. 2016-41 to come forward. Seeing no one come forward, she closed the floor to the public and called for a motion.

**MOTION:** Commissioner Tronco made a motion to recommend approval of SE-16-02 (Get Hooked Arcade), subject to staff's twenty (20) conditions of approval. Commissioner Clements seconded the motion.

**VOTE ON THE MOTION:** **In favor:** Chairwoman Edmundson, Vice Chairwoman Emmanuel, Commissioners Friedman, Clements, and Tronco.

**Motion: 5 – 0.**

- B. SE-81-06A Res. 2016-38 Legacy Church Ministries (fka Evangelical Bible Chapel) A request by the owner for a Special Exception to expand the existing House of Worship at 400 and 420 Jackson Avenue in a Residential Low-3 zoning district.**

Zoning Administrator Ferris described the special exception request to expand an existing house of worship in a Residential Low-3 zoning district located at 400 and 420 Jackson Avenue.

The church was approved and built in 1974 as the Evangelical Bible Chapel and later expanded in 1981. The main chapel is 2,201 sq. ft. in size with parking in the rear. Directly east and across South Haverhill Road, is another site that serves as a private school K-12 built in 1990.

Zoning Administrator Ferris noted that this special exception request is to expand the existing house of worship to include a 0.2-acre site with an existing home built in 1960 as an accessory use that will not be used as part of the assembly, but will be part of the overall campus. The two lots combined total 3,389 sq. ft. She noted that a Unity of Title for the two sites will be required as one of the conditions of approval to create the Legacy Ministries Chapel. The existing crosswalk at the intersection of Jackson Avenue and Cambridge Street will remain. She stated the proposal meets the twelve (12) special exception criteria; therefore, staff recommends approval of SE-81-06A subject to staff's eight (8) conditions of approval.

Chairwoman Edmundson called on board members for comments.

Commissioner Friedman asked, "What is an accessory building; what will the accessory building be used for, and what is the name of the school?"

Zoning Administrator Ferris explained that with regard to a house of worship, an accessory building could be a daycare facility, a school, a pastor's home, etc. that does not generate as much traffic as the main assembly building. Its intended use is for bible studies.

Billy Fritch, representative for Lori Williamson, explained that the church in question is the Greenacres Christian Academy.

Commissioner Clements asked about children crossing the street to get to the accessory building.

Mr. Fritch explained that crossings will be few and with small groups of children.

Chairwoman Edmundson pointed out that Greenacres Elementary School is a highly trafficked area that requires significant supervision. She complimented the appearance of the building and believed it already looks like it is part of the church.

Mr. Fritch explained that for every 10 children there is one adult.

Commissioner Friedman asked if bible school would be held on weekends.

Mr. Fritch said yes, during the week it would be used sparingly and mostly on the weekends.

Chairwoman Edmundson opened the floor to the public. She asked if anyone was in favor of, or opposed to Resolution No. 2016-38 to come forward. Seeing no one come forward, she closed the floor to the public and called for a motion.

**MOTION:** Commissioner Friedman made a motion to recommend approval of SE-81-06A (Legacy Church Ministries), subject to staff's eight (8) conditions of approval. Commissioner Clements seconded the motion.

**VOTE ON THE MOTION:** **In favor:** Chairwoman Edmundson, Vice Chairwoman Emmanuel, Commissioners Friedman, Clements, and Tronco.

**Motion: 5 – 0.**

- C. **SP-15-02C Greenacres Nissan** - A request by the owner for site and development plan amendment to construct a parking garage for the motor vehicle dealer to be added to the previously approved site plan. The site is located at 5385 Lake Worth Road.

Zoning Administrator Ferris described the site plan amendment request to construct a 4-story inventory parking garage as part of the approved Nissan site. This would add 325 new parking spaces to the overall site for a total of 538 spaces and increase the overall square footage of the dealership to 50,745 sq. ft.

She noted that the proposed parking garage will be setback 76 ft. from the nearest residential structure. The landscape plan was revised adding more trees for screening in the front and rear of the site. The landscape buffer along the western perimeter will remain and tree species will be added.

Zoning Administrator Ferris stated that the proposed 4-level parking garage totals 149' x 210', and has two tower features: one at the northwest corner that serves as a stairwell; the second on the east side that will serve as a stairwell and elevator. The rear of the garage will provide additional screening from the residential units. A 6 ft. CBS wall will serve as the first level screening for the garage with shrubs on the exterior and 18 ft. Southern Magnolia trees. The total number of trees were increased from eleven to eighteen to provide additional screening as well as additional 22-26 ft. Sabal Palms throughout the landscape islands.

Zoning Administrator Ferris showed the elevations and the proposed color scheme. LED lighting requirements will be less impactful to residential units to the north to provide a shield. Drive aisles (ramps) are being proposed for the north side of the garage to allow lighting to be directed southward.

Zoning Administrator Ferris reviewed the 35 ft. building height requirement for CI zoning districts pursuant to Code, noting that the vertical distance measured from point 18 inches above grade to the highest finished roof structure falls well within the 35 ft. height requirement of the Code.

She stated the proposal meets the twelve (12) special exception criteria; therefore, staff recommends approval of SE-81-06A, subject to staff's twelve (12) conditions of approval.

Chairwoman Edmundson called on board members for comments.

Chris Barry of Urban Design Kilday Studio explained that the purpose of this request is to provide for additional inventory; the public will not have access to the garage area.

Commissioner Friedman asked how many buildings are on-site and if the City had anything as high as the proposed parking garage. She said she lives nearby and the site seems to be growing larger and larger. For the sake of the neighbors to the north, many are concerned.

Zoning Administrator Ferris pointed out that the original parking garage was a much larger footprint. It was a 3-story parking garage but much wider. Based on the concerns of neighboring property owners, the applicant withdrew the original request and submitted a new site plan amendment reducing the overall size, setting it back 76 ft. from residential properties and adding one level. Public notices were mailed to surrounding property owners.

Mr. Barry provided a history of approvals for the Greenacres Nissan from August 2015 to present. He discussed the variances and Class III site plan amendments approved to date. He concluded by stating that the applicant is in agreement with staff's twelve (12) conditions of approval and is working with staff on Condition #7 to add trees to ensure that the garage and lighting are screened following construction.

Chairwoman Edmundson called on board members for comments.

Commissioners questioned the intensity of the garage lighting and neighbors being able to enjoy the use of their backyards; the lighting being a nuisance to residents after certain hours; loudspeakers and noise levels; and security.

Chairwoman Edmundson noted that although this was not a public hearing, the Board wanted to hear from attendees.

Margaret Wagner, a long-time resident of 129 Fleming Avenue, stated that she resides directly behind the new structure. She voiced her objection to the Greenacres Nissan project and the parking garage. Mrs. Wagner pointed out that when the broker was assembling lots for purchase, he under-purchased. It was her belief that Nissan unjustly received a variance to build this dealership next to her property. The City worked hard to create a commercial overlay at which time her family was informed it would make their property more valuable. However, as time progressed, Nissan devalued their property by blocking them off. The Wagner family was instrumental in building Greenacres and have been a part of the City for many years. They felt disrespected by the City, the Mayor, the boards and committees and were not taken seriously when they attempted to negotiate the sale of a portion of their property so they would not lose the value of their home. She objected to how this entire project was handled.

Husband Joe Wager explained that none of his family was approached to sell their property. Nissan claimed they made us an offer, but did not. When the total number of lots were assembled and totaled 6+ acres instead of 7 acres, the dealership requested a variance from the lot size. Instead of spending the money to build a 4-story parking garage, they could have purchased our property. We were given a 30-day lull to negotiate a price and yet Nissan would not even acknowledge our real estate agent. My family was stonewalled and considered a nuisance. I feel that

Nissan mowed over residents and now act like nothing has happened. No one has given us a voice. We attended all the public hearings and all we wanted to do was to sell our property. Our property has been for sale at the same price for the past 10 years. We hired an attorney to negotiate with Nissan but the negotiations had already happened. We wanted to sell strictly for personal reasons and we were very disappointed in how the City handled this project. We object to SP-15-02C.

Martin Perry, attorney for the applicant, acknowledged the Wagner's emotional statement and respected their feelings. He reported meeting with the Wagner's land attorney Michael Weeks and their real estate broker, Lance Birch. He got involved during the last variance that was filed to increase the drive aisle width and reduce the lot size following receipt of a lengthy letter written by Mr. Weeks threatening litigation. It was then that Mr. Perry recommended that Nissan withdraw their request to increase the lot coverage because it exceeded the lot size requirement and they would lose the suit. Statements and serious allegations were made impugning the Zoning Board of Adjustment and Appeals and the City Council. From his perspective, there has been no behind-the-scenes discussions with property owners. He pointed out that he was aware that the offer the Wagner's were making was coupled with another family members' parcel and they would only sell all or nothing. In addition, the asking price was more than double what Nissan had paid for the other lots. There was no need to buy the Wagner's parcels and it is not the subject of discussion of this meeting.

Marco Ruiz, property owner of 144 Perry Avenue, asked if Nissan's wall will include a gate. It was his understanding that it would remain as a continuous wall. As for the construction of the wall, vibrations from Nissan's construction machinery had caused cracks in his windows. He spoke to the contractor and showed him the damage.

Zoning Administrator Ferris agreed that originally it was to be a continuous wall, however due to utilities, an access gate was required. She added that the wall will be completed before a final CO is issued.

Attorney Perry confirmed inspecting Mr. Ruiz' property where he verified there are hairline cracks and that Nissan would take care of the repairs after the wall was constructed. He pointed out that the wall was originally planned to be built directly on the property line, but was later moved further back with landscaping facing Mr. Ruiz' property. He offered to inspect Mr. Ruiz' property again to resolve the issue.

Vice Chairwoman Emmanuel asked Mr. Barry what happens to the residents following the City's recommendation of approval?

Mr. Barry advised Board members that before them tonight was a request for a site plan amendment; the special exception was granted in 2015. He noted that the Wagner's have attended the public hearings related to this project. He disclosed attending school with several of the Wagner family members and has a personal connection to them. He personally reached out to the Wagner's, but was not part of the sale. Once the Wagner's hired a land use attorney the situation became more formal and that is also when Attorney Perry got involved. The application before the Commission is what his client intends to construct. Upon the Local Planning Agency's recommendation, the proposal would go before the City Council.



Commissioner Friedman voiced her concerns for the residents who were affected by this project and wished the Board could do more. She explained to the Wagners that the Board must adhere to the Code when reviewing such cases.

Chairwoman Edmundson called for a motion.

**MOTION:** Commissioner Tronco made a motion to recommend approval of SP-15-02C (Greenacres Nissan), subject to staff's twelve (12) conditions of approval. Vice Chairwoman Emmanuel seconded the motion.

**VOTE ON THE MOTION:** **In favor:** Chairwoman Edmundson, Vice Chairwoman Emmanuel, Commissioners Friedman, Clements, and Tronco.

**Motion: 5 – 0.**

- D. ZTA-16-02 Ord. 2016-28 Zoning Text Amendment** - A city-initiated request for a text amendment to revise Chapter 12, Article III, Section 12-58(c)(1) to provide a one foot "freeboard" requirement for the finished floor elevation of residential and commercial buildings.

Zoning Administrator Ferris described the code text amendment modifying land development regulations following adoption of Ordinance No. 2016-14 that established a floodplain management program and enables the City to participate in the National Flood Insurance Program (NFIP) Community Rating System (CRS). The CRS recognizes and encourages communities that engage in floodplain management activities that help mitigate flooding. She reported that the City currently has no special flood hazard areas; however, that could change in the future.

Zoning Administrator Ferris noted that the City is adding a freeboard requirement by adding one (1) foot to the finished floor elevation found in Chapter 12, Article III, Sec. 12-58(c)(1). She stated staff recommends approval of ZTA-16-02.

Chairwoman Edmundson called on board members for comments.

Commissioner Friedman commented that she has lived in Lake Worth Hills since 1988, and now learns that her development has been deemed a flood zone. She asked if the City will be offering any assistance to homeowners.

Zoning Administrator Ferris explained that all properties fall into a flood zone designation and some are more hazardous than others; they are called "special flood hazard areas". She emphasized that the City does not have any special flood hazard areas. Property owners in a special flood hazard area are required to purchase flood insurance. She reported that the City is working to ensure impacts are lessened through capital improvement projects such as installing stormwater drainage. The NFIP CRS will provide up to a 5% discount on flood insurance policies.

Chairwoman Edmundson opened the floor to the public. She asked if anyone was in favor of, or opposed to Ordinance No. 2016-28 to come forward. Seeing no one come forward, she closed the floor to the public and called for a motion.

**MOTION:** Commissioner Clements made a motion to recommend approval of ZTA-16-02 (Chapter 12 Freeboard Requirement) as presented by staff. Commissioner Tronco seconded the motion.

**VOTE ON THE MOTION:** **In favor:** Chairwoman Edmundson, Vice Chairwoman Emmanuel, Commissioners Friedman, Clements, and Tronco.

**Motion: 5 – 0.**

**5. Discussion Items:**

Zoning Administrator Ferris announced there were no petitions scheduled for October 5th. Chairwoman Edmundson informed Board members of the resignation of Assistant City Manager Thomas J. Lanahan and his new endeavor with the Treasure Coast Regional Planning Council.

**6. Concluding Remarks:**

**7. Adjournment of Planning Commission.**

Commissioner Clements moved to adjourn the meeting, seconded by Commissioner Tronco. The meeting adjourned at 8:33 p.m.

**Planning Commission**

Respectfully submitted:

\_\_\_\_\_  
Ann Edmundson, Chairwoman

\_\_\_\_\_  
Kara Irwin-Ferris  
Zoning Administrator

\_\_\_\_\_  
Joanna Cunningham  
City Clerk

Date of Approval: \_\_\_\_\_

/mel



**LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION**

**I. Project Description:**

**Project Name:** RaceTrac Market at Sherwood Plaza

**Petitioner:** Wantman Group, Inc. (WGI)  
 2035 Vista Parkway  
 West Palm Beach, Florida 33411  
 Agent for the owners:  
 RaceTrac Petroleum, Inc.

**Request:** Special Exception approval for a Convenience Store with Fuel Sales

**Location:** Northwest corner of Lake Worth Rd and Sherwood Forest Blvd at 6025 Lake Worth Rd within the Sherwood Plaza.



**II. Site Data:**

**Existing Land Use:** Self-Storage Facility & Vacant retail building

**Proposed Land Use:** Convenience Store with Fuel Sales

**Parcel Control Number:** 18-42-44-22-52-001-0000

**Parcel Size:** 1.55 acres (67,533.19 square feet)

**Future Land Use Designation:** Commercial (CM)

**Existing Zoning:** Commercial Intensive (CI)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
North	Villages of Woodlakes	Residential (RS-MD)	Residential Medium (RM-2)
South	McDonalds	Commercial (CM)	Commercial General (CG)
East	Woodlakes Plaza	Commercial (CM)	Commercial Intensive (CI)
West	Concord Plaza/Shopping Center	Commercial (CM)	Commercial General/Planned Shopping Center Overlay (CG/PSC)



**III. Annexation/Zoning History:**

On January 29, 1994, the property was annexed into the City of Greenacres as petition (ANX-93-03). Concurrently, the City Council approved a zoning district designation of Commercial Intensive (CI) and an underlying land use of Commercial (CM). The designation was for both Phase I & II, which together amounted to a 4.33-acre parcel. The original approved site and development plan was for a unified development with a 15,120 square feet (sq. ft.) Walgreen's Pharmacy with drive thru facilities and a 23,660 sq. ft. retail building as Phase 2, approved by City Council on January 19, 1999 (SE-98-04 & SP-98-07). On July 20, 1999, the site and development plan was approved to modify the access points, detention area, and free-standing signs. On March 17, 2000, the site and development plan was approved to relocate both free-standing identifications signs, as well as create a landscape island in the southeast parking area. On August 5, 2002, phase 2 was amended to allow a 50,900 square foot two story Self Storage/Mini-Warehouse facility (SE-02-03 & SP-98-07C).

**IV. Applicable City Code Provisions:**

- Sec. 16-171 through 16-178 pertaining to Special Exceptions
- Sec. 16-496 through 16-506 pertaining to the CI zoning district
- Sec. 16-1241 through 16-1312 pertaining to landscaping
- Sec. 16-1331 through 16-1340 pertaining to off-street parking

**V. Summary of Proposed Site and Development Plan Details:**

Plan Details: The petitioner's Site and Development Plan (stamp-dated January 05, 2017) depict the following:

1. A total land area of 67,533 sq. ft. (1.55 acres).
2. One (1) proposed 5,589-sq. ft. Convenience store with 697-sq.ft. outdoor seating area and 8 fuel pumps with 16 fueling stations.
3. Thirty-three (33) parking spaces including two (2) handicapped spaces.
4. Location for dumpster, which is screened.
5. Landscaping Plan.
6. Boundary and Topographic Surveys.
7. Building Plans and Elevations.
8. Conceptual Engineering Plan.

<b>Table 2: Proposed Site Data:</b>			
<b>Area:</b>	<b>Square Footage:</b>	<b>Acreage:</b>	<b>Percentage:</b>
Full Service Fuel Station	5,589	.13	2.96%
Self-Service Storage Building Lot Coverage	31,034	.71	16.45%
Total Lot Coverage	36,623	.84	19.4%
Site Impervious Area	135,846	3.11	72%
Site Landscape/Open Space	52,804	1.22	28%
(Excluding Building Lot Coverage)	188,650	4.33	100%

**VI. Staff Analysis:**

The proposed Site and Development Plan for a Convenience Store with Fuel Sales is to redevelop the

vacant Walgreens's Pharmacy site. The proposed use will operate 24 hours a day, 7 days a week. An application for a Site and Development Plan approval (SP-16-02) is being processed concurrently with the Special Exception request. In November 21, 2016, the subject site was granted a variance for the separation distance requirements of Sec. 16-499(17)(F), Sec. 16-499(19)(a) and Sec. 16-499(19)(b), which required a minimum distance of one thousand five hundred (1,500) feet between any two (2) service stations, and a minimum distance of five hundred (500) feet between a service station purposes and the nearest point of a building area occupied by these uses: house of worship, school, hospital, theatre, auditorium, stadium, assembly hall, or public playground or playfield.

On October 13 and 20, 2016, the Land Development Staff reviewed this petition.

***Land Development Staff Comments:***

Planning and Engineering Department:	Incorporated into the staff report.
Building Department:	Incorporated into the staff report.
Fire Rescue Department:	No objections.
Public Works Department:	No objections.
PBSO District 16:	No objections.

***Other Agencies:***

PBC Traffic Division:	Project meets traffic performance standards.
PBC Water Utilities:	Water and sewer service is provided to the site
MPO/Palm Tram:	Project can be served by existing routes.
LWDD:	No impact.

**VII. Special Exception Criteria and Findings of Fact:**

**1. The proposed use complies with all relevant elements of the Comprehensive Plan;**

***Finding:*** The proposed Convenience Store with Fuel Sales complies with the Future Land use, Infrastructure, Intergovernmental and Transportation Elements of the City of Greenacres' Comprehensive Plan. The request complies with the objectives and policies of the City of Greenacres' Comprehensive Plan directing growth and development to appropriate areas. A Convenience Store with Fuel Sales is a permitted use in the Commercial Intensive Zoning District subject to special exception approval.

**2. Ingress and egress to the property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe will not be adversely affected by the proposed special exception;**

***Finding:*** The proposed Special Exception will have adequate ingress and egress to the site through one (1) vehicular access point and one (1) sidewalk connection from Lake Worth Road and two (2) vehicular access points from Sherwood Forest Blvd. The plans have been reviewed by staff for automobile, pedestrian and fire safety and the plans meet all Code requirements. The City's traffic consultant has reviewed the traffic flow and control of the site for compliance with City Code and has determined that it meets all necessary requirements.

**3. Off-street parking and loading is provided where required, with particular attention to the**



**items in (2) above will not adversely affect public health and safety;**

*Finding:* The off-street parking provided on the site exceeds the minimum parking requirements. Defined loading areas have been provided for the site.

- 4. Refuse and service areas provided with particular reference to items (2) & (3) above will not adversely affect public health and safety;**

*Finding:* The City's franchise hauler will serve the site for all refuse collection. The dumpster meets all City Code requirements of screening and access.

- 5. The proposed use will not create a nuisance factor detrimental to adjacent and nearby properties and the City as a whole;**

*Finding:* The proposed development has commercial uses to the east, west and south. The proposed development is in keeping with the commercial nature of Lake Worth Road corridor. The property will be landscaped along the site perimeter as well as provided interior landscaping in accordance with code requirements.

- 6. The location, availability and compatibility of utilities for the requested use will not adversely affect public health and safety;**

*Finding:* All utilities will be provided underground. The site will be served by Palm Beach County Water Utilities for water and sewer. All other utilities are either currently provided to the site or readily available and the applicant meets the Level of Service (LOS) as established in the Comprehensive Plan.

- 7. The screening and buffering of the requested use are consistent with the applicable zoning requirements relative to type, dimension and character;**

*Finding:* The proposed development includes perimeter buffers consistent with the CI zoning district, Section 16-1286 of the landscape code. The site is currently buffered by a ten (10) foot wide landscape buffer to the west, fifteen (15) foot wide landscape buffer to the south and east and a fifty (50) foot wide landscape buffer and swale to the north side of the site as well as an existing six (6) foot high concrete wall.

- 8. Signs and proposed exterior lighting are provided with reference to glare, traffic safety and economic effect, and compatibility and harmony with properties in the district;**

*Finding:* All proposed signs shall meet the requirements of the City's Zoning Code. All exterior lighting shall meet City code requirements for limiting spill onto adjacent neighboring residential areas and onto major roads.

- 9. The requested use appears to meet the required yards and other open space;**

*Finding:* The project complies with the interior and perimeter landscaping and open space requirements of the Zoning Code. The lot coverage is well below the maximum 30% and all building setbacks of the Commercial Intensive Zoning District and Transitional Zone are being met.

**10. Proposed general use is compatible with adjoining properties and other property in the district;**

***Finding:*** The proposed commercial land use is consistent with the existing high-intensity commercial nature along this section of Lake Worth Road and Sherwood Forest Blvd intersection and adjacent uses. The subject site is surrounded by commercial uses and the residential community to the north is buffered with a fifty (50) foot wide landscape buffer and swale and a six (6) foot high concrete wall.

**11. The change suggested is not out-of-scale with the needs of the neighborhood or the City;**

***Finding:*** The proposed Convenience Store with Fuel Sales is in scale with the surrounding uses and consistent with the commercial development along this portion of Lake Worth Road and Sherwood Forest Blvd.

**12. The requested use and structure is consistent with any special requirements set out in the Schedule of District Regulations for the particular use and structure involved;**

***Finding:*** The proposed use complies with the special requirements as outlined in the Special Exception criteria for a Convenience Store with Fuel Sales within the Commercial Intensive (CI) zoning district. The separation distance requirements are satisfied via the approved variance (BA-16-05).

**VII. Staff Recommendation:**

Based on the preceding analysis, the Land Development Staff recommends *Approval* of (SE-16-03) for a Convenience Store with Fuel Sales:

1. The most stringent requirements of Exhibit "A" Land Development Staff Report and Recommendation dated January 27, 2017 and Exhibit "B" Site and Development Plan stamp-dated January 5, 2017, as hereafter defined shall apply. (PLANNING-ZONING)
2. Site and Development Plan approval is required prior to the issuance of development permits. (PLANNING - BUILDING)
3. The Special Exception is limited to a Convenience Store with Fuel Sales operation. Changes to another use will require a new Special Exception. (PLANNING)
4. Non-compliance with any of the conditions of approvals will result in withholding of the issuance of building permits or certificates of occupancy. (BUILDING-PLANNING)

---

**PLANNING COMMISSION RECOMMENDATION**

---

---

**GREENACRES CITY COUNCIL ACTION**

---

---

**Samuel J. Ferreri, Mayor**

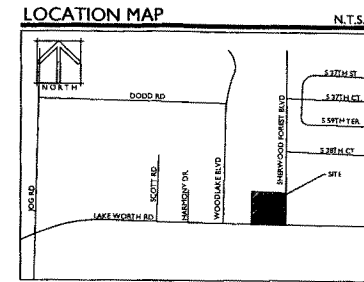
**Attest:**

---

**Joanna Cunningham, City Clerk**

**Attachments:**

1. Resolution 2017-07
2. Aerial Map
3. Site Plan
4. Compliance Statement



**SITE DATA**

NAME OF APPLICATION	RACETRAC MARKET
SITE ADDRESS	6025 LAKE WORTH ROAD GREENACRES, FLORIDA
FLU ZONING DISTRICT	CM (COMMERCIAL INTENSIVE)
PROPERTY CONTROL NUMBER(S)	18-42-44-22-52-001-0000
RANGE/TOWNSHIP/SECTION	42/44/22
PROPOSED USE	CONVENIENCE STORE WITH FUEL SALES
GROSS ACREAGE	1.55 AC. (67,533.19 S.F.)
PROPOSED INTENSITY (GROSS FLOOR AREA)	5,589 S.F.
IMPERVIOUS SURFACE (EXCLUDING LOT COVERAGE)	72% (48,724 S.F.)
MAXIMUM BUILDING HEIGHT	35'
PROPOSED BUILDING HEIGHT (CONVENIENCE STORE)	25'-8" O.A. HT.
PROPOSED CANOPY HEIGHT	25' O.A. HT. WITH 18" CLEARANCE
MAXIMUM FAR	0.35
PROPOSED FAR	0.08
MAXIMUM LOT COVERAGE	30% (20,259 S.F.)
PROPOSED LOT COVERAGE	8% (5,589 S.F.)

**CONCURRENCY**

CONVENIENCE STORE WITH FUEL SALES	5,589 S.F. (16 FUELING POSITIONS)
-----------------------------------	-----------------------------------

\*CONCURRENCY IS APPROVED FOR THE ABOVE USES AND AMOUNTS SHOWN ON THIS PLAN.

REQUIRED PARKING (1 SP/200 S.F.)	31 SP.
PROPOSED PARKING	33 SP.
REQUIRED ACCESSIBLE PARKING	2 SP.
PROPOSED ACCESSIBLE PARKING	2 SP.
REQUIRED LOADING ZONE	1 SP.
PROPOSED LOADING ZONE	1 SP.

**NOTES**

\*BETWEEN 5% AND 10% OF THE REQUIRED INTERIOR LANDSCAPING SHALL BE PROVIDED AROUND THE FOUNDATION OF THE BUILDING.

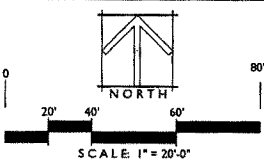
VEHICULAR IMPERVIOUS AREA	36,938 S.F.
REQUIRED INTERIOR LANDSCAPE (10% OF VEHICULAR IMPERVIOUS AREA)	3,693 S.F.
REQUIRED FOUNDATION PLANTING (BETWEEN 5% AND 10% OF INTERIOR LANDSCAPE)	185 - 370 S.F.
PROVIDED INTERIOR PLANTING	5,579 S.F.
PROVIDED FOUNDATION PLANTING	290 S.F.

**RACETRAC MARKET**  
**6025 LAKE WORTH RD.**  
**CONCEPTUAL SITE PLAN**  
 PREPARED FOR RACETRAC PETROLEUM INC.  
 CITY OF GREENACRES, FLORIDA

**REVISION DATES**

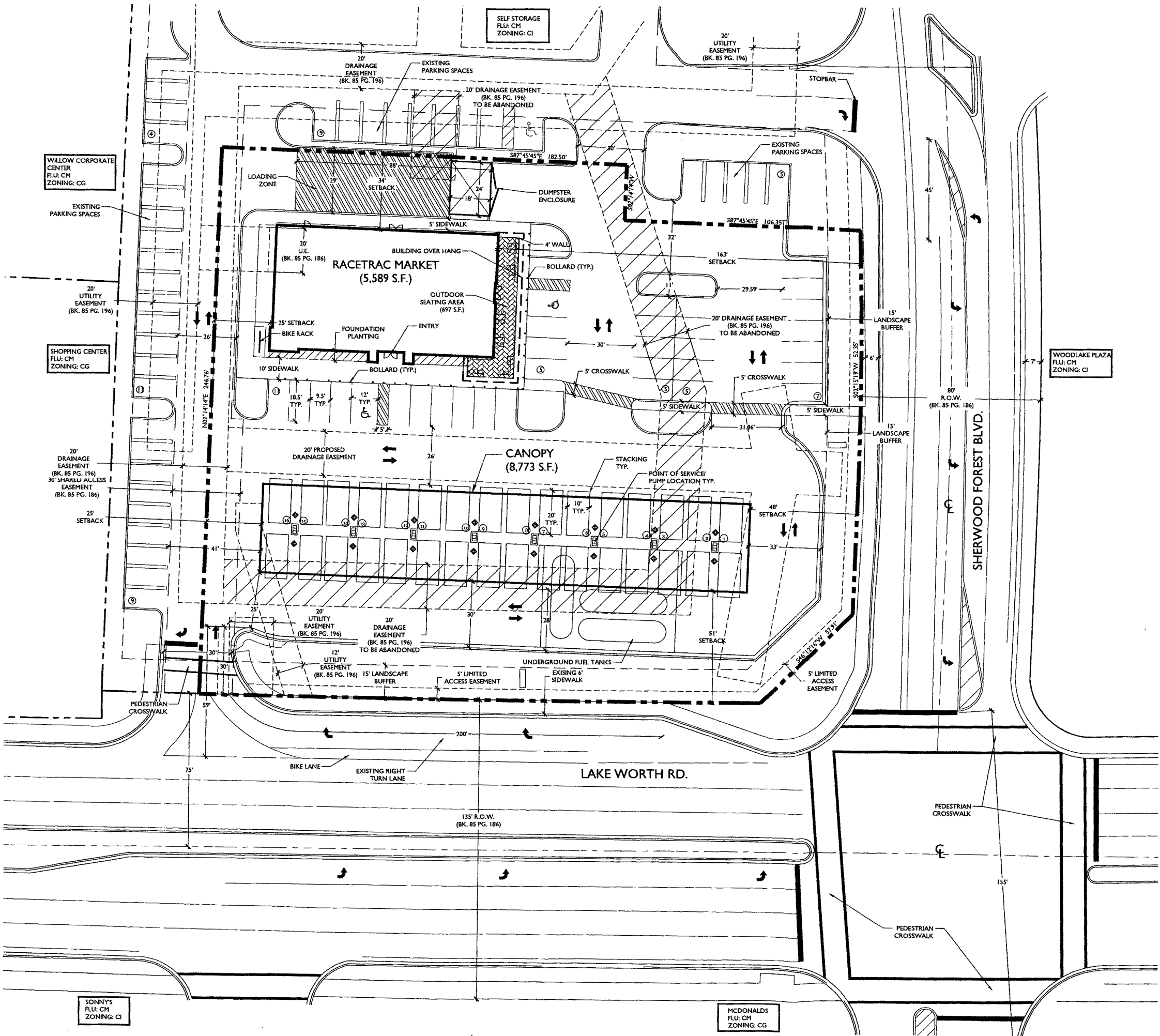
DATE	APPROVAL	NOTE

"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE LANDSCAPE ARCHITECTS WRITTEN PERMISSION."



DRAWN BY: PJG  
 DRAWING #: SP\_1507\_06.dwg  
 FILE #: 1507.06

**SHEET #**  
**PSP.1**



JAN 5 2011  
 PLANNING & ENGINEERING

SP-16-02









**LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION**

**I. Project Description:**

**Project Name:** RaceTrac Market at Sherwood Plaza

**Petitioner:** Wantman Group, Inc. (WGI)  
 2035 Vista Parkway  
 West Palm Beach, Florida 33411  
 Agent for the owners:  
 RaceTrac Petroleum, Inc.

**Request:** Site and Development Plan approval for a Full-service fuel station

**Location:** Northwest corner of Lake Worth Rd and Sherwood Forest Blvd at 6025 Lake Worth Rd within the Sherwood Plaza.



**II. Site Data:**

**Existing Land Use:** Self-Storage Facility & Vacant retail building

**Proposed Land Use:** Convenience Store with Fuel Sales

**Parcel Control Number:** 18-42-44-22-52-001-0000

**Parcel Size:** 1.55 acres (67,533.19 square feet)

**Future Land Use Designation:** Commercial (CM)

**Existing Zoning:** Commercial Intensive (CI)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
North	Villages of Woodlakes	Residential (RS-MD)	Residential Medium (RM-2)
South	McDonalds	Commercial (CM)	Commercial General (CG)
East	Woodlakes Plaza	Commercial (CM)	Commercial Intensive (CI)
West	Concord Plaza/Shopping Center	Commercial (CM)	Commercial General/Planned Shopping Center Overlay (CG/PSC)



**III. Annexation/Zoning History:**

On January 29, 1994, the property was annexed into the City of Greenacres as petition (ANX-93-03). Concurrently, the City Council approved a zoning district designation of Commercial Intensive (CI) and an underlying land use of Commercial (CM). The designation was for both Phase I & II, which together amounted to a 4.33-acre parcel. The original approved site and development plan was for a unified development with a 15,120 square foot (sq. ft.) Walgreen's Pharmacy with drive thru facilities and a 23,660 sq. ft. retail building as Phase 2, approved by City Council on January 19, 1999 (SE-98-04 & SP-98-07). On July 20, 1999, the site and development plan was approved to modify the access points, detention area, and free-standing signs. On March 17, 2000, the site and development plan was approved to relocate both free-standing identifications signs, as well as create a landscape island in the southeast parking area. On August 5, 2002, phase 2 was amended to allow a 50,900 square foot two story Self Storage/Mini-Warehouse facility (SE-02-03 & SP-98-07C).

**IV. Applicable City Code Provisions:**

- Sec. 16-196 through 16-202 pertaining to site and development plans.
- Sec. 16-496 through 16-520 pertaining to the CI District.
- Sec. 16-1241 through 16-1330 pertaining to landscaping.
- Sec. 16-1331 through 16-1335 pertaining to off-street parking.
- Sec. 16-698 pertaining to access for commercial uses.
- Sec. 16-1171 through 16- 1181 pertaining to CI district sign regulations.

**V. Summary of Proposed Site and Development Plan Details:**

The petitioner's site and development plan (stamp-dated January 05, 2017) depict the following:

1. A total land area of 67,533 sq. ft. (1.55 acres).
2. One (1) proposed 5,589-sq. ft. convenience store with 697-sq.ft. outdoor seating area and 8 fuel pumps with 16 fueling stations.
3. Thirty-five (35) parking spaces including two (2) handicapped spaces.
4. Location for dumpster, which is screened.
5. Landscape Plan.
6. Boundary and Topographic Surveys.
7. Building Plans and Elevations.
8. Conceptual Civil Engineering Plan.

<b>Area:</b>	<b>Square Footage:</b>	<b>Acreage:</b>	<b>Percentage:</b>
Convenience Store with Fuel Sales	5,589	.13	2.96%
Self-Service Storage Building Lot Coverage	31,034	.71	16.45%
Total Lot Coverage	36,623	.84	19.4%
Maximum Lot Coverage allowed			30%
Site Impervious Area	135,846	3.11	72%
Site Landscape/Open Space	52,804	1.22	28%
(Excluding Building Lot Coverage)	188,650	4.33	100%

**VI. Staff Analysis:**

The proposed Site and Development Plan is to redevelop the previous Walgreens’s Pharmacy site which is currently vacant, with a 5,589 sq. ft. convenience store, 697 sq. ft. outdoor seats and 8 fuel pumps. The parking consists of 35 parking spaces including 2 handicap spaces and has access points from Lake Worth Road and Sherwood Forest Blvd. The subject site is adequately buffered by existing 15-foot wide landscape buffers along Lake Worth Road and Sherwood Forest Blvd, as well as an existing 6-foot high concrete wall to the north adjacent to residential zoning, as required by code. The proposed use will operate 24 hours a day, 7 days a week. An application for a Special Exception approval for a Convenience Store with Fuel Sales (SE-16-03) is being processed concurrently with the Site and Development Plan request. On November 21, 2016, the subject site was granted a variance for the separation distance requirements of Sec. 16-499(17)(F), Sec. 16-499(19)(a), and Sec. 16-499(19)(b), which required a minimum distance of one thousand five hundred (1,500) feet between any two (2) service stations, and a minimum distance of five hundred (500) feet between a service station purposes and the nearest point of a building area occupied by these uses: house of worship, school, hospital, theatre, auditorium, stadium, assembly hall, or public playground or playfield.

On October 13 and 20, 2016, the Land Development Staff reviewed this petition.

***Land Development Staff Comments:***

Planning and Engineering Department:	Incorporated into the staff report.
Building Department:	Incorporated into the staff report.
Fire Rescue Department:	No objections.
Public Works Department:	No objections.
PBSO District 16:	No objections.

***Other Agencies:***

PBC Traffic Division:	Project meets traffic performance standards.
PBC Water Utilities: site.	Water and sewer service is provided to the
MPO/Palm Tram:	Project can be served by existing routes.
LWDD:	No impact.

**Standards And Staff Findings**

1. Minimum Lot Requirements: Site area of **4.33** acres exceeds the minimum area of **2 acres**. Lot width of **313.47** feet exceeds the minimum width of **200** feet.
2. Maximum Lot Coverage: Building coverage of **19.4%** does not exceed the maximum of **30%**.
3. Minimum Yard Requirements: Building setbacks **meet** all yard requirements of 50’ front, 25’ side corner, 50’ side interior (transitional) and 30’ rear.
4. Height Restrictions: The 1-story building height of **25’** for the RaceTrac convenience store building does not exceed the allowable

35'.

5. Off-Street Parking & Loading: The **35** parking spaces meet the minimum code requirement of **33** spaces for the subject site.
6. Landscaping: The landscaping plan **complies** with the landscape code requirements.
7. Sign Regulations: Permits shall be obtained and signs shall meet code requirements prior to installation of any signs.
8. Utilities: The proposed water, sanitary, sewer and drainage systems **will meet** code requirements subject to final permitting.
9. Concurrency Considerations: Project traffic **meets** traffic concurrency. Water and Sewer service and capacities are available to serve the site.
10. Comprehensive Plan Considerations: The proposed development is **consistent** with the land use classification of Commercial (CM).
11. Color Scheme: The color of the RaceTrac gas station building shall be in accordance with the plans submitted: Exterior paint to match dark bronze. Cast Stone (1102 Natural Stone; Mortar Color "Light Buff"); EIFS (Match SW #6094 "Sensational Sand"); Metal (match Dark Bronze); Roofing (White); Stacked Stone (Mortar Color "Light Buff"); Wood Slats (Walnut QC "SW-QCWAL-S-0410-12")

## **VII. Staff Recommendation:**

Based on the preceding analysis, the Land Development Staff recommends **Approval** of SP-16-02 for a Convenience Store with Fuel Sales:

1. The most stringent requirements of Exhibit "A" Land Development Staff Report and Recommendation dated January 27, 2017 and Exhibit "B" Site and Development Plan stamp-dated January 5, 2017, as hereafter defined shall apply. (PLANNING-ZONING)
2. The site shall be developed in accordance with the approved Special Exception (SE-16-03) and Variance (BA-16-05). (PLANNING)
3. An easement abandonment approval for the 20-foot drainage easement must be obtained prior to the issuance of building permits. (PLANNING, ENGINEERING)
4. Permits or permit modifications from the South Florida Water Management District (SFWMD), the Lake Worth Drainage District (LWDD), and the Florida Department of Transportation (FDOT), as required, for the stormwater management system must be obtained prior to the issuance of building permits. (BUILDING, ENGINEERING)
5. Permits from the Health Department for modifications to the water and sewer system must be obtained prior to the issuance of building permits. (BUILDING, ENGINEERING)



6. Complete drainage calculations addressing water quality and quantity in accordance with the requirements of SFWMD must be submitted for review along with complete paving and drainage construction plans and subsurface investigation with percolation test prior to the issuance of building permits. (BUILDING, ENGINEERING)
7. In accord with the requirements of the National Pollution Discharge Elimination System (NPDES), a Storm Water Pollution Prevention Plan, Owner/ Operator Certification, and Notice of Intent shall be submitted and accepted by the City prior to the issuance of building permits. (BUILDING, PUBLIC WORKS)
8. Any portions of the existing site drainage system to remain shall be cleaned to ensure efficient operation. Existing stormwater drain pipes that are no longer in service shall be removed. (Engineering)
9. All roof top equipment shall be screened on all four sides consistent with the architecture of the building; no equipment shall be taller than the proposed screening. All ground mounted mechanical equipment shall be screened on all four sides; no equipment shall be taller than the proposed screening. (PLANNING, BUILDING)
10. Building wall signs shall be internally illuminated individual channel letters or reverse channel letters. No raceways or box signs will be permitted. (PLANNING)
11. The dumpster enclosure walls shall match the finish, color, and design elements of the building walls and trim. At a minimum, the dumpster enclosure gates shall be of solid 3/4" deep galvanized corrugated 22 gauge steel matching the building color. (PLANNING)
12. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Additions to the landscaping plan may be necessary to meet Code requirements if existing material to remain is unsuitable for buffer purposes. (PLANNING)
13. All existing trees shown to remain on the approved landscape plans shall be maintained in perpetuity. In the event they should die, they shall be replaced with like species of a size and quantity in accord with the tree credits in Table 16-1271 of the City of Greenacres Code. (PLANNING)
14. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of December 31, 2019 unless a revised traffic study with a later build-out date has been approved by the County and a copy of the approval provided to the City of Greenacres. (PLANNING, BUILDING)
15. A professional engineer, licensed in the State of Florida, is required to certify that the drainage improvements have been constructed in accordance with the approved plans prior to the issuance of a Certificate of Occupancy. (ENGINEERING)
16. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the City. (ENGINEERING, BUILDING)
17. Outdoor storage of materials and equipment (i.e. merchandise, pallets, etc.) is prohibited.

(PLANNING, BUILDING)

18. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the “City of Greenacres”. (PLANNING)
19. A Certificate of Occupancy shall be issued only after compliance with all conditions of approval. (BUILDING)
20. Non-compliance with any of the conditions of approvals will result in withholding of the issuance of building permits or certificates of occupancy. (BUILDING-PLANNING)

---

**PLANNING COMMISSION RECOMMENDATION**

---

---

**GREENACRES CITY COUNCIL ACTION**

---

---

**Samuel J. Ferreri, Mayor**

**Attest:**

---

**Joanna Cunningham, City Clerk**

Attachments:

1. Site and Development Plan





6025 Lake Worth Rd  
SE-16-03 and SP-16-02

Prepared By:  
Planning and Engineering Dept.  
City of Greenacres  
5800 Melaleuca Lane  
Greenacres, FL 33463



0 60' 120' 240'

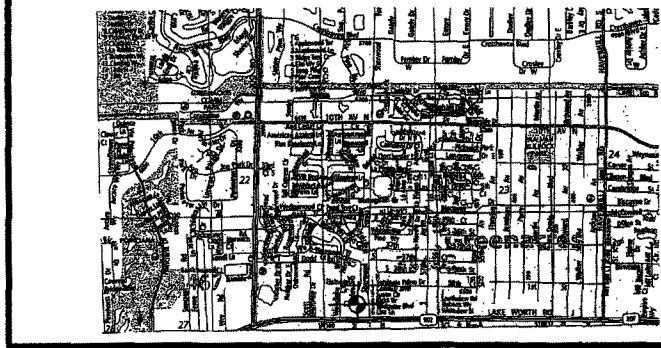






- LEGEND**
- POWER POLE
  - MANHOLE
  - LIGHT POST
  - WATER VALVE
  - FIRE HYDRANT
  - SPOT ELEVATIONS
  - METERS AND SECTION
  - IDENTIFICATION
  - INVERT
  - ELEVATION
  - NORTH AMERICAN VERTICAL DATUM
  - FOOT FLORIDA DEPARTMENT OF TRANSPORTATION
  - REINFORCED CONCRETE PIPE
  - CONCRETE POWER POLE
  - WOOD POWER POLE
  - OVERHEAD ELECTRIC
  - LICENSED BUSINESS
  - OFFICIAL RECORDS BOOK
  - PAGE
  - RADIUS
  - ARC LENGTH
  - BEARING ON CENTRAL ANGLE
  - BACKSIGHT PREVENTION VALVE
  - WATER METER
  - FIRE DEPARTMENT CONNECTION

LAKE WORTH WILLOW CORPORATE CENTER PLAT BOOK 55, PAGE 32



LOCATION MAP: NOT TO SCALE  
**ALTA/NSPS LAND TITLE SURVEY**  
**PARCEL 'A' AND A PORTION OF PARCEL 'B'**  
**SHERWOOD PLAZA**  
**PLAT BOOK 44, PAGE 42**  
**GREENACRES, PALM BEACH COUNTY, FLORIDA**

**LEGAL DESCRIPTION:**  
 PARCEL 'A', SHERWOOD PLAZA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 85, PAGE 196, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH THAT PORTION OF PARCEL 'B' OF SAID PLAT OF SHERWOOD PARCEL, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCE AT THE NORTHEAST CORNER OF SAID PARCEL 'B'; THENCE SOUTHERLY ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT, SAID ARC BEING COINCIDENT WITH THE EAST LINE OF SAID PARCEL 'B', HAVING A RADIUS OF 1976 FEET AND A CENTRAL ANGLE OF 04°30'00" A DISTANCE OF 151.20 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTHERLY ALONG SAID ARC AND ALONG SAID EAST LINE HAVING A RADIUS OF 1896 FEET AND A CENTRAL ANGLE OF 00°05'27"; A DISTANCE OF 3.01 FEET TO THE NORTHEAST CORNER OF PARCEL 'A' OF SAID PLAT; THENCE NORTH 87°45'45" WEST ALONG THE NORTH LINE OF SAID PARCEL 'A'; A DISTANCE OF 106.35 FEET; THENCE NORTH 02°14'14" EAST ALONG SAID NORTH LINE, A DISTANCE OF 3.00 FEET; THENCE SAID LANDS SITUATE IN THE CITY OF GREENACRES, PALM BEACH COUNTY, FLORIDA.  
 ALSO KNOWN AS (METES AND BOUNDS DESCRIPTION)  
 BEING ALL OF PARCEL 'A' AND A PORTION OF PARCEL 'B', SHERWOOD PLAZA, PLAT BOOK 85, PAGE 196, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL 'A'; RUN THENCE NORTH 02°14'14" EAST, ALONG THE WEST LINE OF SAID PARCEL 'A', A DISTANCE OF 246.76 FEET; THENCE SOUTH 87°45'45" EAST ALONG THE NORTH LINE OF SAID PARCEL 'A'; A DISTANCE OF 182.50 FEET; THENCE SOUTH 02°14'14" EAST ALONG THE EAST LINE OF SAID PARCEL 'A'; A DISTANCE OF 25.00 FEET TO A POINT ON A LINE 100 FEET NORTH OF AND PARALLEL WITH THE NORTH LINE OF SAID PARCEL 'A'; THENCE SOUTH 87°45'45" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 106.35 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL 'A'; AS SAME IS SHOWN ON SAID PLAT OF SHERWOOD PLAZA, SAID POINT ALSO BEING A POINT ON A CURVE CONCAVE WESTERLY (A RADIAL LINE PASSING THROUGH SAID POINT BEARS NORTH 88°34'54" EAST) HAVING A RADIUS OF 1896.00 FEET; THENCE SOUTHERLY ALONG THE SAID EAST LINE OF PARCEL 'B' AND THEN ALONG THE EAST LINE OF SAID PARCEL 'A' THROUGH A CENTRAL ANGLE OF 03°40'25"; A DISTANCE OF 12.57 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 02°15'19" WEST ALONG SAID EAST LINE OF PARCEL 'A', A DISTANCE OF 52.35 FEET; THENCE SOUTH 46°12'16" WEST, A DISTANCE OF 57.85 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 'A'; SAID POINT ALSO BEING A POINT ON A CURVE CONCAVE NORTHERLY (A RADIAL LINE PASSING THROUGH SAID POINT BEARS SOUTH 00°13'25" WEST) HAVING A RADIUS OF 11384.15 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00°52'46"; A DISTANCE OF 174.72 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 57230.79 FEET; THENCE WESTERLY CONTINUING ALONG THE SAID SOUTH LINE OF PARCEL 'A', THROUGH A CENTRAL ANGLE OF 00°04'41"; A DISTANCE OF 77.89 FEET TO THE POINT OF BEGINNING.

**SURVEYOR'S NOTES:**

- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON ADJACENT TO THIS SITE.
- LANDS SHOWN HEREON WERE SURVEYED IN ACCORDANCE WITH WESTCOAST LAND TITLE INSURANCE COMPANY DATED APRIL 13, 2016 AT 8:00 AM.
- SECTION II
- EXCEPTION #1: PLAT BOOK 85, PAGE 186 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- EXCEPTION #2: ORB 11174, PG 747; ORB 13898, PG 1319 - BLANKET EASEMENT FOR WATER/SEWER, NO PLOTTABLE EXCEPTIONS
- EXCEPTION #3: ORB 11277, PG 725 - BLANKET EASEMENT FOR CONTROL OF EASEMENTS PRIOR TO PLATTING, NO PLOTTABLE EXCEPTIONS
- EXCEPTION #4: ORB 11751, PG 1886 - AFFECTS PROPERTY, AS SHOWN ON SKETCH
- EXCEPTION #5: ORB 11776, PG 1139 - DOES NOT AFFECT PROPERTY
- EXCEPTION #6: ORB 27650, PG 918 - AFFECTS PROPERTY, UNPLOTTABLE
- EXCEPTION #7: ORB 27650, PG 938 - AFFECTS PROPERTY, UNPLOTTABLE
- EXCEPTION #8: ORB 27650, PG 949 - AFFECTS PROPERTY, UNPLOTTABLE
- BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF 5.02°15'19" N. ALONG THE WEST RIGHT OF WAY LINE OF SHERWOOD FOREST BOULEVARD.
- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- PALM BEACH COUNTY BENCHMARK: STAMPED: BERNICE (ELEVATION 15.785' (NAVD 88))
- SITE AREA: 123,000.81 SQUARE FEET OR 2.828 ACRES MORE OR LESS.
- THIS SITE LIES IN FLOOD ZONE "1" AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12059C-0550-F.
- THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- THERE WAS NO OBSERVABLE EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SWAMP OR SANITARY LANDFILL.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- DUE TO NUMEROUS INACCURACIES SHOWN ON PLAT, EASEMENT LOCATIONS ARE APPROXIMATE.

**SURVEYOR'S CERTIFICATION:**  
 TO: RACETRAC PETROLEUM, INC., A GEORGIA CORPORATION AND WESTCOAST LAND TITLE INSURANCE COMPANY;  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 9, 11(c), 13 AND 16 OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 15 AND 16, 2016.

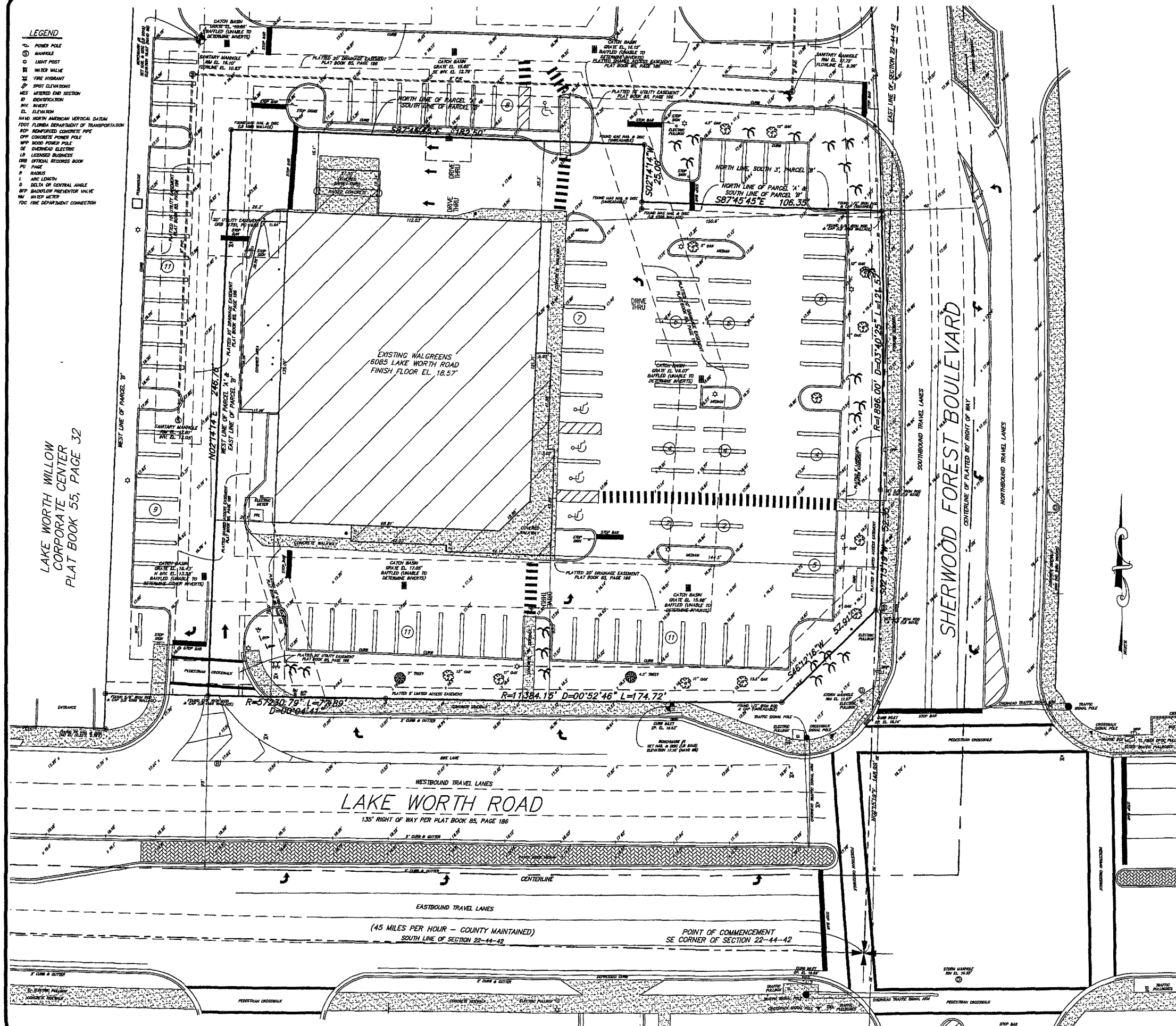
SP-16-02  
 ROBERT BLOOMSTER JR.  
 PROFESSIONAL LAND SURVEYOR  
 NO. 4134 STATE OF FLORIDA  
 THE SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**BLOOMSTER**  
**PROFESSIONAL LAND**  
**SURVEYORS, INC.**  
 L.S. #9018  
 641 NORTHEAST SPENCER STREET  
 JENSEN BEACH, FLORIDA 34957  
 PHONE 772-334-0868

SHEET 1 OF 1		
DRAWN BY:	DPK	
SCALE:	1" = 20'	
FIELD WORK COMPLETED:	5/28/2016	
FIELD BOOK:	SECTION	
JOB NO.:	13548	
REVISIONS		
DATE:	DESCRIPTION:	BY:

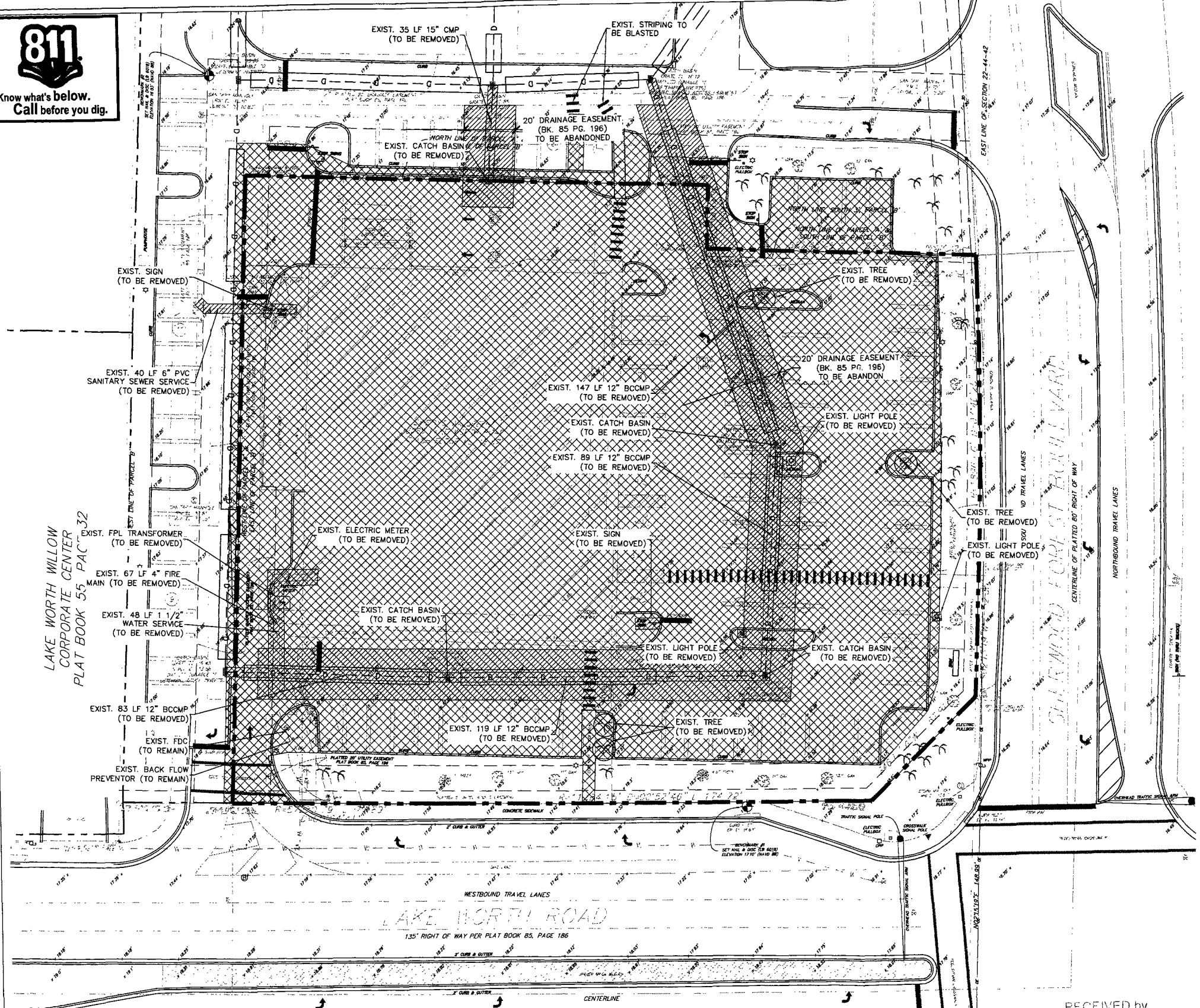
**RACETRAC PETROLEUM, INC.**  
 6025 LAKE WORTH DRIVE  
 GREENACRES, PALM BEACH COUNTY, FLORIDA

RECEIVED BY  
 CITY OF GREENACRES  
 JAN 5 2017  
 PLANNING & ENGINEERING

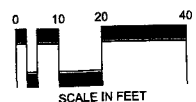


811

Know what's below.  
Call before you dig.



North



SCALE IN FEET

PROPOSED LEGEND

- PROPERTY LINE
- ⊗ TREE REMOVAL
- ▨ TO BE REMOVED
- ▩ REMOVE ALL ASPHALT PAVEMENT, PAVEMENT STRIPING AND MARKINGS, CONCRETE SIDEWALK, BUILDING, LANDSCAPING, UTILITY APPURTANCES, SIGNAGE, LIGHT POLES AND BOLLARDS

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING STRUCTURES PRIOR TO DEMOLITION OF THE BUILDINGS. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES.
2. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE, COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS INVOLVED AND IS RESPONSIBLE FOR REMOVING AND DUMPING THE DEBRIS IN AN APPROVED, LAWFUL MANNER.
4. ALL EXISTING UTILITIES ARE TO BE REMOVED, TERMINATED AND CAPPED AT THE RIGHT-OF-WAY. ALL EXISTING METERS, VALVES, ETC. ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS.
5. ALL EXISTING SERVICE LINES FOR TELEPHONE, ELECTRIC, SEWER, AND CABLE T.V. SERVICES ARE TO BE REMOVED TO EXISTING TRUNK LINES UNLESS OTHERWISE NOTED ON THE PLANS.
6. ALL AREAS WHERE PAVEMENT, STRUCTURE SLABS, FOUNDATIONS, UTILITIES, CONDUITS, AND/OR UTILITY STRUCTURES HAVE BEEN REMOVED SHALL BE BACKFILLED WITH SELECT BACKFILL MATERIAL. ALL SELECT BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED PER THE REQUIREMENTS OF SPECIFICATIONS AND THE OWNERS GEOTECHNICAL ENGINEER.
7. ALL EXISTING FENCES, SIGNS, POWER POLES, AND LIGHT POLES LOCATED ON-SITE SHALL BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED.
8. EXISTING CAST IN PLACE SEPTIC TANKS (IF FOUND ON-SITE) SHALL BE PUMPED BY A LICENSED CONTRACTOR. THE SEPTIC TANK SHALL THEN BE REMOVED AND THE AREA BACKFILLED PER THE PROJECT SPECIFICATIONS UNLESS OTHERWISE NOTED. ALL WORK SHALL BE IN ACCORDANCE WITH HEALTH DEPARTMENT REQUIREMENTS.
9. CONTRACTOR IS RESPONSIBLE FOR WALKING SITE AND DETERMINING EXTENTS OF DEMOLITION WORK PRIOR TO BID DATE.
10. PRIOR TO ANY WORK ON-SITE, THE CONTRACTOR SHALL CONTACT THE ONE CALL SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY REMOVALS WHETHER LOCATED BY THE ONE CALL SYSTEM OR NOT.
11. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING ELECTRICAL SERVICES ON SITE WITH THE POWER COMPANY. POWER COMPANY IS RESPONSIBLE FOR THE DISCONNECTION AND REMOVAL OF EXISTING SERVICES UNLESS OTHERWISE NOTED.
12. LIMITS OF PAVEMENT SHOWN TO BE REMOVED ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY THE LIMITS OF PAVEMENT TO DETERMINE THE EXTENT OF THE EXISTING PAVEMENT TO BE REMOVED.
13. IF NOT SHOWN ON THE DEMOLITION DRAWINGS, THE CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS AS NECESSARY TO COMPLETE ALL NEW WORK AS REQUIRED BY OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
14. SALVAGE RIGHTS FOR ALL DEMOLISHED MATERIALS SHALL BE FIRST GIVEN TO THE OWNER. ANY MATERIALS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
15. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS IN THE REMOVAL/DEMOLITION OF HAZARDOUS MATERIALS.
16. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING UTILITIES PRIOR TO DEMOLITION & EXCAVATION.
17. CONTRACTOR IS RESPONSIBLE FOR ALL REGISTRATIONS, PERMITS AND FEES REQUIRED TO REMOVE & PROPERLY DISPOSE OF ALL DEMOLITION MATERIALS.
18. DEMO CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVALS AND NOTIFICATIONS TO ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
19. REFER TO SURVEY FOR LIMITS AND BOUNDARY OF PROPERTY.

GENERAL DEMOLITION SPECIFICATIONS:

1. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
2. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
3. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES OR OTHER DANGEROUS MATERIALS BEFORE PROCEEDING WITH DEMOLITION OPERATIONS ACCORDING TO APPLICABLE CODES OR REGULATIONS.
4. EMPLOY A CERTIFIED, LICENSED EXTERMINATOR TO TREAT BUILDING AND TO CONTROL RODENTS AND VERMIN BEFORE AND DURING DEMOLITION OPERATIONS. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS. PROVIDE ALTERNATE ROUTES AND SIGNAGE FOR SIDEWALKS ON WHEATLAND AND COCKRELL HILL ROADS, DURING THE DEMOLITION AND RECONSTRUCTION OF THE SIDEWALK.
5. DO NOT CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION, WHEN USING WATER. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
6. REMOVE DEBRIS FROM ELEVATED PORTIONS OF BUILDING BY CHUTE, HOIST, OR OTHER DEVICE THAT WILL CONVEY DEBRIS TO GRADE LEVEL.
7. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
8. DO NOT BURN DEMOLISHED MATERIALS.

RECEIVED by  
CITY OF GREENACRES

JAN 5 2017

PLANNING & ENGINEERING

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS  
TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

WGI  
Wantman Group, Inc.  
11555 W. BIRCHMOUNT RD., SUITE 100  
GREENACRES, FLORIDA 32045  
(407) 317-6600

DATE	
NO.	

THESE PLANS ARE  
SUBJECT TO FEDERAL  
COPYRIGHT LAWS. ANY  
USE OR REPRODUCTION  
WITHOUT THE WRITTEN  
PERMISSION OF  
RACETRAC PETROLEUM,  
INC. IS PROHIBITED.

1/5/17

RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

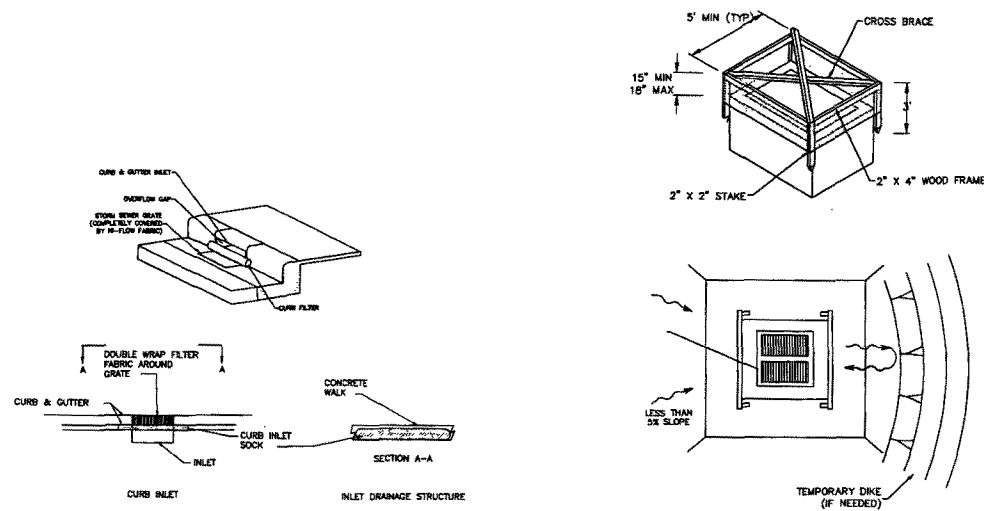
DEMOLITION PLAN  
RACETRAC MARKET  
Lake Worth Rd @ Sherwood Forest Blvd  
Greenacres, Florida  
Palm Beach County

DRAWN BY	AARON HUNTER
DATE	12/22/16
SCALE	1" = 20'
DRAWING NAME	1917_06_DEMO.dwg
SHEET NO.	DM1
VERSION	1







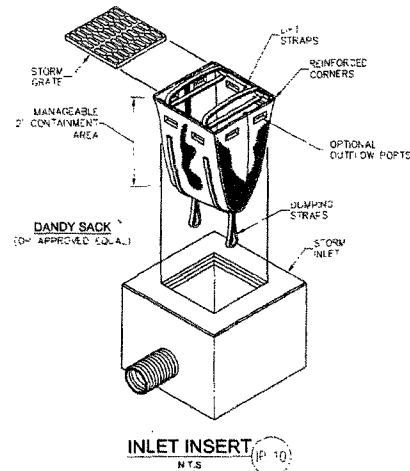


NOTES:  
1. HEIGHT OF CURB INLET SOCK SHOULD NOT BE ABOVE THE CONCRETE WALK.

1 POLLUTION PREVENTION AROUND CURB INLET STRUCTURES  
ES2 SCALE: NONE

2 SILTY FENCE INLET PROTECTION  
ES2 SCALE: NONE

NOTES:  
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS.  
2. THE TOP OF THE FRAME (FORMING HOOD) MUST BE WELL BELOW THE GROUND ELEVATION DOWN-SLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWN-SLOPE SIDE OF THE STRUCTURE.  
3. THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS IS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 0%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.



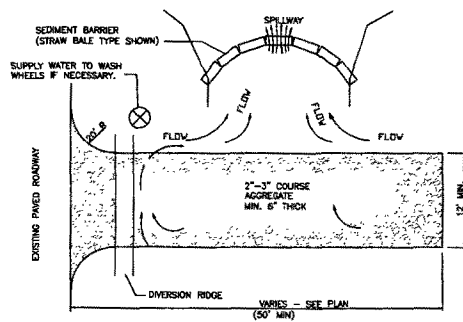
3 INLET INSERT  
ES2 SCALE: NONE

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	500 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4853	120 LBS
MULLEN BURST	ASTM D-3786	800 FFS
TRAPEZOID TEAR	ASTM D-4533	120 LBS
JV RESISTANCE	ASTM D-4955	80 %
APPEARANT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/25 FT PERMITTIV
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

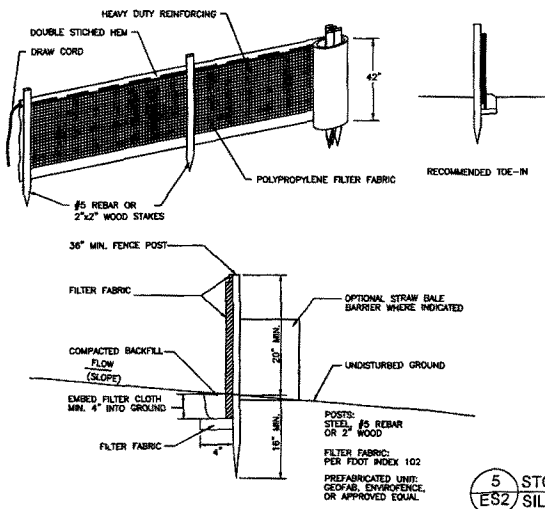
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4853	120 LBS
MULLEN BURST	ASTM D-3786	420 FFS
TRAPEZOID TEAR	ASTM D-4533	48 LBS
JV RESISTANCE	ASTM D-4355	90 %
APPEARANT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/25 FT PERMITTIV
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

NOTES:  
1. FOR TEMPORARY USE TO CAPTURE LARGE DIAMETER SEDIMENTS, NOT TO BE UTILIZED AS THE ONLY SEDIMENT CONTAINMENT SYSTEM.  
2. GEOTEXTILE WILL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.  
3. AN O<sub>2</sub> ADSORBENT PAD OR PILLLOW CAN BE PURCHASED WHEN THE SITES ARE A CONCRETE.  
4. INSPECT PER REGULATORY REQUIREMENTS.



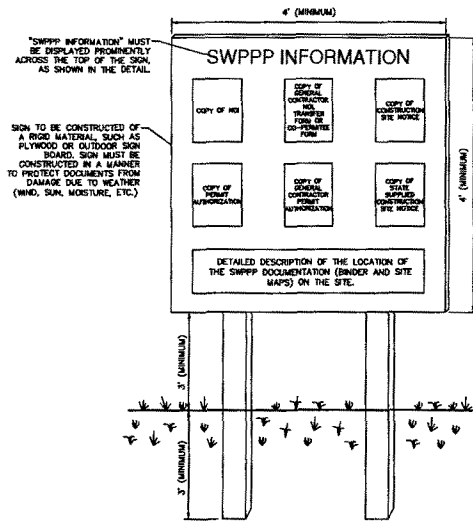
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.  
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

4 TEMPORARY CONSTRUCTION ENTRANCE  
ES2 SCALE: NONE



NOTES:  
1. FILTER FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.  
2. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH TIES SPACED EVERY 24 INCHES AT TOP AND MID SECTION.  
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.  
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILTY FENCE OR DEPTH OF ACCUMULATED SEDIMENT REACHES 6 INCHES.  
5. SILTY FENCE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE.  
6. THE CONTRACTOR SHALL INSPECT AND REPAIR THE SILTY FENCE AFTER EACH RAIN EVENT AND REMOVE SEDIMENT WHEN NECESSARY.  
7. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSITE AND CAN BE PERMANENTLY STABILIZED.  
8. THE SILTY FENCE SHALL BE PLACED ON SLOPE CONTOUR TO MAXIMIZE ITS PONDING EFFICIENCY.  
9. IF GROUND LEVEL IS DEEPER THAN 30", THEN A FLOATING SILTY SCREEN SHALL BE USED.

5 STORMWATER / DRAINAGE SILTY FENCE INSTALLATION  
ES2 SCALE: NONE



NOTES:  
1. THE SWPPP INFORMATION SIGN MUST BE LOCATED IN A PROMINENT, PUBLICLY ACCESSIBLE LOCATION NEAR THE MAIN ENTRANCE OF THE SITE. SUCH THAT THE DOCUMENTATION CAN BE READ WITHOUT ACCESSING THE JOBSITE, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A TRAFFIC SAFETY HAZARD.  
2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.  
3. ALL PAGES OF NOTICES OF INTENT AND PERMIT AUTHORIZATIONS MUST BE POSTED. THE CONTRACTOR MAY UTILIZE ACCESSIBLE WATERPROOF FOLDERS TO STORE THESE DOCUMENTS IF IT WILL BE DIFFICULT TO POST ALL PAGES INDIVIDUALLY.  
4. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCIES.  
5. SUBSEQUENT PERMIT MODIFICATION REQUESTS OR RENEWAL APPLICATIONS AND THEIR ASSOCIATED AUTHORIZATIONS OR RESPONSES SHALL BE POSTED ON THE SWPPP SIGN.  
6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.  
7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

6 SWPPP INFORMATION SIGN  
ES2 SCALE: NONE

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

PLANNING & ENGINEERING

JAN 5 2017

**WGI**  
Wantman Group, Inc.  
10000 W. 11th Street, Suite 100  
Tomball, TX 77375  
713.261.1100

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE EXPRESS WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

**Racetrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

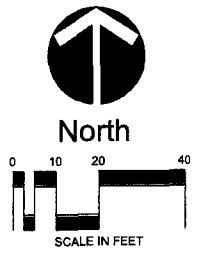
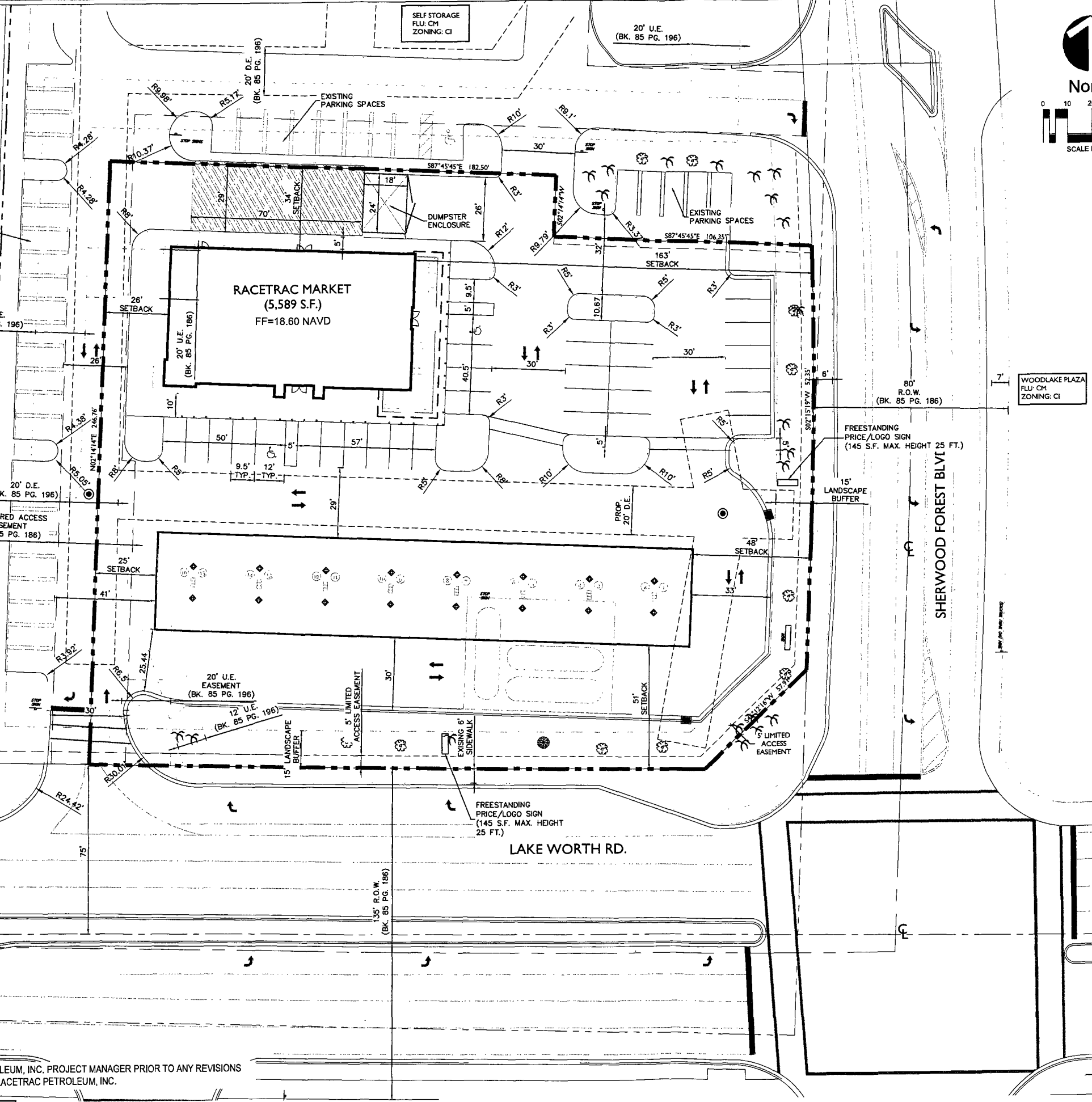
EROSION CONTROL DETAILS  
RACETRAC MARKET  
6025 Lake Worth Rd.  
Greengarden, Florida  
Palm Beach County

DRAWN BY: AARON HARTER  
DATE: 01/02/15  
SCALE: 1" = 20'  
DRAWING NAME: 1502\_06\_SWPPP.dwg  
ES2 1  
SHEET NO. VERSION



WILLOW CORPORATE CENTER  
FLU: CM  
ZONING: CG

SHOPPING CENTER  
FLU: CM  
ZONING: CG



**PROPOSED LEGEND**

---	PROPERTY LINE
●	STORM STRUCTURES
⊙	STORM MANHOLE
⊕	SANITARY CLEANOUT
⊖	GREASE TRAP
▲	FIRE HYDRANT

**WGI**  
Wantman Group, Inc.  
LAND DESIGN SERVICES DIVISION  
10000 WOODLAKE BLVD., SUITE 100  
ATLANTA, GA 30339  
PHONE 404.488.8888 FAX 404.488.8889  
WWW.WGI.COM

NO.	DATE

AS  
1/5/17

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF WGI OR WGI GROUP, INC. IS PROHIBITED.

**Racetrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

SP-13-17

RECEIVED by  
CITY OF GREENACRES

JAN 5 2017

PLANNING & ENGINEERING

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

**HORIZONTAL CONTROL PLAN**  
**RACETRAC MARKET**  
Lake Worth Rd @ Sherwood Forest Blvd  
Greenacres, Florida  
Palm Beach County

DRAWN BY	AARON HUNTER
DATE	1/5/2017
SCALE	1" = 20'
DRAWING NAME	150736_HCP.dwg
SHEET NO.	C1.2
VERSION	1

Aaron Hunter © WGI/2017 1/5/2017 12:36:11 PM Saved: 1/5/2017 12:00:34 PM  
 150736\_HCP.dwg



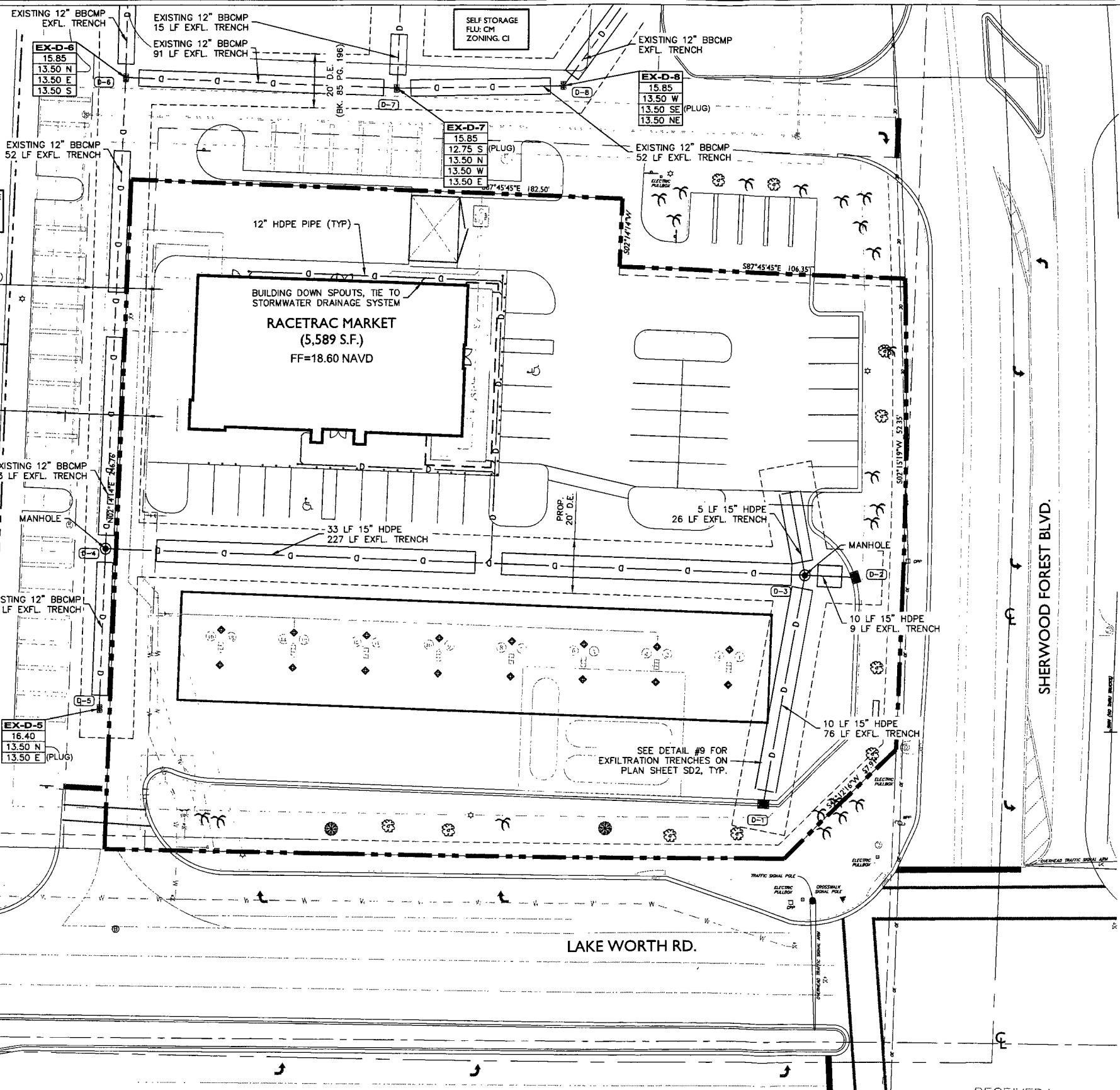








Know what's below. Call before you dig.



**PROPOSED LEGEND**

	PROPERTY LINE
	PERFORATED STORM PIPE W/ EXFILTRATION TRENCH
	STORM PIPE
	WATER LINE
	SANITARY SEWER
	STORM STRUCTURES
	STORM MANHOLE
	SANITARY CLEANOUT
	GREASE TRAP
	FIRE HYDRANT

**GRADING PLAN NOTES:**

1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL MAKE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS.
4. RACETRAC PETROLEUM DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6. ALL CUT OR FILL SLOPES SHALL BE X:1 OR FLATTER UNLESS OTHERWISE NOTED.
7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINES IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
13. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY / COUNTY SPECIFICATIONS UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
14. ALL RETAINING WALLS TO BE PROTECTED DURING BACKFILL BY CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO, PROVIDING AND INSTALLING PROPER BRACING DURING BACKFILL BEING PLACES ADJACENT TO RETAINING WALLS.
15. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY RACETRAC.
16. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
17. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
18. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
19. ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
20. EXISTING MANHOLES AND VALVE BOXES TO REMAIN IN PLACE SHALL BE ADJUSTED TO FINAL GRADES.
21. EXISTING DRAINAGE GRATE IN S.R. TO BE SALVAGED IN GOOD CONDITION AND DELIVERED TO PALM BEACH OPERATIONS CENTER AT CONTRACTORS EXPENSE.

#	STRUCTURE TYPE	RIM ELEV.	PIPE SIZE	INVERT ELEV
D-1	CURB INLET TYPE 9	15.90'	15"	NE - 13.50'
D-2	CURB INLET TYPE 9	16.40'	15"	E - 13.50'
D-3	MH	16.56'	15"	NW - 13.50' SW - 13.50' E - 13.50' W - 11.85'
D-4	MH	17.45	15"	N - 13.50' S - 13.50' E - 11.85'
EX D-5	TYPE C DBI	16.40'	15"	N - 13.50'
EX D-6	TYPE C DBI	15.85'	15"	N - 13.50' S - 13.50' E - 13.50'
EX D-7	TYPE C DBI	15.85'	15"	N - 13.50' S - 13.50' E - 13.50' W - 13.50'
EX D-8	TYPE C DBI	15.85'	15"	NE - 13.50' W - 13.50' SE - 13.50'

**ABBREVIATIONS**

BBCMP	BITUMINOUS COATED CORRUGATED METAL PIPE
DE	DRAINAGE EASEMENT
EXFL	EXFILTRATION
HDPE	HIGH DENSITY POLYETHYLENE
NAVD	NORTH AMERICAN VERTICAL DATUM
SF	SQUARE FEET
TYP	TYPICAL

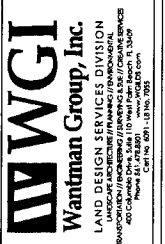
RECEIVED by  
CITY OF GREENACRES

JAN 5 2017

PLANNING & ENGINEERING

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

VERTICAL DATUM: NORTH AMERICAN  
VERTICAL DATUM OF 1988 (NAVD88)



DATE	
NO.	

1/5/17

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN CONSENT OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

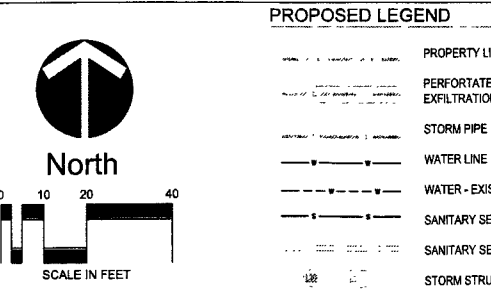
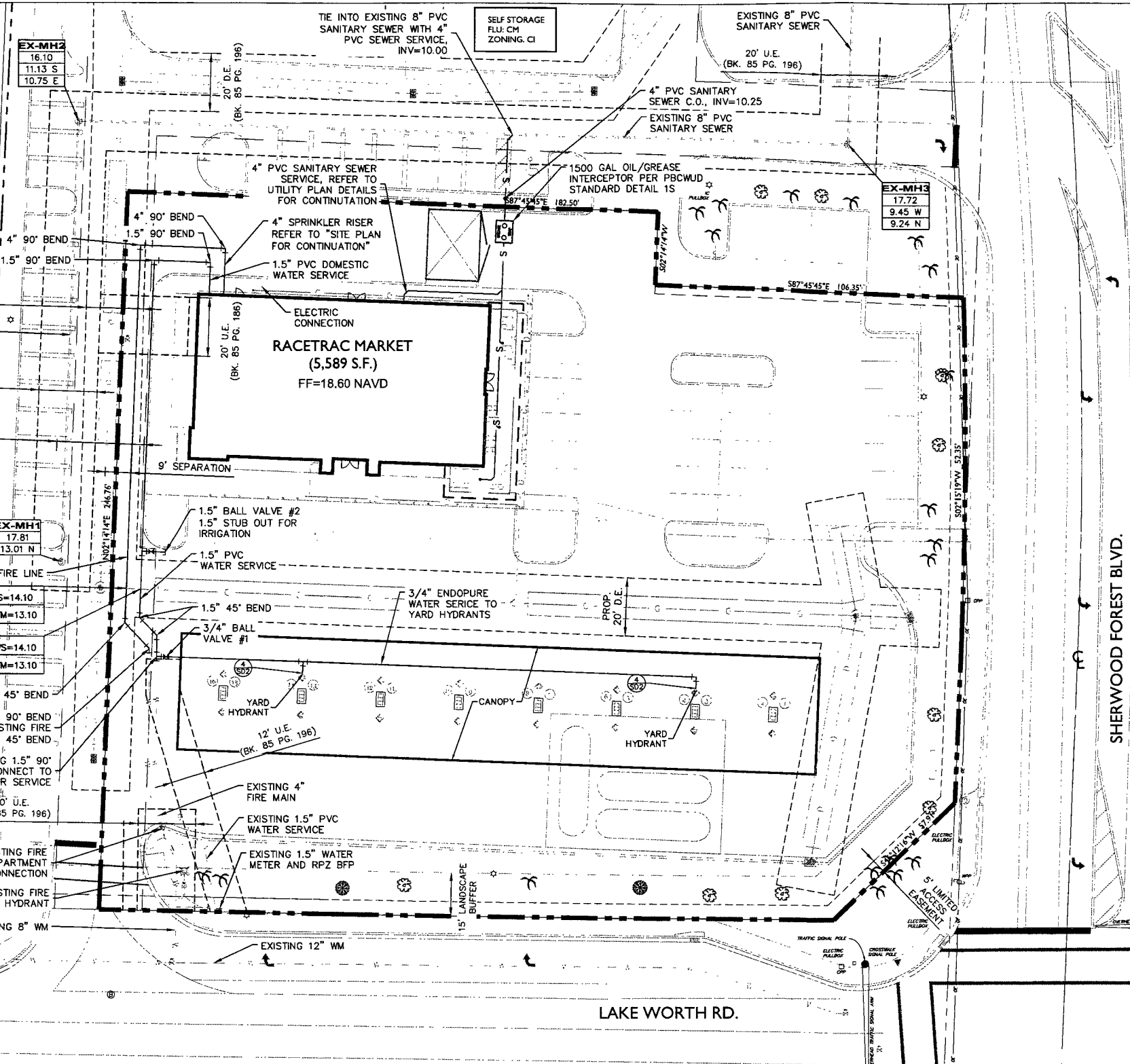


**DRAINAGE PLAN**  
**RACETRAC MARKET**  
Lake Worth Rd @ Sherwood Forest Blvd  
Greenacres, Florida  
Palm Beach County

DRAWN BY	AARON HUNTER
DATE	1/5/2017
SCALE	1" = 20'
DRAWING NAME	1507_DE_DRN.dwg
SHEET NO.	C2.3
VERSION	1

Author: Hunter, A. User: aahunter Date: 1/5/2017 11:29:32 AM Saved: 1/26/2017 11:29:11 AM





PALM BEACH COUNTY UTILITY EASEMENT RECORDED IN: ORB, PG.

UTILITY NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
5. CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE-IN CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
6. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO BUILDING.
7. SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
8. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION, THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
9. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
10. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
11. CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
12. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
13. SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS. THIS INCLUDES FEES INCURRED THROUGH RESCHEDULING OF ANY RACETRAC VENDORS OR EQUIPMENT TO ACCOMMODATE.
14. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE-IN CONNECTIONS TO THEIR FACILITIES.
16. SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
17. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
18. CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.

PRIVATE WATER SYSTEM NOTES:

- 1. ALL VERTICAL BENDS ON WATER MAIN SHALL BE RESTRAINED WITH A MECHANICAL JOINT FITTING SUPPLIED WITH THE RETAINER GLANDS. ANY JOINTS 25 FEET OR LESS FROM EITHER SIDE OF VERTICAL BEND SHALL BE RESTRAINED WITH A RETAINER GLAND.
2. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
3. THE MINIMUM COVER ON WATER MAINS SHALL BE 3 FEET.
4. PIPE MATERIAL SHALL BE "ENDOPURE" PE 3408 - 200PSI.
5. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE IRRIGATION SYSTEM REQUIREMENTS BETWEEN THE IRRIGATION CONTRACTOR AND PLUMBING CONTRACTOR. IRRIGATION TAP, METERS, ETC. SHALL BE INCLUDED IN GENERAL CONTRACTOR'S BASE BID.

POWER NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL NECESSARY CONDUIT AND PULL WIRE ON-SITE UP TO PROPERTY. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE SERVICE LINES WITH THE POWER COMPANY.
2. CONTRACTOR SHALL PROVIDE TRANSFORMER PAD (UNLESS TRANSFORMER IS POLE MOUNTED) TO ALLOW FOR INSTALLATION OF TRANSFORMER BY POWER COMPANY.

TELEPHONE NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE PVC CONDUIT INCLUDING TRENCHING BEDDING, PULL WIRE, AND BACKFILLING. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE TELEPHONE COMPANY TO SCHEDULE AND COORDINATE WORK PRIOR TO INSTALLING CONDUIT.

PRIVATE SANITARY SEWER SYSTEM NOTES:

- 1. SANITARY SEWER PIPE OF DIFFERENT MATERIAL SHALL BE JOINED BY A RUBBER SLEEVE WITH STAINLESS STEEL COUPLING, MADE FOR TRANSITIONS FROM ONE MATERIAL TO ANOTHER.
2. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR TO CENTERLINE OF MANHOLE.
3. THE SANITARY SEWER PIPE MATERIAL SHALL BE PVC, SCHEDULE 40, SEWER PIPE UNLESS OTHERWISE NOTED ON PLAN.
4. ALL MANHOLE COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

RECORD DRAWING NOTES:

- 1. RECORD DRAWINGS SHALL BE PREPARED IN STATE PLANE COORDINATE SYSTEM.
2. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION.
3. STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURE SPECIFIED IN PBCWUD STANDARDS.
4. STATE PLANE COORDINATE SHALL BE SHOWN ON PROPERTY CORNERS AS REQUIRED BY PBCWUD.

HYDRANT SECURITY EQUIPMENT NOTES:

- 1. EACH NEW FIRE HYDRANT SHALL BE EQUIPPED WITH A SET OF AFC "CAPTIVATOR" SECURITY CAPS. THE CAPS SHALL BE CHAINED TO THE HYDRANT BODY AND INSTALLED PRIOR TO ISSUANCE OF "CONSTRUCTION WATER RELEASE" CERTIFICATION. A SCHEDULED INSPECTION BY PBCWUD IS REQUIRED TO VERIFY THE INSTALLATION AND OPERATION OF THE CAPS.
PLEASE NOTE THAT THE SECURITY CAPS CAN ONLY BE REMOVED USING SPECIAL WRENCHES. THE CONTRACTOR SHALL CONTACT THE PBCWUD INSPECTOR FOR ASSISTANCE IF ACCESS TO THE HYDRANT IS REQUIRED FOR FLUSHING OR TESTING PURPOSES.

GENERAL WATER NOTES:

- 1. ALL WATER MAIN DUCTILE IRON PIPE AND PIPING FITTINGS SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE ACCESS OF THE PIPE AND IS LOCATED ALONG THE TOP OF THE PIPE.
2. ALL WATER MAINS SHALL BE MARKED WITH ONE CONTINUOUS STRIP OF 8" WIDE MAGNETIC BLUE COATED TAPE IMPRINTED WITH TWO (2) INCH HIGH LETTERING READING "CAUTION - POTABLE WATER LINE BURIED BELOW" AND LOCATED APPROXIMATELY TWELVE (12) INCHES ABOVE THE CROWN OF THE PIPE. THE WORDING SHALL OCCUR EVERY THREE (3) FEET.
3. ALL WATER SERVICE FITTINGS ARE REQUIRED TO BE OF LEAD FREE AS OF JANUARY 01, 2013.

GENERAL SEWER NOTE:

- 1. ON-SITE SEWER LATERALS UP TO CLEAN OUT AT PROPERTY LINE ARE PRIVATELY OWNED AND MAINTAINED.
2. SEWER CLEANOUT MINI-MANHOLES ARE REQUIRED ON ALL CLEANOUTS WITHIN PAVEMENT AREAS.

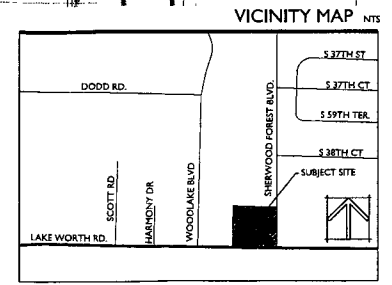
GENERAL LANDSCAPE NOTE:

- 1. SOO ONLY WITH NO SHRUBS AND/OR TREES TO BE INSTALLED WITHIN 5' OF A WATER METER AND 7.5' OF FIRE HYDRANT. TREES CANNOT BE INSTALLED WITHIN 10' OF A WATER OR SEWER MAIN WITHOUT PRIOR PBCWUD APPROVAL AND THE INSTALLATION OF A ROOF BARRIER.

PBC-TRAFFIC ITS NOTES:

- 1. THE DEVELOPER IS TO PAY FOR COST OF PBC-TRAFFIC ITS TO RELOCATE THE EXISTING BURIED FIBER OPTIC CABLE AND INSTALL FIBER OPTIC CABLE SPLICE

VERTICAL DATUM: NORTH AMERICAN
VERTICAL DATUM OF 1988 (NAVD88)



SITE LOCATION MAP NO SCALE

PROJECT LOCATED IN SECTION 22, TOWNSHIP 44 SOUTH, RANGE 42 EAST

Table with 2 columns: Abbreviations and their corresponding full names (e.g., BFP - BACK FLOW PREVENTER, DIP - DUCTILE IRON PIPE).

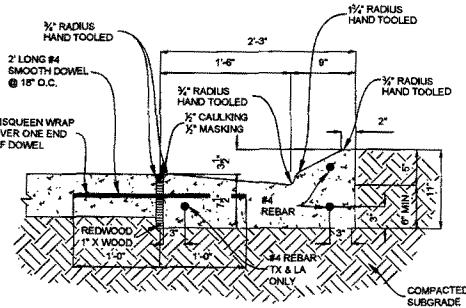
RECEIVED BY CITY OF GREENACRES

JAN 5 2017

PLANNING & ENGINEERING

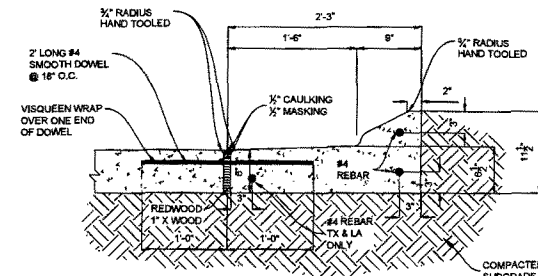
CONTACT RACETRAC PETROLEUM INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN. APPROVED FOR THE CITY OF GREENACRES.

Project information block including WGI logo, Racetrac logo, utility plan title, drawing number (C3.1), version (1), and date (1/5/17).



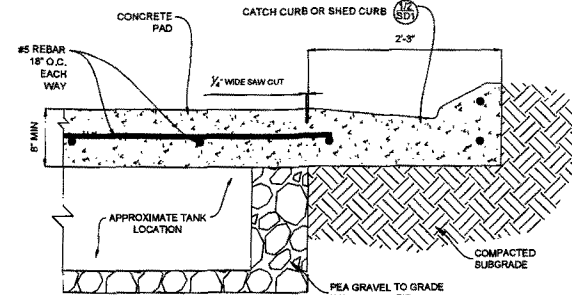
**CATCH CURB DETAIL @ CONCRETE SLAB** N.T.S.

1. REFER TO PAVING PLAN FOR EXACT CURB DEPTHS.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.



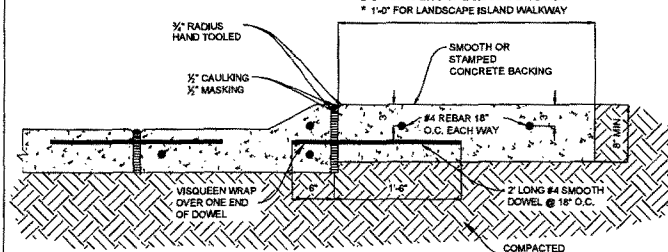
**SHED CURB DETAIL @ CONCRETE SLAB** N.T.S.

1. REFER TO PAVING PLAN FOR EXACT CURB DEPTHS.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.  
 4. USED WHEN ADJACENT PAVEMENT SLOPES AWAY FROM CURBING



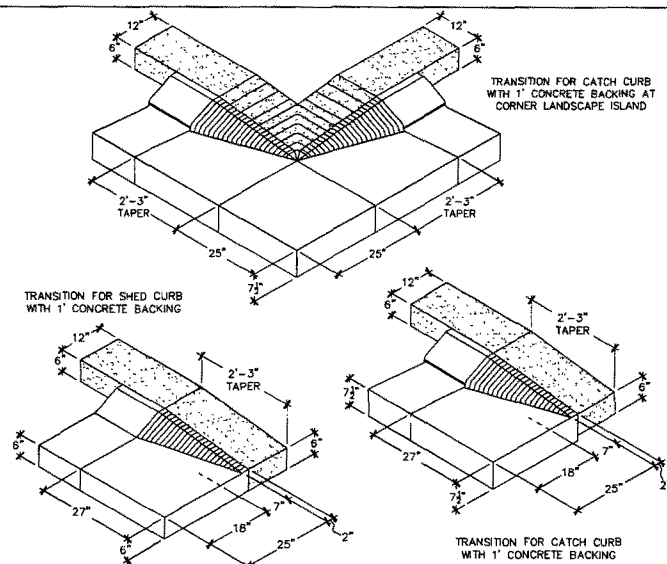
**TANK AREA CURB DETAIL** N.T.S.

1. REFER TO PAVING PLAN FOR EXACT CURB DEPTHS.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.  
 4. THIS CURB TYPE IS TO BE USED ALONG THE CURB LINE ADJACENT TO THE TANK PAD REFER TO "SITE PLAN" FOR EXACT LOCATIONS.



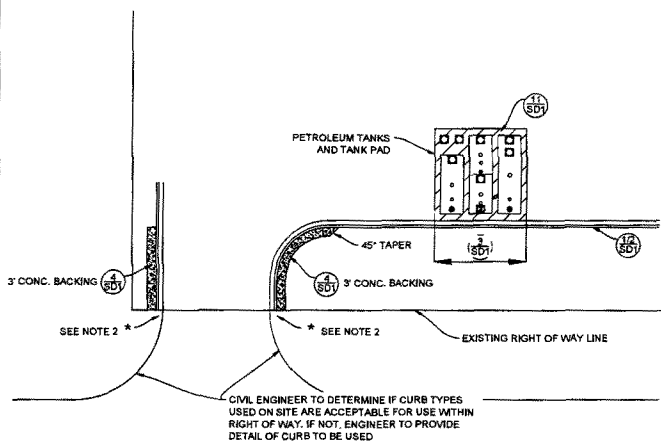
**CONCRETE BACKING FOR ON-SITE CURB** N.T.S.

1. REFER TO PAVING PLAN FOR EXACT CURB DEPTHS.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.  
 4. THREE (3) FOOT BACKING IS TO BE USED ALONG THE RADIUS OF DRIVEWAYS. TWO (2) FOOT BACKING IS TO BE USED ALONG THE RADIUS OF LANDSCAPE ISLANDS WITHIN HIGH TRAFFIC AREAS. ONE (1) FOOT BACKING IS TO BE USED AS A PEDESTRIAN WALKWAY WITHIN LANDSCAPE ISLANDS.  
 5. \* IF LANDSCAPE ISLANDS HAVE TO BE INCREASED, DUE TO THE ONE (1) FOOT BACKING, TO MEET SQUARE FOOTAGE REQUIREMENTS AND PARKING SPACES ARE LOST, ONE (1) FOOT BACKING WILL NOT BE USED IN THOSE AREAS.  
 6. REFER TO "SITE PLAN" FOR EXACT LOCATIONS.



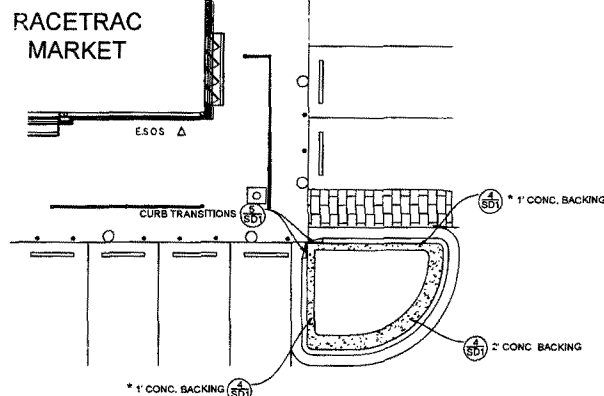
**CURB TRANSITION DETAILS** N.T.S.

1. SEE SITE PLAN FOR EXACT LOCATIONS



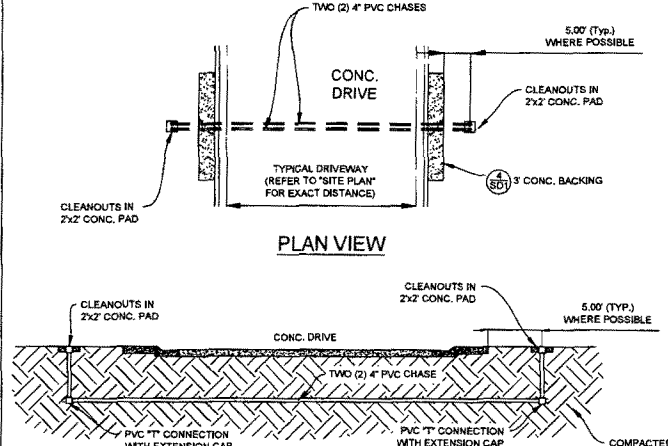
**CURB LAYOUT PLAN VIEW** N.T.S.

1. REFER TO "SITE PLAN" FOR EXACT LOCATIONS OF THE DIFFERING CURB TYPES.  
 2. \* = RACETRAC CONSTRUCTION PROJECT MANAGER TO COORDINATE WITH CONCRETE SUBCONTRACTOR TO DETERMINE BEST TRANSITION METHOD BETWEEN DIFFERING CURB TYPES.



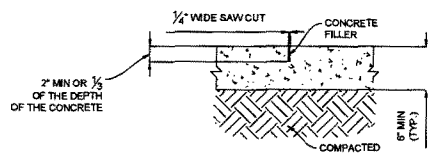
**CONCRETE BACKING PLAN VIEW** N.T.S.

1. REFER TO "SITE PLAN" FOR EXACT LOCATIONS OF THE DIFFERING CURB TYPES.  
 2. \* IF LANDSCAPE ISLANDS HAVE TO BE INCREASED, DUE TO THE ONE (1) FOOT BACKING, TO MEET SQUARE FOOTAGE REQUIREMENTS AND PARKING SPACES ARE LOST, ONE (1) FOOT BACKING WILL NOT BE USED IN THOSE AREAS. REFER TO SITE PLAN FOR EXACT LOCATIONS.



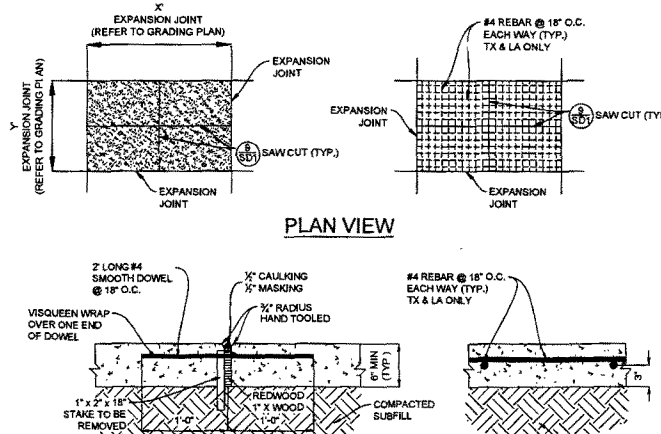
**PVC CHASE DETAIL** N.T.S.

1. PVC CHASE TO BE PLACED UNDER ALL DRIVEWAYS. (REFER TO "SITE PLAN" FOR EXACT LOCATIONS)  
 2. CHASES ARE NOT TO BE USED FOR IRRIGATION. INSTALLED WITH THIS DEVELOPMENT. IRRIGATION SLEEVES WILL BE SEPARATE. REFER TO UTILITY PLAN AND SHEET "L-21" FOR IRRIGATION SLEEVE LOCATIONS.



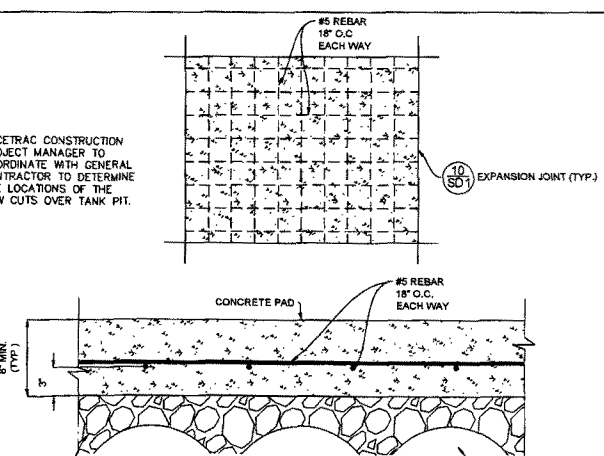
**TYP. SAW CUT DETAIL** N.T.S.

1. CONCRETE TO BE 8" THICK MIN. OVER TANKS AND AT DUMPSTER ENCLOSURE.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.  
 4. REFER TO "GRADING PLAN" FOR EXACT LOCATIONS.



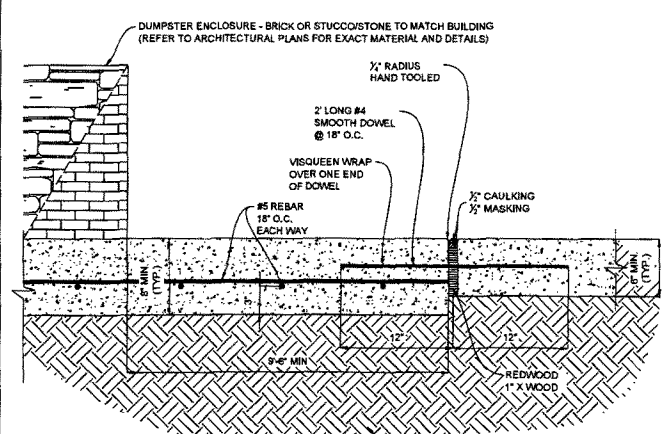
**TYP. EXPANSION JOINT, CONCRETE & REBAR LAYOUT DETAIL** N.T.S.

1. CONCRETE TO BE 8" THICK MIN. OVER TANKS AND AT DUMPSTER ENCLOSURE.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.  
 4. REFER TO "GRADING PLAN" FOR EXACT LOCATIONS.



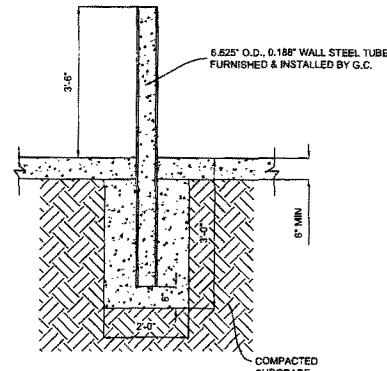
**TYP. CONCRETE & REBAR LAYOUT DETAIL @ TANK PAD** N.T.S.

1. CONCRETE TO BE 8" THICK MIN. OVER TANKS AND AT DUMPSTER ENCLOSURE.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.  
 4. REFER TO "GRADING PLAN" FOR EXACT LOCATIONS.

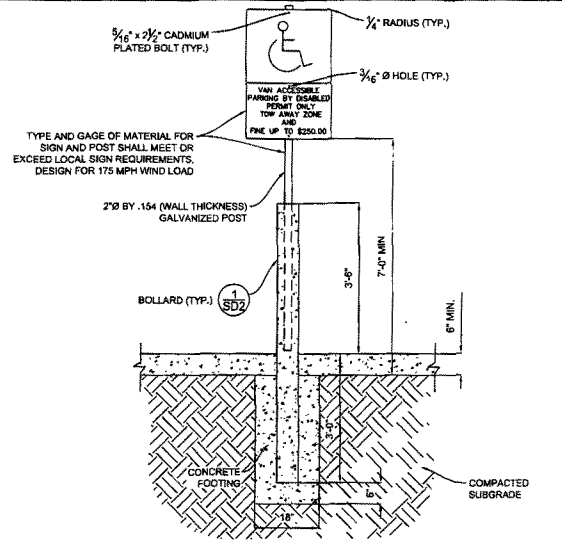


**TYP. CONCRETE IN FRONT OF DUMPSTER ENCLOSURE** N.T.S.

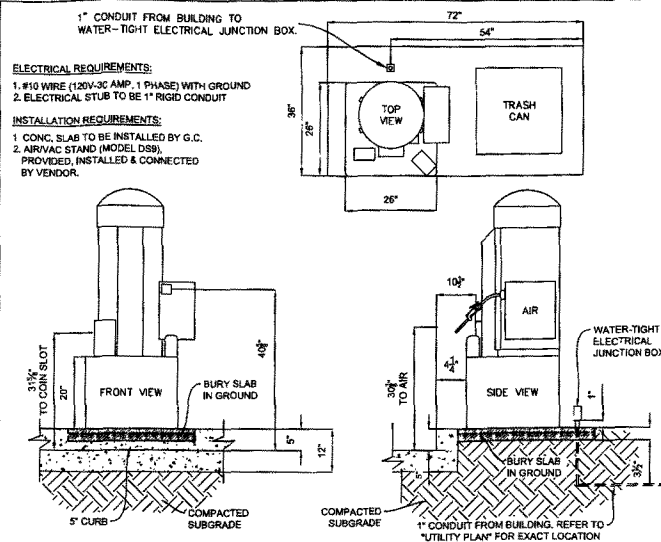
1. CONCRETE TO BE 8" THICK MIN. OVER TANKS AND AT DUMPSTER ENCLOSURE.  
 2. REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.  
 3. REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.  
 4. REFER TO "GRADING PLAN" FOR EXACT LOCATIONS.



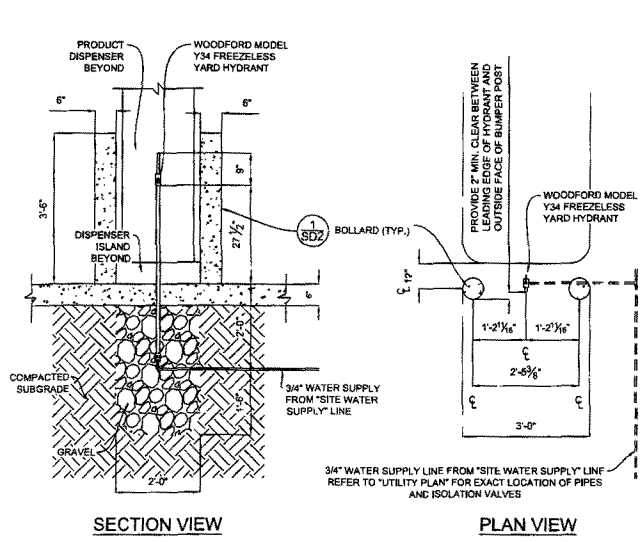
- 1 TYP. BOLLARD DETAIL** N.T.S.
- SD2
- 6" SCHEDULE 40 SMOOTH SEAMLESS PIPE FURNISHED AND INSTALLED GENERAL CONTRACTOR.
  - BUMPER POSTS TO BE PLUMB AND ALIGNED IN A STRAIGHT LINE AND FILLED WITH CONCRETE.
  - TOPS TO BE GROUND SMOOTH W/ SQUARE EDGE, THE PRIMED WITH "END RUST" BY DURO AND PAINTED WITH INDUSTRIAL OIL BASED ENAMEL, COLOR TO MATCH DECORATIVE LIGHT POLES.
  - REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.
  - REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.



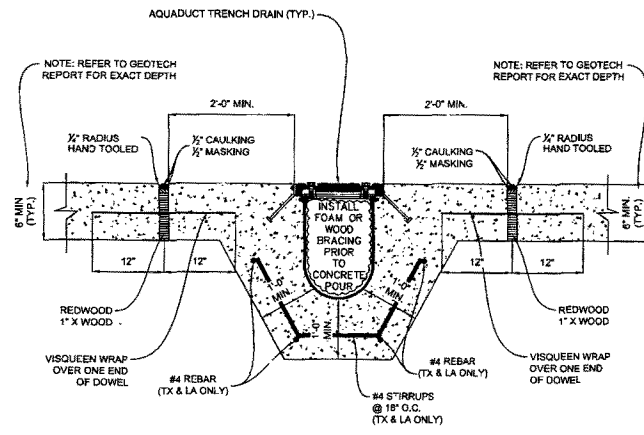
- 2 TYP. HANDICAP SIGNAGE DETAIL** N.T.S.
- SD2
- REFER TO LOCAL JURISDICTION REQUIREMENTS FOR SPECIFIC DETAILS.
  - CONTRACTOR SHALL VERIFY ALL THE REQUIRED INFORMATION NECESSARY AT EACH SIGN WITH LOCAL AUTHORITIES PRIOR TO PURCHASING.
  - REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.
  - REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.



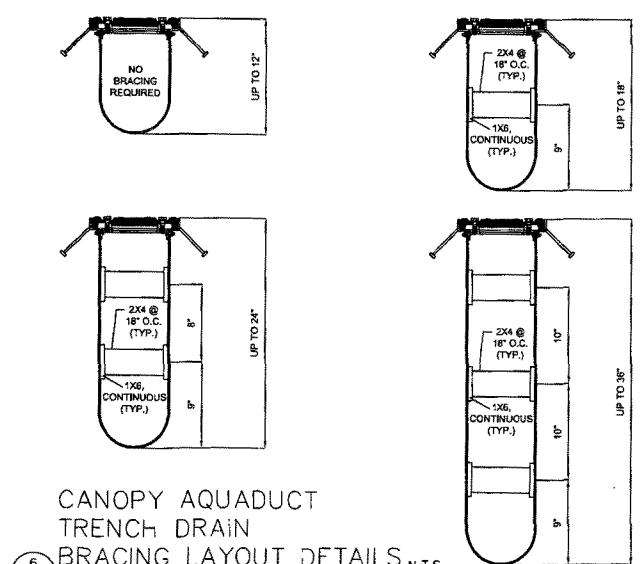
- 3 AIR/VAC SERVICE DETAIL** N.T.S.
- SD2
- SECURE VAULT TO PAD W/ TWO (2) 29-00450 ANGLE BRACKETS AND FOUR (4) 3/4\"/>



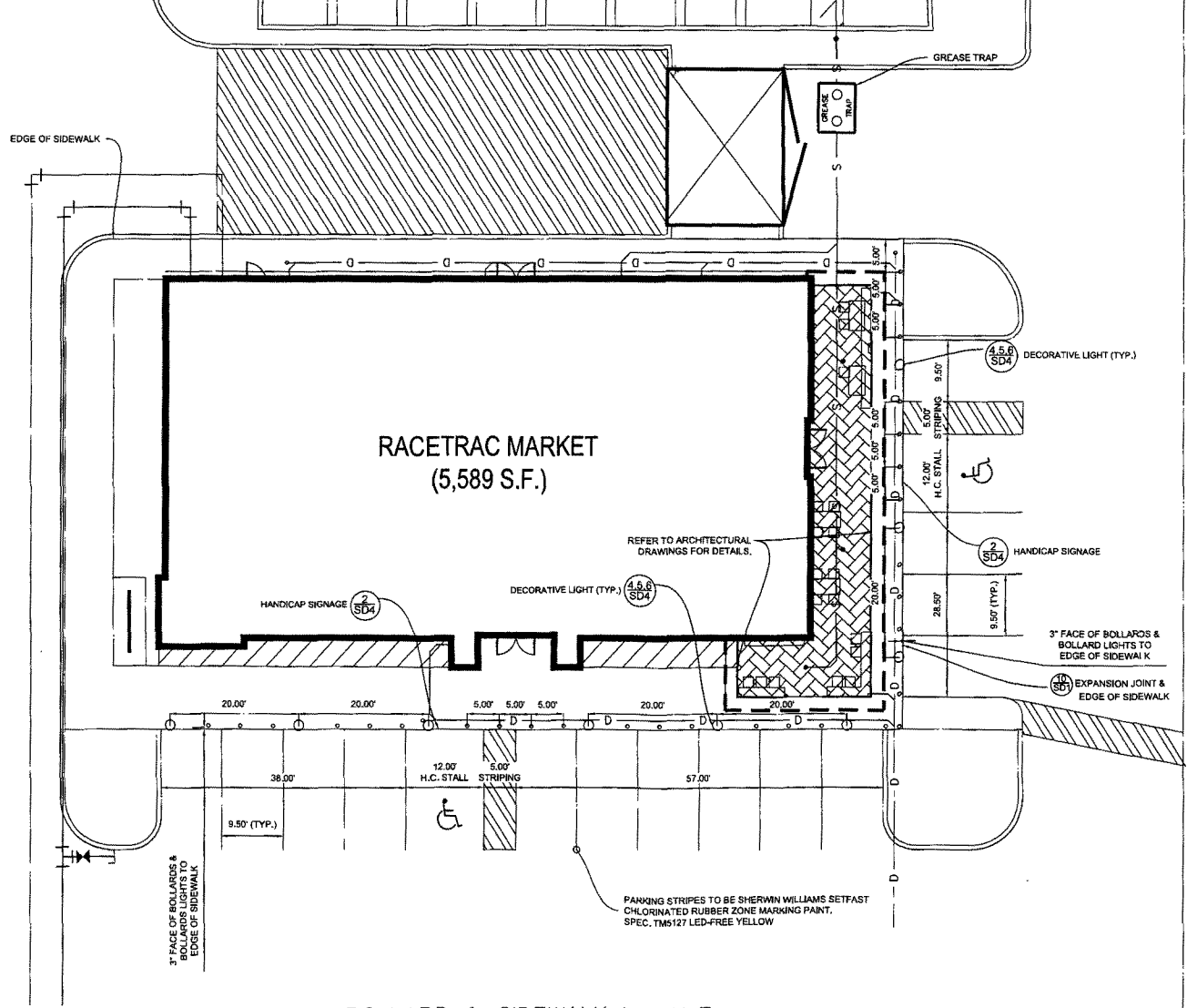
- 4 YARD HYDRANT DETAIL** N.T.S.
- SD2
- SEE "SITE PLAN" FOR EXACT LOCATIONS.
  - REFER TO PAVING PLAN FOR EXACT CONCRETE THICKNESS.
  - REFER TO PAVING PLAN FOR CONCRETE COMPRESSIVE STRENGTH & SUBGRADE COMPACTION REQUIREMENTS.



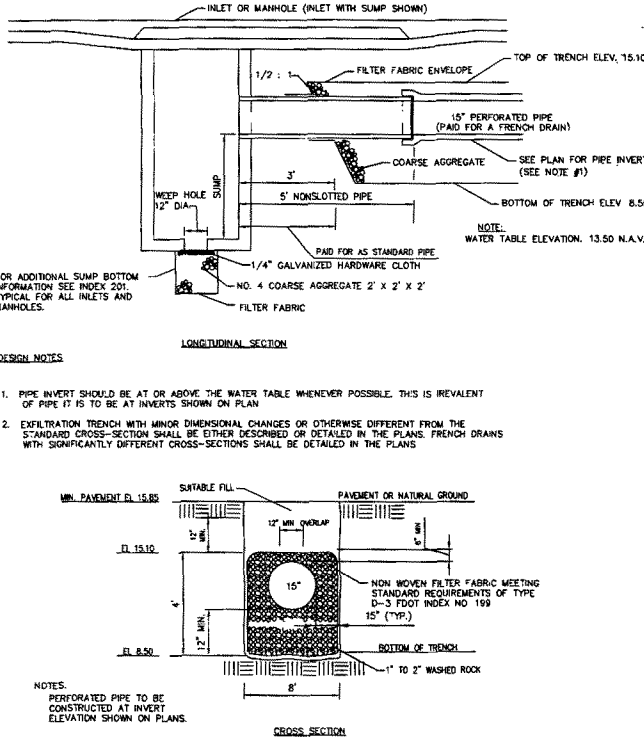
- 5 TYP. CONCRETE DETAIL @ CANOPY AQUADUCT TRENCH DRAIN** N.T.S.
- SD2
- G.C. MUST READ INSTALLATION INSTRUCTIONS PRIOR TO INSTALLATION OF AQUADUCT TRENCH DRAIN.
  - REFER TO DETAIL 6-SD2 FOR BRACING RECOMMENDATIONS.
  - EACH TRENCH DRAIN IS INDIVIDUALLY DESIGNED AND SIZED BY AQUADUCT, INC. (REFER TO DESIGN SPECS FOR EXACT SIZING).
  - SOME PROJECTS MAY HAVE MULTIPLE TRENCH DRAINS ON SITE (REFER TO "GRADING PLAN" FOR EXACT LOCATIONS).



- 6 CANOPY AQUADUCT TRENCH DRAIN BRACING LAYOUT DETAILS** N.T.S.
- SD2
- OVER 36\"/>



- 8 BOLLARD & SIDEWALK LAYOUT DETAIL FOR RT-6000 BUILDING** N.T.S.
- SD2
- HANDICAP STRIPING SHALL COMPLY WITH LOCAL AUTHORITIES AND/OR STATE AND NATIONAL A.D.A CODES AND REGULATIONS.
  - ALL BOLLARDS AND LIGHT POSTS ARE TO BE ON THE BUILDING SIDE OF THE EXPANSION JOINT BETWEEN THE BUILDING AND FRONT PARKING.
  - FACE OF BOLLARDS AND LIGHT POSTS ALIGN 3\"/>



- 9 TYPICAL EXFILTRATION TRENCH DETAIL** N.T.S.
- SD2
- DESIGN NOTES
- PIPE INVERT SHOULD BE AT OR ABOVE THE WATER TABLE WHENEVER POSSIBLE. THIS IS IRRELEVANT OF PIPE IT IS TO BE AT INVERTS SHOWN ON PLAN.
  - EXFILTRATION TRENCH WITH MINOR DIMENSIONAL CHANGES OR OTHERWISE DIFFERENT FROM THE STANDARD CROSS-SECTION SHALL BE EITHER DESCRIBED OR DETAILED IN THE PLANS. FRENCH DRAINS WITH SIGNIFICANTLY DIFFERENT CROSS-SECTIONS SHALL BE DETAILED IN THE PLANS.
- GENERAL NOTES
- FILTER FABRIC SHALL BE SUBSURFACE DRAINAGE TYPE MEETING THE REQUIREMENTS OF SECTION 985. ALL FILTER FABRIC JOINTS SHALL LAP A MINIMUM OF ONE (1) FOOT.
  - THE 12\"/>

**WGI**  
Wantman Group, Inc.  
LAND DESIGN SERVICES DIVISION  
MANUFACTURING/CONSTRUCTION/PAVING/UTILITY/CONCRETE SERVICES  
400 COLLETT DRIVE, SUITE 100  
GREENACRES, FLORIDA 32435  
TEL: 904.241.1800  
WWW.WANTMAN.COM

DATE

RECEIVED BY  
CITY OF GREENACRES

JAN 5 2017

PLANNING & ENGINEERING

NO.

VS/7

THESE PLANS ARE THE PROPERTY OF WGI. ANY REUSE OR REPRODUCTION WITHOUT THE WRITTEN PERMISSION OF WGI IS PROHIBITED.

**Racetrac**  
RACETRAC PETROLEUM, INC.  
RACETRAC BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

RACETRAC STANDARD DETAILS  
**RACETRAC MARKET**  
Lake Worth Rd @ Sherwood Forest Blvd  
Greenacres, Florida  
Palm Beach County

DRAWN BY: 12/11/2013  
DATE: N.T.S.  
SCALE: TR  
DRAWING NAME: RT Standard Details.dwg  
SD2 1  
SHEET NO. VERSION

DATE	
------	--

RECEIVED by  
 CITY OF GREENACRES

JAN 5 2017

PLANNING & ENGINEERING

NO	
----	--

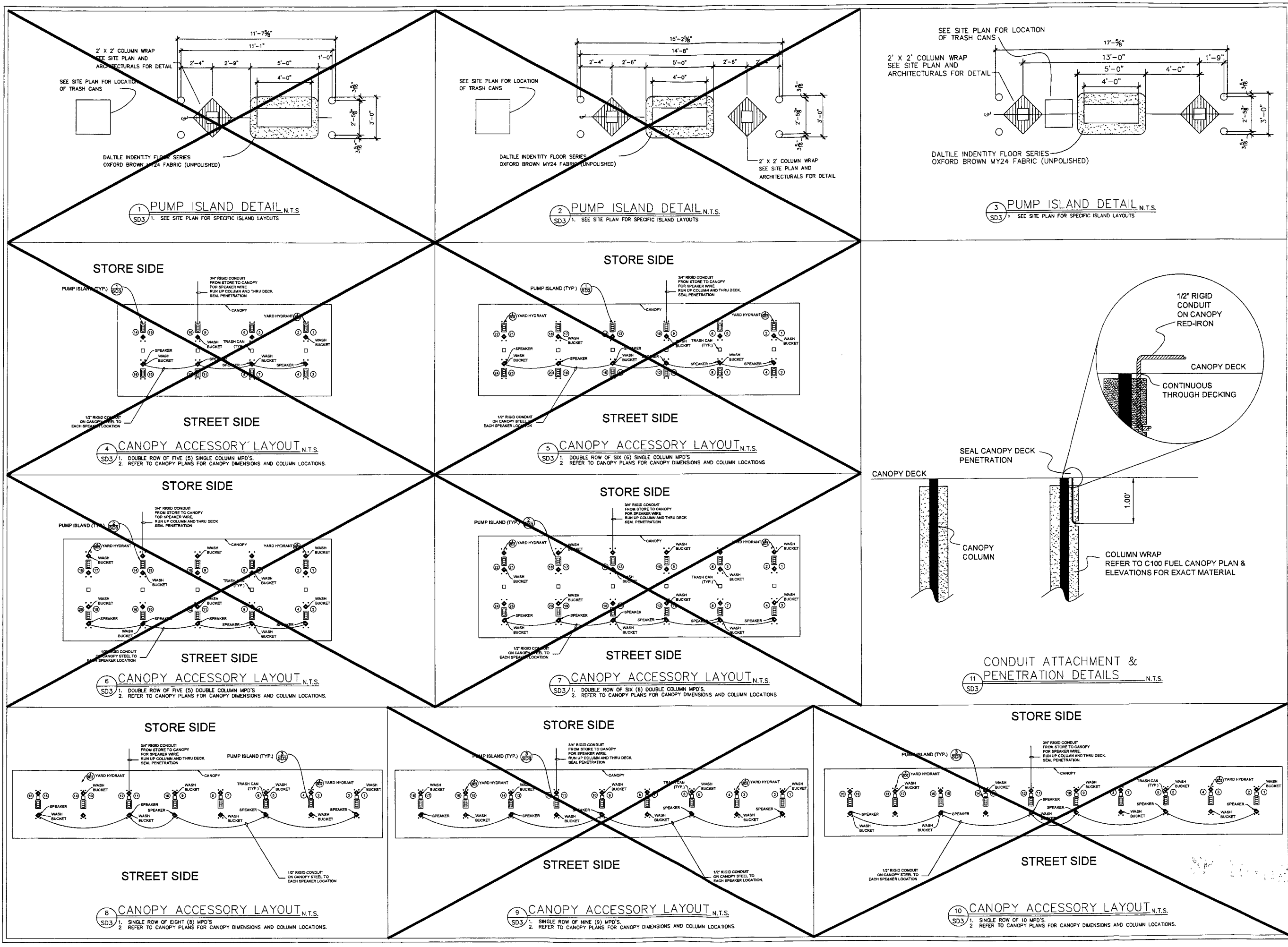
*AS*  
 1/5/17

THESE PLANS ARE REAL  
 COPYRIGHT LAWS ANY  
 USE OF SAME WITHOUT  
 THE EXPRESSED WRITTEN  
 PERMISSION OF  
 RACETRAC PETROLEUM,  
 INC. IS PROHIBITED.

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD SUITE 100  
 ATLANTA, GA 30339  
 (770) 431-7600

RACETRAC STANDARD DETAILS  
**RACETRAC MARKET**  
 Lake Worth Rd @ Sherwood Forest Blvd  
 Greenacres, Florida  
 Palm Beach County

DRAWN BY	02/18/2013
DATE	N T S
SCALE	TR
DRAWING NAME	RT Standard Details.dwg
<b>SD3</b>	<b>1</b>
SHEET NO	VERSION



**1 PUMP ISLAND DETAIL** N.T.S.  
 SD3 1. SEE SITE PLAN FOR SPECIFIC ISLAND LAYOUTS

**2 PUMP ISLAND DETAIL** N.T.S.  
 SD3 1. SEE SITE PLAN FOR SPECIFIC ISLAND LAYOUTS

**3 PUMP ISLAND DETAIL** N.T.S.  
 SD3 1. SEE SITE PLAN FOR SPECIFIC ISLAND LAYOUTS

STORE SIDE

STORE SIDE

STREET SIDE

STREET SIDE

**4 CANOPY ACCESSORY LAYOUT** N.T.S.  
 SD3 1. DOUBLE ROW OF FIVE (5) SINGLE COLUMN MPD'S.  
 2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.

**5 CANOPY ACCESSORY LAYOUT** N.T.S.  
 SD3 1. DOUBLE ROW OF SIX (6) SINGLE COLUMN MPD'S.  
 2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.

STORE SIDE

STORE SIDE

STREET SIDE

STREET SIDE

**6 CANOPY ACCESSORY LAYOUT** N.T.S.  
 SD3 1. DOUBLE ROW OF FIVE (5) DOUBLE COLUMN MPD'S.  
 2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.

**7 CANOPY ACCESSORY LAYOUT** N.T.S.  
 SD3 1. DOUBLE ROW OF SIX (6) DOUBLE COLUMN MPD'S.  
 2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.

STORE SIDE

STORE SIDE

STREET SIDE

STREET SIDE

**8 CANOPY ACCESSORY LAYOUT** N.T.S.  
 SD3 1. SINGLE ROW OF EIGHT (8) MPD'S.  
 2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.

**9 CANOPY ACCESSORY LAYOUT** N.T.S.  
 SD3 1. SINGLE ROW OF NINE (9) MPD'S.  
 2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.

STORE SIDE

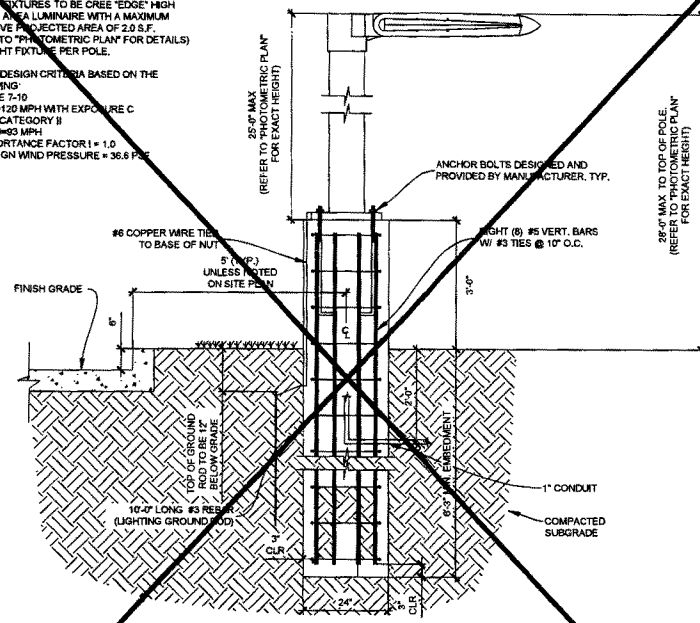
STREET SIDE

**10 CANOPY ACCESSORY LAYOUT** N.T.S.  
 SD3 1. SINGLE ROW OF TEN (10) MPD'S.  
 2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.

**11 CONDUIT ATTACHMENT & PENETRATION DETAILS** N.T.S.  
 SD3



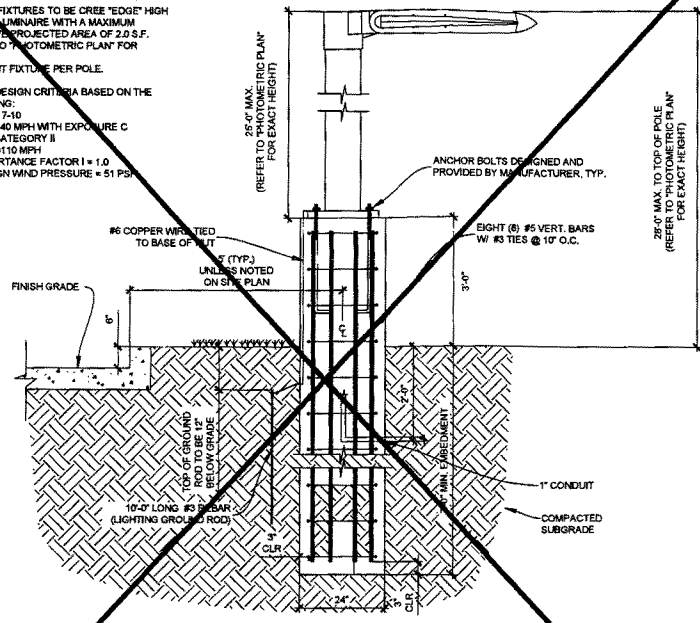
- NOTES:
- 1) LIGHT POLES TO BE CREE, PROVIDED BY RACETRAC AND TO BE INSTALLED BY GENERAL CONTRACTOR. SEE SITE PLAN FOR POLE LOCATIONS.
  - 2) LIGHT FIXTURES TO BE CREE "EDGE" HIGH OUTPUT AREA LUMINAIRE WITH A MAXIMUM EFFECTIVE PROJECTED AREA OF 2.0 S.F. (REFER TO "PHOTOMETRIC PLAN" FOR DETAILS) ONE LIGHT FIXTURE PER POLE.
  - 3) WIND DESIGN CRITERIA BASED ON THE FOLLOWING:
    - A) ASCE 7-10
    - B)  $V_{100}$ =120 MPH WITH EXPOSURE C RISK CATEGORY II
    - C)  $V_{50}$ =93 MPH
    - D) IMPORTANCE FACTOR  $I = 1.0$
    - E) DESIGN WIND PRESSURE = 36.6 PSF



TYP. SITE LIGHTING SECTION  
120 MPH WIND (Vult)

- SD4 N.T.S.
- NOTES: 1. LIGHT POLES SHALL MEET 93 MPH WIND ( $V_{50}$ ), 120 MPH ( $V_{100}$ ).  
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH ( $F'_c$ ) OF 3,500 PSI FOR ALL LIGHT POLE FOOTINGS.  
3. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.  
4. CONCRETE ABOVE FINISH GRADE TO BE SMOOTH WITH RUBBED FINISH.  
5. CONCRETE LIGHT POLE BASES TO BE PAINTED TO MATCH BOLLARD.

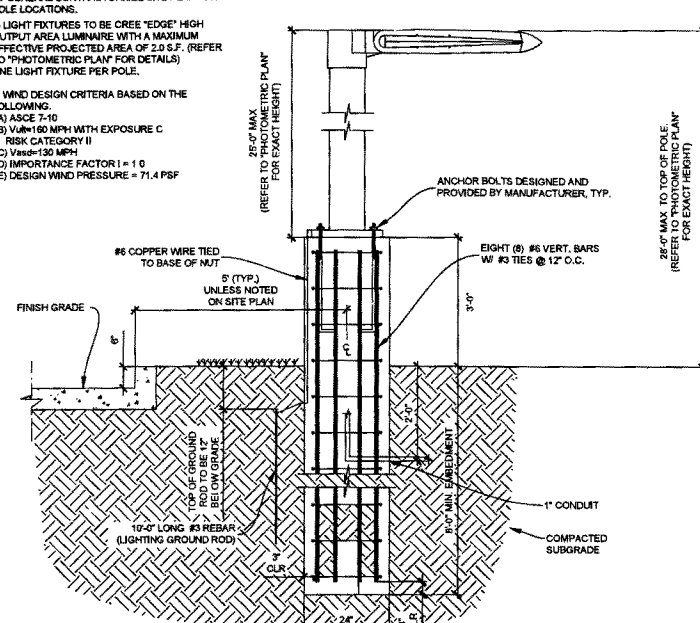
- NOTES:
- 1) LIGHT POLES TO BE CREE, PROVIDED BY RACETRAC AND TO BE INSTALLED BY GENERAL CONTRACTOR. SEE SITE PLAN FOR POLE LOCATIONS.
  - 2) LIGHT FIXTURES TO BE CREE "EDGE" HIGH OUTPUT AREA LUMINAIRE WITH A MAXIMUM EFFECTIVE PROJECTED AREA OF 2.0 S.F. (REFER TO "PHOTOMETRIC PLAN" FOR DETAILS) ONE LIGHT FIXTURE PER POLE.
  - 3) WIND DESIGN CRITERIA BASED ON THE FOLLOWING:
    - A) ASCE 7-10
    - B)  $V_{100}$ =140 MPH WITH EXPOSURE C RISK CATEGORY II
    - C)  $V_{50}$ =110 MPH
    - D) IMPORTANCE FACTOR  $I = 1.0$
    - E) DESIGN WIND PRESSURE = 51 PSF



TYP. SITE LIGHTING SECTION  
140 MPH WIND (Vult)

- SD4 N.T.S.
- NOTES: 1. LIGHT POLES SHALL MEET 110 MPH WIND ( $V_{50}$ ), 140 MPH ( $V_{100}$ ).  
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH ( $F'_c$ ) OF 3,500 PSI FOR ALL LIGHT POLE FOOTINGS.  
3. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.  
4. CONCRETE ABOVE FINISH GRADE TO BE SMOOTH WITH RUBBED FINISH.  
5. CONCRETE LIGHT POLE BASES TO BE PAINTED TO MATCH BOLLARD.

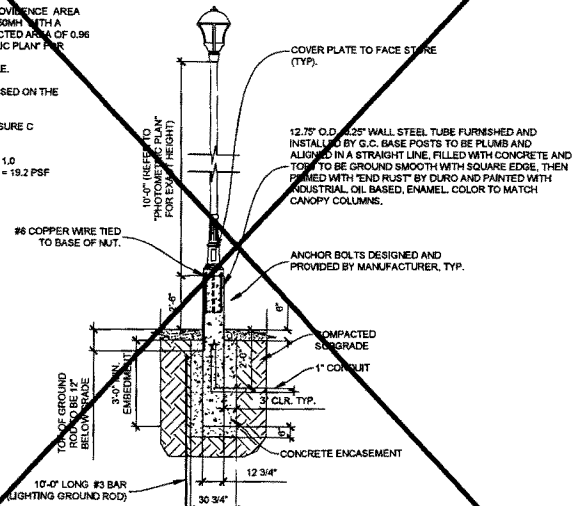
- NOTES:
- 1) LIGHT POLES TO BE SPALDING LIGHTING, PROVIDED BY RACETRAC AND TO BE INSTALLED BY GENERAL CONTRACTOR. SEE SITE PLAN FOR POLE LOCATIONS.
  - 2) LIGHT FIXTURES TO BE CREE "EDGE" HIGH OUTPUT AREA LUMINAIRE WITH A MAXIMUM EFFECTIVE PROJECTED AREA OF 2.0 S.F. (REFER TO "PHOTOMETRIC PLAN" FOR DETAILS) ONE LIGHT FIXTURE PER POLE.
  - 3) WIND DESIGN CRITERIA BASED ON THE FOLLOWING:
    - A) ASCE 7-10
    - B)  $V_{100}$ =160 MPH WITH EXPOSURE C RISK CATEGORY II
    - C)  $V_{50}$ =130 MPH
    - D) IMPORTANCE FACTOR  $I = 1.0$
    - E) DESIGN WIND PRESSURE = 71.4 PSF



TYP. SITE LIGHTING SECTION  
160 MPH WIND (Vult)

- SD4 N.T.S.
- NOTES: 1. LIGHT POLES SHALL MEET 130 MPH WIND ( $V_{50}$ ), 160 MPH ( $V_{100}$ ).  
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH ( $F'_c$ ) OF 3,500 PSI FOR ALL LIGHT POLE FOOTINGS.  
3. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.  
4. CONCRETE ABOVE FINISH GRADE TO BE SMOOTH WITH RUBBED FINISH.  
5. CONCRETE LIGHT POLE BASES TO BE PAINTED TO MATCH BOLLARD.

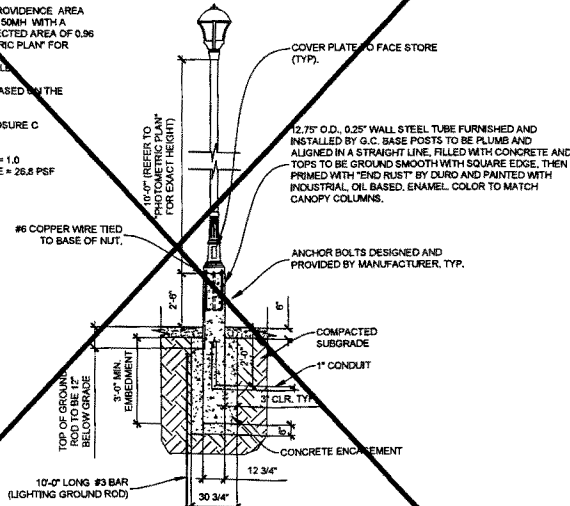
- NOTES:
- 1) LIGHT POLES TO BE PROVIDENCE, PROVIDED BY RACETRAC AND TO BE INSTALLED BY GENERAL CONTRACTOR. SEE SITE PLAN FOR POLE LOCATIONS.
  - 2) LIGHT FIXTURES TO BE PROVIDENCE AREA LIGHTING MODEL PROV-HS-150MH WITH A MAXIMUM EFFECTIVE PROJECTED AREA OF 0.96 S.F. (REFER TO "PHOTOMETRIC PLAN" FOR DETAILS) ONE LIGHT FIXTURE PER POLE.
  - 3) WIND DESIGN CRITERIA BASED ON THE FOLLOWING:
    - A) ASCE 7-10
    - B)  $V_{100}$ =120 MPH WITH EXPOSURE C RISK CATEGORY II
    - C)  $V_{50}$ =93 MPH
    - D) IMPORTANCE FACTOR  $I = 1.0$
    - E) DESIGN WIND PRESSURE = 19.2 PSF



TYP. DECORATIVE LIGHTING SECTION  
120 MPH WIND (Vult)

- SD4 N.T.S.
- NOTES: 1. LIGHT POLES SHALL MEET 93 MPH WIND ( $V_{50}$ ), 120 MPH ( $V_{100}$ ).  
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH ( $F'_c$ ) OF 3,500 PSI FOR ALL LIGHT POLE FOOTINGS.  
3. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.

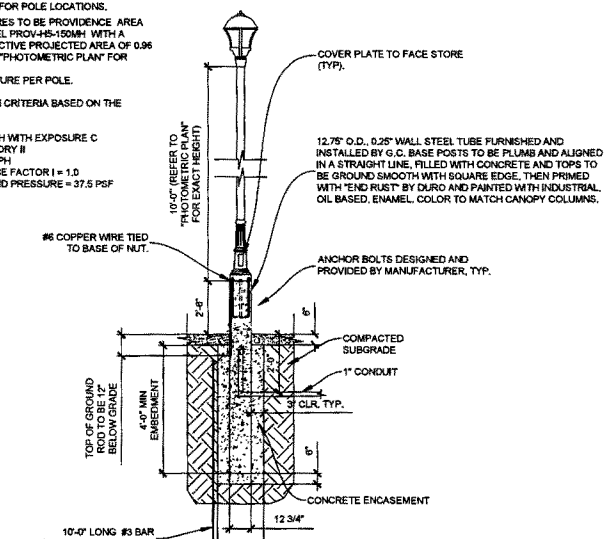
- NOTES:
- 1) LIGHT POLES TO BE PROVIDENCE, PROVIDED BY RACETRAC AND TO BE INSTALLED BY GENERAL CONTRACTOR. SEE SITE PLAN FOR POLE LOCATIONS.
  - 2) LIGHT FIXTURES TO BE PROVIDENCE AREA LIGHTING MODEL PROV-HS-150MH WITH A MAXIMUM EFFECTIVE PROJECTED AREA OF 0.96 S.F. (REFER TO "PHOTOMETRIC PLAN" FOR DETAILS) ONE LIGHT FIXTURE PER POLE.
  - 3) WIND DESIGN CRITERIA BASED ON THE FOLLOWING:
    - A) ASCE 7-10
    - B)  $V_{100}$ =140 MPH WITH EXPOSURE C RISK CATEGORY II
    - C)  $V_{50}$ =110 MPH
    - D) IMPORTANCE FACTOR  $I = 1.0$
    - E) DESIGN WIND PRESSURE = 26.2 PSF



TYP. DECORATIVE LIGHTING SECTION  
140 MPH WIND (Vult)

- SD4 N.T.S.
- NOTES: 1. LIGHT POLES SHALL MEET 110 MPH WIND ( $V_{50}$ ), 140 MPH ( $V_{100}$ ).  
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH ( $F'_c$ ) OF 3,500 PSI FOR ALL LIGHT POLE FOOTINGS.  
3. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.

- NOTES:
- 1) LIGHT POLES TO BE PROVIDENCE, PROVIDED BY RACETRAC AND TO BE INSTALLED BY GENERAL CONTRACTOR. SEE SITE PLAN FOR POLE LOCATIONS.
  - 2) LIGHT FIXTURES TO BE PROVIDENCE AREA LIGHTING MODEL PROV-HS-150MH WITH A MAXIMUM EFFECTIVE PROJECTED AREA OF 0.96 S.F. (REFER TO "PHOTOMETRIC PLAN" FOR DETAILS) ONE LIGHT FIXTURE PER POLE.
  - 3) WIND DESIGN CRITERIA BASED ON THE FOLLOWING:
    - A) ASCE 7-10
    - B)  $V_{100}$ =160 MPH WITH EXPOSURE C RISK CATEGORY II
    - C)  $V_{50}$ =130 MPH
    - D) IMPORTANCE FACTOR  $I = 1.0$
    - E) DESIGN WIND PRESSURE = 37.5 PSF



TYP. DECORATIVE LIGHTING SECTION  
160 MPH WIND (Vult)

- SD4 N.T.S.
- NOTES: 1. LIGHT POLES SHALL MEET 130 MPH WIND ( $V_{50}$ ), 160 MPH ( $V_{100}$ ).  
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH ( $F'_c$ ) OF 3,500 PSI FOR ALL LIGHT POLE FOOTINGS.  
3. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.

**WGI**  
Wantman Group, Inc.  
LAND DESIGN SERVICES DIVISION  
TRANSPORTATION SERVICES  
1100 WOODLARK BLVD  
SUITE 100  
GREENACRES, FL 32033  
PHONE 407.488.2111  
WWW.WGI.COM

RECEIVED BY  
CITY OF GREENACRES  
DATE  
2017  
PLANNING & ENGINEERING

1/15/17

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN RACETRAC PETROLEUM, INC. IS PROHIBITED.

**Racetrac**  
RACETRAC PETROLEUM, INC.  
3226 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7800

RACETRAC STANDARD DETAILS  
RACETRAC MARKET  
Lake Worth Rd @ Sherwood Forest Blvd  
Greenacres, Florida  
Palm Beach County

DRAWN BY	12/1/2013
DATE	N.T.S.
SCALE	1"
DRAWING NAME	RT Standard Details.dwg
SHEET NO.	SD4 1
VERSION	

SP-10-17

PROJECT NO  
XX-XXX



PALM BEACH COUNTY  
UTILITIES DEPARTMENT  
WATER  
P.O. BOX 10097  
WEST PALM BEACH, FL 33416  
(561)463-6000

DATE: 10/12/2015  
DRAWN BY: ARON HINTER  
CHECKED BY: [Signature]

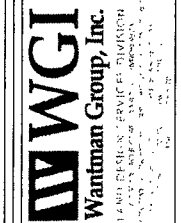
STANDARD  
SHEET NUMBER  
0  
0  
0  
SEAL

POTABLE WATER  
6" METER INSTALLATION  
10W

POTABLE WATER #1  
STANDARD DETAILS

CONSULTANT:  
IT'S THE LAW!  
CALL 48 HOURS BEFORE YOU DIG  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.  
UTILITIES NOTIFICATION CENTER  
WEST PALM BEACH, FL 33416-6097

DATE: 9/22/2016  
SCALE: NONE  
DRAWING NAME: 1507\_06\_WSD.dwg  
SHEET NO.: D1.1  
VERSION: 1



RECEIVED by  
CITY OF GREENACRES  
3/2017

PLANNING & ENGINEERING

DATE: [Blank]

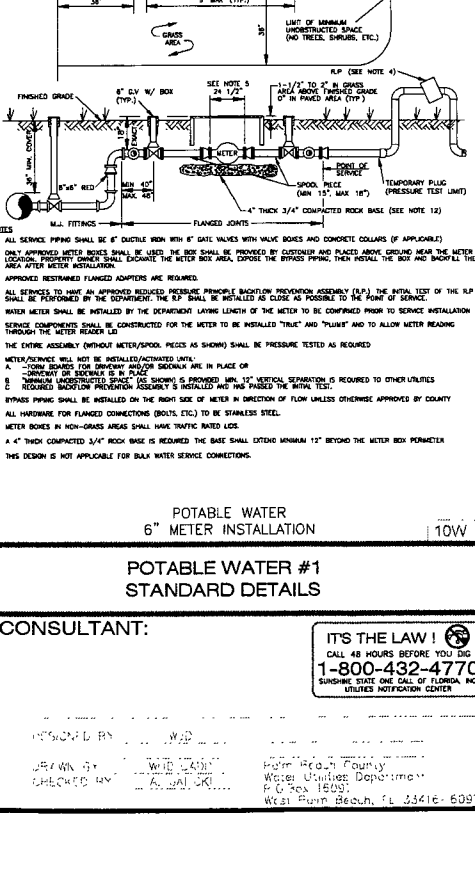
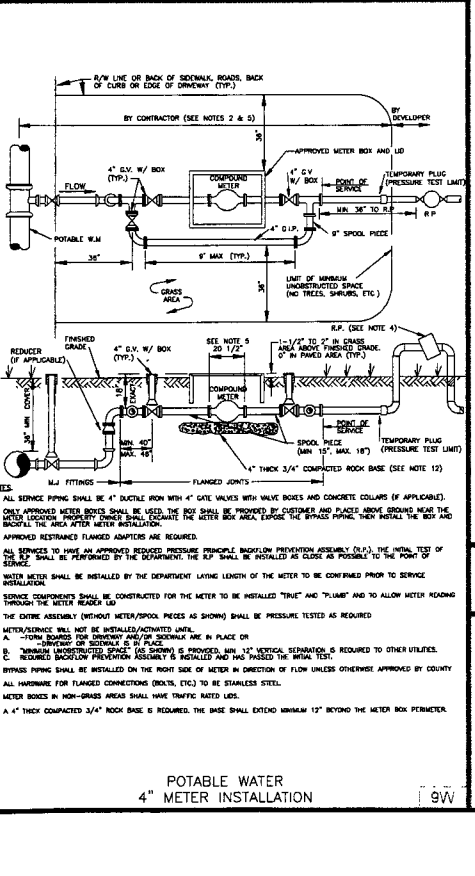
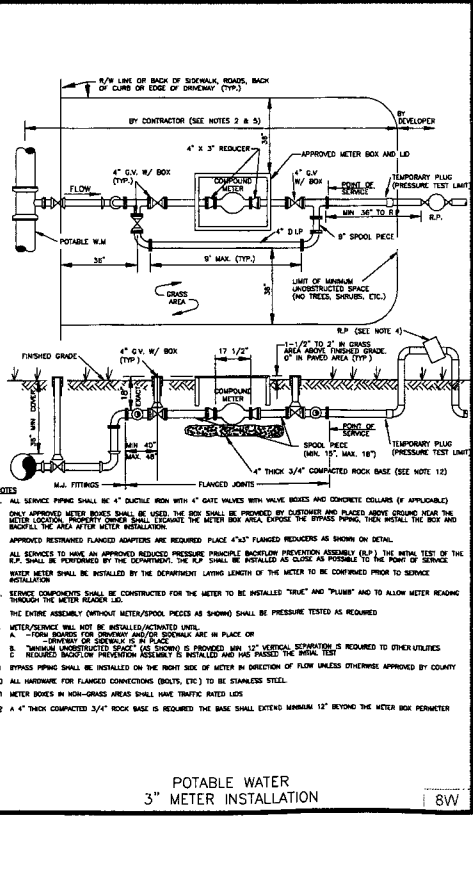
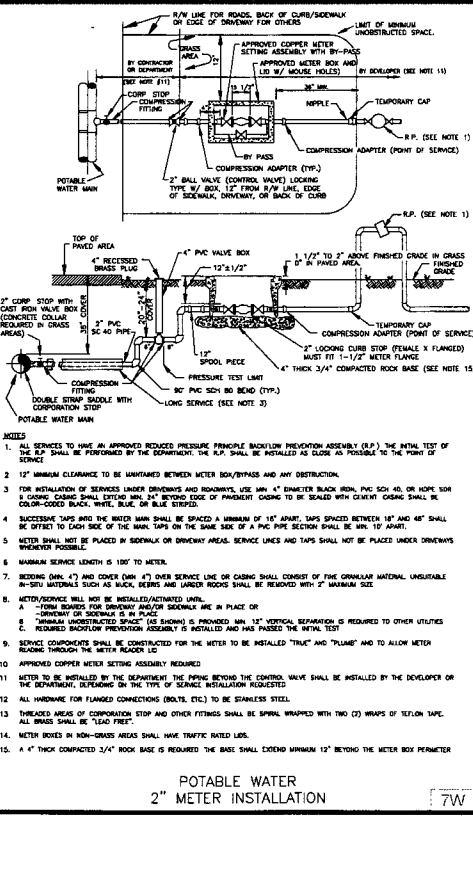
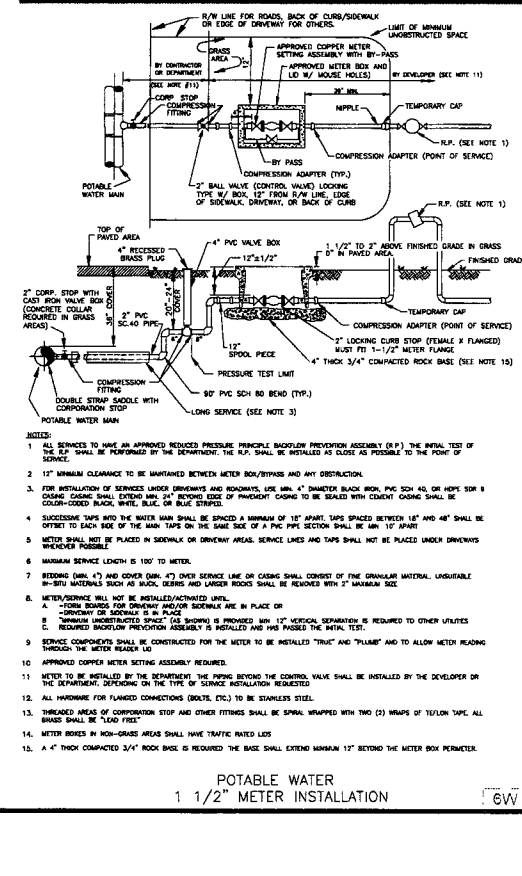
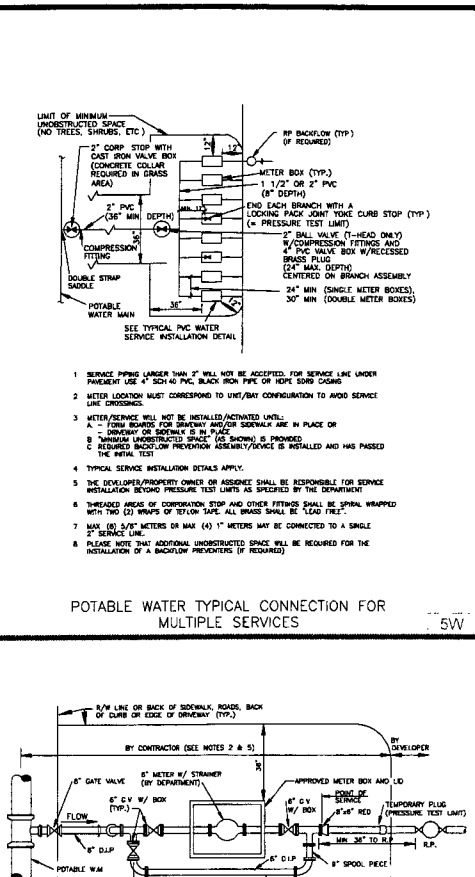
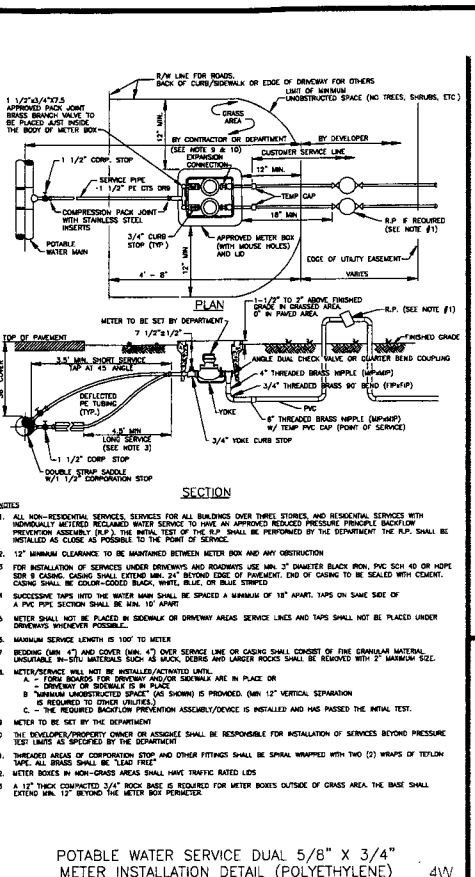
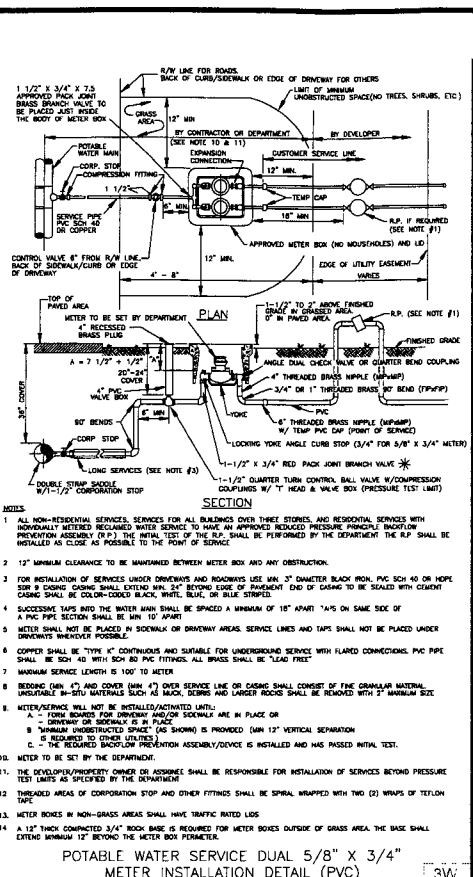
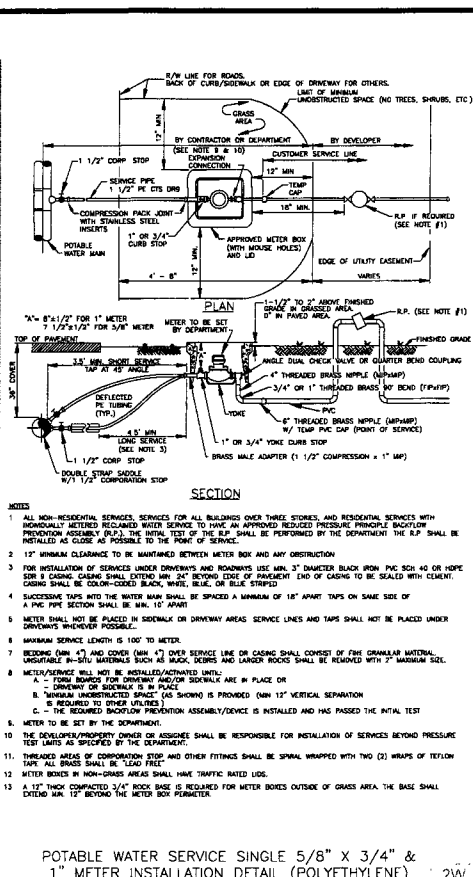
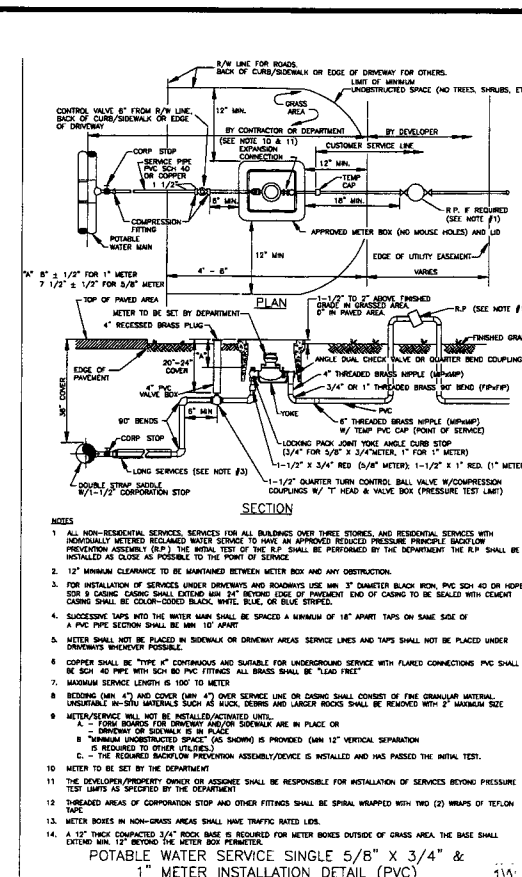
INCH: [Blank]

THESE PLANS ARE  
SUBJECT TO FEDERAL,  
STATE AND LOCAL  
USE OF SAME WITHOUT  
THE EXPRESSED WRITTEN  
PERMISSION OF  
RACETRAC PETROLEUM, INC.  
IS PROHIBITED.

**RaceTrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770)451-1760

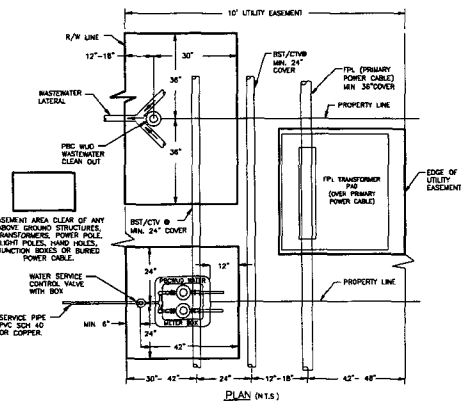
WATER DETAILS  
RACETRAC MARKET  
Lake Worth Rd @ Sherwood Forest Blvd  
Greenacres, Florida  
Palm Beach County

DRAWN BY: ARON HINTER  
DATE: 9/22/2016  
SCALE: NONE  
DRAWING NAME: 1507\_06\_WSD.dwg  
SHEET NO.: D1.1  
VERSION: 1



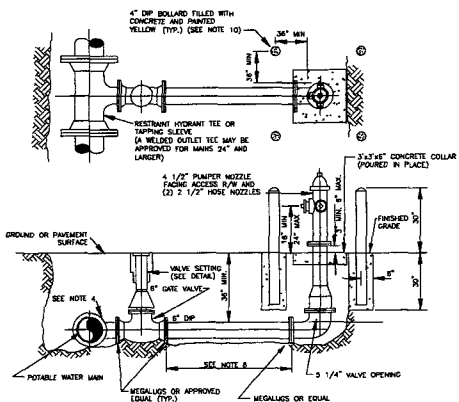
Vertical text on the left margin: 8/17/2016 11:52:36 AM





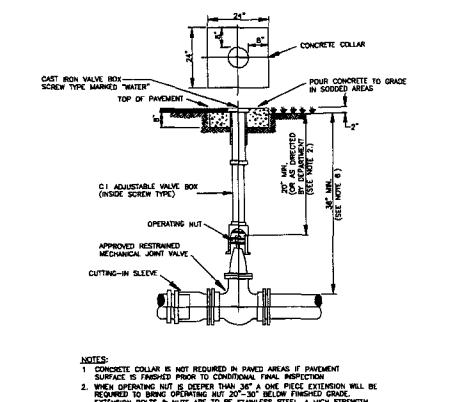
- NOTES:**
1. THE DETAIL WAS DEVELOPED IN COLLABORATION WITH UTILITY COMPANIES SUPPLYING VARIOUS UTILITY SERVICES TO P.B.C.W.U. CUSTOMERS.
  2. THE DIMENSIONS SHOWN SHALL SERVE AS A GENERAL GUIDE TO INSTALL UTILITIES WITHIN A 10' WIDE UTILITY EASEMENT PARALLEL TO A RIGHT-OF-WAY.
  3. THE PARTICIPATING UTILITIES PLEDGE TO OBSERVE, FOLLOW, AND ENFORCE THE INSTALLATION PARAMETERS SHOWN ON THIS DETAIL.

TYPICAL UTILITY INSTALLATION DETAIL IN A 10' UTILITY EASEMENT ADJACENT TO R/W 11W



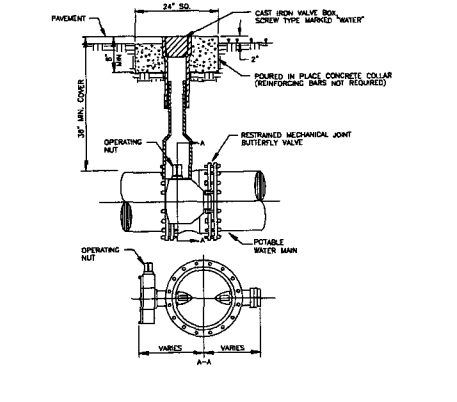
- NOTES:**
1. HYDRANT SHALL BE INSTALLED PLUMB AND TRUE IN UNRESTRICTED LOCATION AND SHALL NOT INTERFERE WITH PEDESTRIAN WALKWAYS, BIKEWAYS, ETC. (MIN. 7.5' FEET CLEARANCE ON ALL SIDES)
  2. THE SAME MODEL HYDRANT SHALL BE USED THROUGHOUT CURRENT CONTRACT PHASES.
  3. HYDRANT SHALL BE CHANGED RED IN COLOR WITH EMPLOYED ENJOY CAP APPLIED BY THE HYDRANT MANUFACTURER. HYDRANT SHALL BE CHANGED TO FACTORY EQUIPPED WITH PLUGGED DRAIN HOLES.
  4. VALVE SHALL BE PLACED ADJACENT TO MAIN AND RESTRAINED WITH METALLOS OR EQUAL.
  5. HYDRANT SHALL BE TIED OFF OF MAIN.
  6. HYDRANTS SHALL NOT BE PLACED IN SIDEWALKS, ROADWAYS, OR BIKEWAYS.
  7. FIRE HYDRANT SHALL BE LOCATED 5' MIN FROM EDGE OF PAVEMENT WITH BASED CURBING 6" OR MORE LONGER THAN 80 FEET ANOTHER VALVE IS REQUIRED LESS THAN ONE PIPE JOINT OF THE HYDRANT.
  8. PAINT SHINY RED, IF REQUIRED, WITH APPROVED PAINT.
  9. BOLLARDS MAY BE REQUIRED FOR HYDRANTS WITH LESS THAN 7 FEET TO EDGE OF PAVEMENT (WITHOUT BASED CURBING). NO BOLLARDS SHALL BE INSTALLED IN COUNTY RIGHT-OF-WAY CLEAR ZONE.
  10. BOLLARDS MAY BE REQUIRED FOR HYDRANTS WITH LESS THAN 7 FEET TO EDGE OF PAVEMENT (WITHOUT BASED CURBING). NO BOLLARDS SHALL BE INSTALLED IN COUNTY RIGHT-OF-WAY CLEAR ZONE.
  11. BURIED HYDRANT NADREUSE SHALL BE STAINLESS STEEL (TYPE 304L OR TYPE 304).
  12. NO CONNECTION (TEE, TAP) IS ALLOWED BETWEEN THE HYDRANT CONTROL VALVE AND THE FIRE HYDRANT.
  13. APPROVED SECURITY CAPS WITH CHAINS ARE REQUIRED FOR ALL NOZZLES.

TYPICAL FIRE HYDRANT INSTALLATION WITH BOLLARDS DETAIL 12W



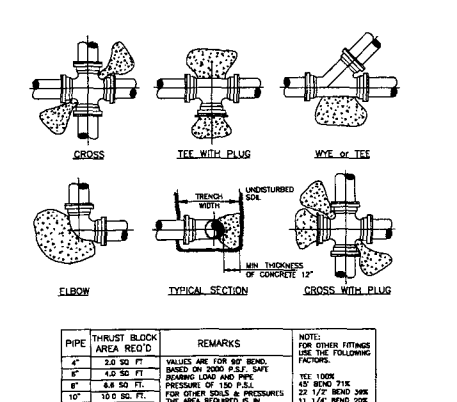
- NOTES:**
1. CONCRETE COLLAR IS NOT REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO CONSTRUCTION. FINAL PROTECTION SURFACE OPERATING NUT IS DEEPER THAN 3/4" A ONE PIECE EXTENSION WILL BE REQUIRED TO BEING OPERATING NUT 20'-30' BELOW FINISHED GRADE.
  2. VALVE BOX EXTENSION TO BE 6" P.C. OR C-800 P.C. (SEE NOTE 1).
  3. VALVE BOXES SHALL HAVE COVERS MARKED "WATER".
  4. VALVE BOX EXTENSION TO BE 6" P.C. OR C-800 P.C. (SEE NOTE 1).
  5. A CUT-IN INSTALLATION SHALL REQUIRE METALLOS OR EQUAL THROUGHOUT ASSEMBLY.
  6. IN ORDER TO MAINTAIN ADEQUATE COVER OVER VALVE NUT, THE FOLLOWING MINIMUM COVER OVER VALVE NUT SHALL BE REQUIRED:
- | VALVE SIZE | MIN. COVER OVER NUT |
|------------|---------------------|
| 18"        | 48"                 |
| 20"        | 54"                 |
| 24"        | 60"                 |
| 30"        | 72"                 |
| 36"        | 84"                 |
7. VALVES IN ROADWAYS SHALL BE LOCATED OUTSIDE OF WHEEL PATHS WHEREVER POSSIBLE.

POTABLE WATER MAIN TYPICAL GATE VALVE SETTING AND MAIN CUT-IN DETAIL 13W



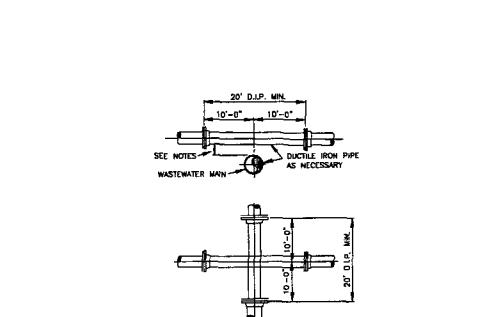
- NOTES:**
1. CONCRETE COLLAR IS NOT REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO CONSTRUCTION. FINAL PROTECTION SURFACE OPERATING NUT IS DEEPER THAN 3/4" AN EXTENSION WILL BE REQUIRED TO BEING OPERATING NUT 24'-30' BELOW FINISHED GRADE. EXTENSION BOLTS & NUTS ARE TO BE STAINLESS STEEL. A HIGH STRENGTH STEEL CENTERING PLATE, BELIEVED TO THE EXTERIOR, IS ALSO REQUIRED.
  2. VALVE BOXES SHALL HAVE COVERS MARKED "WATER".
  3. A CUT-IN INSTALLATION SHALL REQUIRE METALLOS OR EQUAL THROUGHOUT ASSEMBLY.
  4. EXTENSION VALVE BOX TO BE 6" P.C. OR C-800 P.C. (SEE NOTE 1).
  5. VALVES IN ROADWAYS SHALL BE LOCATED OUTSIDE OF WHEEL PATHS WHEREVER POSSIBLE.

POTABLE WATER MAIN TYPICAL BUTTERFLY VALVE SETTING 14W



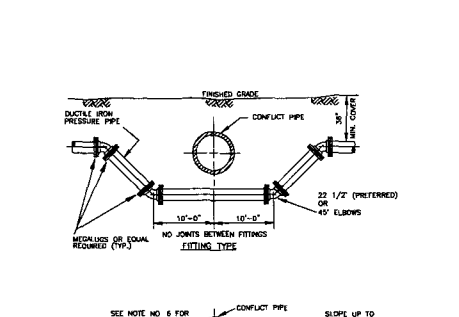
- NOTES:**
1. CONCRETE THRUST BLOCKS OR THRUST COLLARS MAY BE UTILIZED ONLY IF NECESSARY FOR CONNECTIONS TO AN EXISTING PIPING SYSTEM. OTHERWISE MECHANICAL RESTRAINTS SHALL BE USED TO KEEP 1" BOLT CLEAR OF CONCRETE, UNLESS IN PROVISION FOR FUTURE ACCESS, WITH A MINIMUM OF 1" THICKNESS BETWEEN THE FITTING AND SOIL.
  2. BEFORE POURING CONCRETE, PLUGS SHALL BE WRAPPED WITH VOLSOLAN AND A BOND PLACED IN FRONT.
  3. CONCRETE SHALL BE 2500 P.S.I. MINIMUM.
  4. THE ENGINEER OF RECORD SHALL SUBMIT A THRUST BLOCK SIZE CALCULATION FOR TEE CONNECTIONS AND UNRESTRAINED EXISTING MAINS LARGER THAN 14".
  5. THE ENGINEER OF RECORD SHALL SUBMIT A PIPE RESTRAINT DESIGN FOR BULGE EXTENSIONS OF A EXISTING UNRESTRAINED MAIN IF MECHANICAL JOINT RESTRAINT CAN NOT BE INSTALLED ON THE EXISTING MAIN.
- | PIPE THURST BLOCK AREA REQ'D | REMARKS      | NOTE:   |
|------------------------------|--------------|---|
| 4"                           | 1.50 SQ. FT. | FOR OTHER FITTINGS USE THE FOLLOWING FACTORS: |
| 6"                           | 2.25 SQ. FT. | TEE 1.00X                                     |
| 8"                           | 3.00 SQ. FT. | 45° BEND 2.0X                                 |
| 10"                          | 3.75 SQ. FT. | 90° BEND 3.0X                                 |
| 12"                          | 4.50 SQ. FT. | 1 1/2" BEND 2.0X                              |
| 14"                          | 5.25 SQ. FT. | 90° BEND 3.0X                                 |

TYPICAL THRUST BLOCKS FOR PRESSURE PIPE 20W



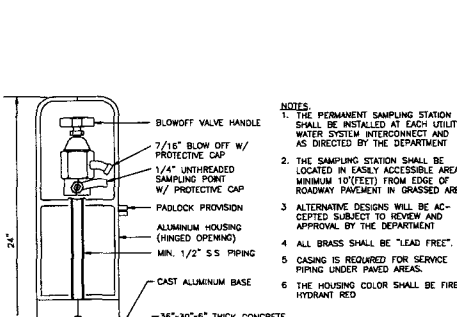
- NOTES:**
1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY JOINTS. BOTH PIPES SHALL BE 6" D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CROSSING TOP MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINTS MANAGEMENT, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE 6" D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
  2. WHEREVER POSSIBLE MAINS MIN. TEN (10) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN (A MIN. 4' SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS). MAINS MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN.
  3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN WITH THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN.
  4. WASTEWATER LATERALS SHALL CROSS UNDER POTABLE WATER MAINS WITH A MIN. 12" VERTICAL SEPARATION. WHEREVER POSSIBLE, WHERE THIS SEPARATION CANNOT BE MAINTAINED, A 20' SECTION OF DUCTILE IRON PIPE POTABLE WATER MAIN CROSSING OVER THE CROSSING IS REQUIRED AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8" WHERE THERE IS NO ALTERNATIVE TO A WASTEWATER LATERAL CROSSING UNDER POTABLE WATER MAINS, A MINIMUM 12" VERTICAL SEPARATION IS REQUIRED. THE LATERAL SHALL BE 6" P.V.C. C-800 CURB OR BETTER. THE POTABLE WATER MAIN SHALL BE 6" P.C. AND THE PIPES JOINTS SHALL BE EQUIDISTANT FROM THE POINT OF CROSSING.
  5. POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH MIN. 12" VERTICAL SEPARATION. WHERE THIS MIN. SEPARATION CAN NOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 10" LONG CHASE CENTERED OVER THE CROSSING WITH MIN. 5" VERTICAL SEPARATION.
  6. WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHEREVER POSSIBLE.

POTABLE WATER, WASTEWATER MAIN AND STORM SEWER CONFLICT 18W



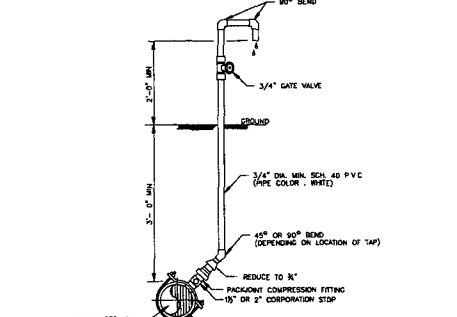
- NOTES:**
1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY JOINTS. BOTH PIPES SHALL BE 6" D.I.P. AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CROSSING TOP MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINTS MANAGEMENT, AS STATED ABOVE, SHALL BE MAINTAINED, AND BOTH PIPES SHALL BE 6" D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.
  2. WHEREVER POSSIBLE MAINS MIN. TEN (10) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN (A MIN. 4' SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS). MAINS MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN.
  3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LEAD TO PROVIDE A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN WITH THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN.
  4. FITTINGS SHALL BE RESTRAINED.
  5. THE DETECTION TYPE CROSSING IS PREFERRED.
  6. DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT REFLECTION FOR DUCTILE IRON PIPE. P.V.C. CURVATURE MAY ONLY BE ACCOMMODATED BY INSTALLING APPROPRIATE BONDS.
  7. ALL EXPOSED STEEL SHALL BE COATED WITH ZINC-RICH EPOXY.
  8. POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH MIN. 12" VERTICAL SEPARATION. WHERE THIS MIN. SEPARATION CAN NOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 10" LONG CHASE CENTERED OVER THE CROSSING WITH MIN. 5" VERTICAL SEPARATION.
  9. WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHEREVER POSSIBLE.

POTABLE WATER MAIN / FORCE MAIN PRESSURE PIPE CONFLICT DETAIL 19W



- NOTES:**
1. THE PERMANENT SAMPLING STATION SHALL BE INSTALLED AT EACH UTILITY WATER SYSTEM INTERCONNECT AND AS DIRECTED BY THE DEPARTMENT.
  2. THE SAMPLING STATION SHALL BE LOCATED IN EASILY ACCESSIBLE AREA, MINIMUM 10' (FEET) FROM EDGE OF ROADWAY PAVEMENT IN GRASSY AREA.
  3. ALTERNATE DESIGNS WILL BE ACCEPTED SUBJECT TO REVIEW AND APPROVAL BY THE DEPARTMENT.
  4. ALL BRASS SHALL BE "LEAD FREE".
  5. CASING IS REQUIRED FOR SERVICE PIPING UNDER PAVED AREAS.
  6. THE HOUSING COLOR SHALL BE FIRE HYDRANT RED.

PERMANENT SAMPLING POINT 15W



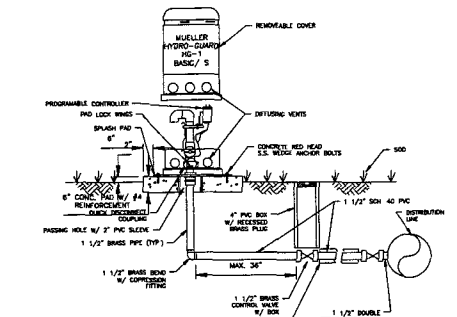
- NOTES:**
1. SAMPLE POINT SHOULD BE A SERVICE LINE OR TRAP, IF POSSIBLE.
  2. UNPAVED AREAS OF CORROSION STOP SHALL BE SPRAY WRAPPED WITH TWO STRIPS OF TOLUOL TAPE.
  3. SLOPE AND CHS CORROSION STOP AFTER SAMPLING COMPLETION.
  4. ALL BRASS SHALL BE "LEAD FREE".
  5. CASING IS REQUIRED FOR SERVICE PIPING UNDER PAVED AREAS.
  6. THE HOUSING COLOR SHALL BE FIRE HYDRANT RED.

POTABLE WATER MAIN TEMPORARY SAMPLING POINT 16W



- NOTES:**
1. USE HYDRANT WRENCH ONLY.
  2. ALL PIPES AND FITTINGS SHALL 40 P.V.C. PIPE COLOR - WHITE.

POTABLE WATER MAIN FIRE HYDRANT SAMPLING POINT 17W



- NOTES:**
1. 12" MINIMUM CLEARANCE TO BE MAINTAINED UNDER AUTOMATIC FLUSHING SYSTEM PAD AND ANY OBSTRUCTION.
  2. FOR METALLURGY OF SERVICE UNDER DRINKING AND RECREATION, USE MIN. 1/2" DIAMETER BLACK IRON PIPE WITH AN END FOR A CASING. CASING SHALL BE 24" REVERSED JOINTS OF PAVEMENT. CASING TO BE BUILT WITH CHASE. CASING SHALL BE COLOR-CODED BLACK, WHITE, BLUE, OR BLUE TRIP.
  3. AUTOMATIC FLUSHING ASSEMBLY IS TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE WATER MAIN.
  4. RECORD (WALL AND COVER DIA.) OVER SERVICE LINE ON CASING SHALL CONSIST OF THE REGULAR MATERIAL. UNPAVED 80-90% MATERIALS SUCH AS METAL SHALL BE REVERSED JOINTS WITH 2" MINIMUM SEPARATION.
  5. ALL MATERIALS FOR FLUSHING CONNECTIONS (DUCTILE IRON) TO BE STAINLESS STEEL.
  6. UNPAVED AREAS OF CORROSION STOP AND OTHER FITTINGS SHALL BE SPRAY WRAPPED WITH TWO (2) STRIPS OF TOLUOL TAPE. ALL BRASS SHALL BE "LEAD FREE".
  7. A 4" HOSE CONNECTED WITH HOSE MADE OF REVERSED JOINTS SHALL EXTEND MINIMUM 12" BEYOND AUTOMATIC FLUSHING ASSEMBLY TO FIRETRUCK.

POTABLE WATER #2 STANDARD DETAILS 43W

**CONSULTANT:**

DESIGNED BY: [Signature]

DRAWN BY: [Signature]

CHECKED BY: [Signature]

IT'S THE LAW! CALL US BEFORE YOU DIG! 1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC. UTILITIES NOTIFICATION CENTER

PROJECT NO. XX-XXX

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

RECEIVED by CITY OF GREENACRES

JUL 5 2017

PLANNING & ENGINEERING

1/5/17

THESE PLANS ARE THE PROPERTY OF RACETRAC PETROLEUM, INC. ANY REPRODUCTION OR USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

Racetrac

RACETRAC PETROLEUM, INC. 3225 CUMBERLAND BOULEVARD SUITE 100 ATLANTA, GA 30339 (770) 431-7800

WATER DETAILS RACETRAC MARKET

Lake Worth Rd @ Shenwood Forest Blvd Greenacres, Florida Palm Beach County

DATE: 8/12/2016 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO. 1 VERSION

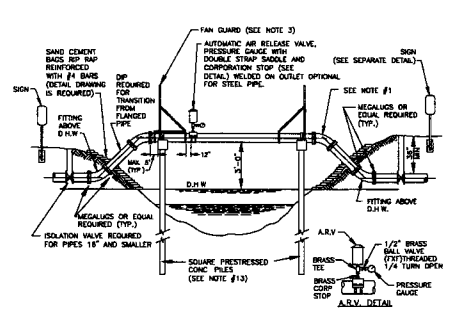
DRAWN BY: AARON HUNTER DATE: 8/12/2016 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO. 1 VERSION

DATE: 8/12/2016 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO. 1 VERSION

DATE: 8/12/2016 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO. 1 VERSION

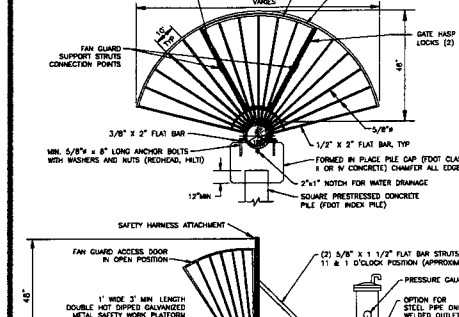
DATE: 8/12/2016 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO. 1 VERSION

DATE: 8/12/2016 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO. 1 VERSION



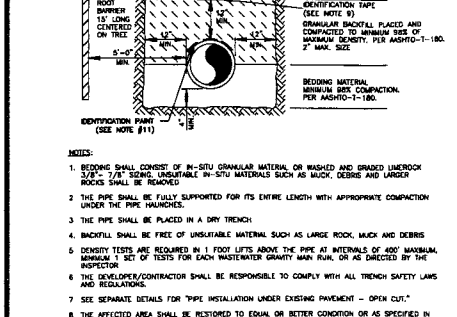
- NOTES**
1. ALL EXPOSED PIPE SHALL BE DUCTILE IRON OR PREFABRICATED STEEL WITH FLANGED FITTINGS AND PROFILED CASINGS. RETAINER GANDES AND UNBALANCE TYPE FITTINGS ARE NOT TO BE SUBSTITUTED FOR FLANGED FITTINGS. PREFABRICATED STEEL PIPE MUST BE PROTECTED AGAINST CORROSION BY AN APPROVED METHOD.
  2. SPIN LATHING AS REQUIRED BY PERMITTING AGENCY.
  3. FAN GUARDS ARE REQUIRED. SEE FAN GUARD/PILE CAP DESIGN DETAILS FOR ADDITIONAL REQUIREMENTS. ACCESS PLATFORM AND GATE REQUIRED ON ANY SIDE ONLY.
  4. ALL EXPOSED PIPING SHALL BE PAINTED AS SPECIFIED IN THE APPROVED MATERIAL LIST.
  5. ALL WARDHAMS SHALL BE PAINTED WITH ZINC-RICH EPOXY.
  6. PIPE SHALL BE COATED ON 3" THICK NEOPRENE/EPDM GASKETS. SEE CURRENT FOOT STANDARDS APPLY. NEOPRENE IS REQUIRED AT ALL STRAPS INSTALLED OVER STEEL. NEOPRENE SHALL EXTEND MIN. 1" BEYOND THE EDGES OF ORACLE AND STRAPS.
  7. DOWN STRAPS MUST PROTECT FIT AND SECURE PIPE IN CANALS.
  8. PIPE ORACLE IN CAN SHALL CONTACT & COMPENSATE FOR PIPE. SEE FAN GUARD DETAILS.
  9. SHOW EXISTING CANAL CROSS SECTION, ULTIMATE CANAL SECTION AND RELIANT ELEVATIONS AND DISTANCES ON A TO SCALE DETAIL DRAWING.
  10. PILE LEFT CABLE SHALL BE REMOVED BELOW SURFACE. HOLE SHALL BE FILLED WITH EPOXY GROUT.
  11. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  12. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  13. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  14. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  15. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  16. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  17. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  18. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  19. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.
  20. THE PRESSURE GAUGE SHALL FACE THE CLOSEST FAN GUARD.

POTABLE WATER MAIN TYPICAL AERIAL CANAL CROSSING SINGLE PIPE (SINGLE PILES) 26W



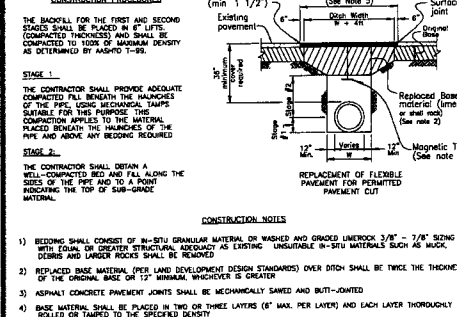
- NOTES**
1. FAN GUARDS SHALL BE PLACED AT EACH END OF CANAL CROSSING.
  2. WARDHAMS SHALL BE PAINTED WITH ZINC-RICH EPOXY.
  3. FAN GUARDS WITH HANDRAILS SHALL BE FABRICATED FROM DOUBLE NOT DIPPED GALVANIZED STEEL.
  4. SHOP DRAWINGS FOR FAN GUARDS, CAPS, AND PILES MUST BE SUBMITTED TO PERMITTING AGENCY AND APPROVED PRIOR TO CONSTRUCTION MEETING.
  5. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60. MIN. 2" CONCRETE COVER OVER ALL STEEL.
  6. SET TYPICAL CANAL CROSSING DETAIL FOR ADDITIONAL REQUIREMENTS.
  7. NO WELDING OF BEAM TO BEAM OR BEAM TO PILE SHALL BE ALLOWED.
  8. DESIGN DRAWINGS ARE REQUIRED.
  9. LONG RADIIUS WELDED ON UPPER BENDS ARE ACCEPTABLE FOR STEEL PIPE.
  10. IF A PILE/CAP STEEL CONNECTION IS REQUIRED BY PERMITTING AGENCY, IT SHALL BE SUBMITTED TO PERMITTING AGENCY AND APPROVED PRIOR TO CONSTRUCTION MEETING.
  11. ACCESS PLATFORM AND GATE REQUIRED ON ANY SIDE ONLY.

FAN GUARD/PILE CAP DESIGN SINGLE PIPE (SINGLE PILES) 27W



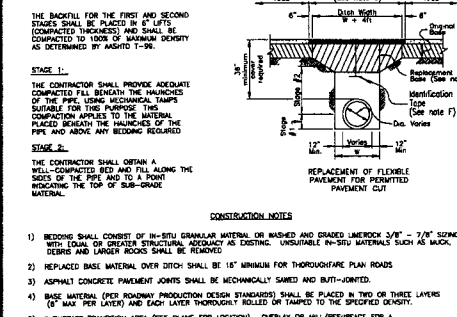
- NOTES**
1. BEDDING SHALL BE FREE OF UNDESIRABLE MATERIAL SUCH AS LARGE ROCK, MOSS AND DEBRIS.
  2. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  3. ASPHALT CONCRETE JOINTS SHALL BE MECHANICALLY SAWN AND BUTT-JOINTED.
  4. BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS (8" MAX PER LAYER) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO THE SPECIFIED DENSITY.
  5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE OR 1 1/2" ASPHALT CONCRETE WITH MC-70 PRIME COAT AT 0.10 GAL/50 YD.
  6. PIPE SHALL BE PLACED IN A DRY TRENCH.
  7. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  8. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  9. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  10. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  11. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  12. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  13. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.

TYPICAL TRENCH DETAIL/ROOT BARRIER INSTALLATION DETAIL 23W



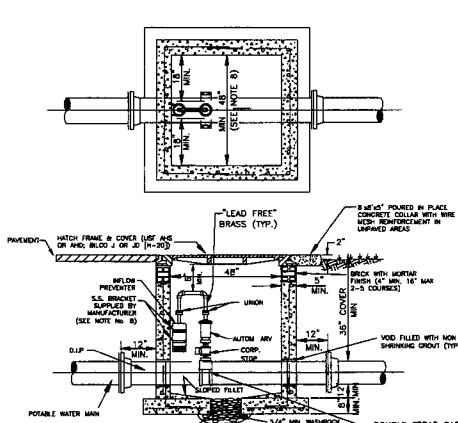
- NOTES**
1. BEDDING SHALL BE FREE OF UNDESIRABLE MATERIAL SUCH AS LARGE ROCK, MOSS AND DEBRIS.
  2. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  3. ASPHALT CONCRETE JOINTS SHALL BE MECHANICALLY SAWN AND BUTT-JOINTED.
  4. BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS (8" MAX PER LAYER) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO THE SPECIFIED DENSITY.
  5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE OR 1 1/2" ASPHALT CONCRETE WITH MC-70 PRIME COAT AT 0.10 GAL/50 YD.
  6. PIPE SHALL BE PLACED IN A DRY TRENCH.
  7. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  8. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  9. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  10. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  11. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  12. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  13. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.

OPEN CUT PIPE INSTALLATION NON-THOROUGHFARE ROAD 24W



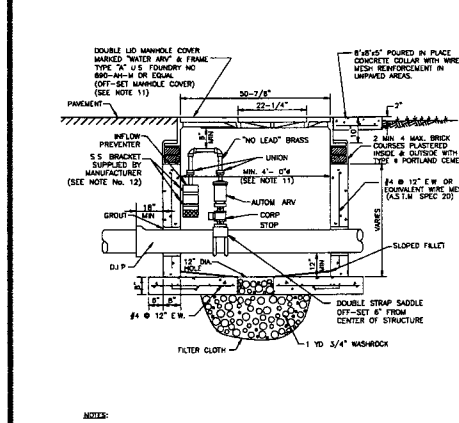
- NOTES**
1. BEDDING SHALL BE FREE OF UNDESIRABLE MATERIAL SUCH AS LARGE ROCK, MOSS AND DEBRIS.
  2. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  3. ASPHALT CONCRETE JOINTS SHALL BE MECHANICALLY SAWN AND BUTT-JOINTED.
  4. BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS (8" MAX PER LAYER) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO THE SPECIFIED DENSITY.
  5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE OR 1 1/2" ASPHALT CONCRETE WITH MC-70 PRIME COAT AT 0.10 GAL/50 YD.
  6. PIPE SHALL BE PLACED IN A DRY TRENCH.
  7. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  8. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  9. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  10. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  11. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.
  12. DENSITY TESTS SHALL BE TAKEN IN 1' FT LIFTS ABOVE THE PIPE AT INTERVALS OF 400 FT MAXIMUM.
  13. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND COUNTY FPM 11-1-3066.

OPEN CUT PIPE INSTALLATION THOROUGHFARE ROAD 26W



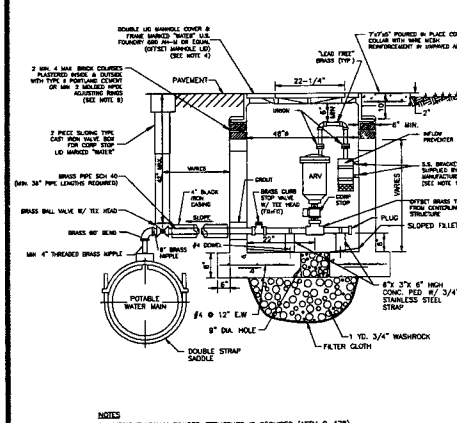
- NOTES**
1. 4000 P.S.I. TYPE II PRECAST CONCRETE WITH STEEL REINFORCEMENT FOR SERVICE INTENDED IS REQUIRED.
  2. AIR RELEASE VALVE SHALL BE TYPE AND SIZE APPROPRIATE FOR SERVICE INTENDED FORCE MAINS REQUIRE 2" MIN.
  3. ALL OPENINGS SHALL BE SEALED WITH WATERPROOF NON-SHRINKING GROUT.
  4. OTHER VALVE AND COVER DESIGNS MAY BE USED UPON SUBMITTAL AND APPROVAL OF SHOP DRAWINGS.
  5. DUCTILE IRON PIPE IS REQUIRED THROUGH THE WALL. NO PIPE JOINTS INSIDE OR WITHIN 12" OF THE WALL.
  6. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  7. LARGER VALVES WILL BE REQUIRED FOR PIPES LARGER THAN 12" PER. SIZE MIN. WALL SIZE 18"-24" 4" MIN. 16"-24" 4" MIN. 16"-24" 4" MIN.
  8. SHOP DRAWINGS ARE REQUIRED FOR CUSTOM MADE BRACKETS.
  9. PRECAST CONCRETE TYPE II 4000 P.S.I. A SHOP DRAWING IS REQUIRED.
  10. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  11. AIR RELEASE VALVE SHALL BE TYPE AND SIZE APPROPRIATE FOR SERVICE INTENDED FORCE MAINS REQUIRE 2" MIN.
  12. OTHER VALVE AND COVER DESIGNS MAY BE USED UPON SUBMITTAL AND APPROVAL OF SHOP DRAWINGS.
  13. DUCTILE IRON PIPE IS REQUIRED THROUGH THE WALL. NO PIPE JOINTS INSIDE OR WITHIN 12" OF THE WALL.
  14. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  15. LARGER VALVES WILL BE REQUIRED FOR PIPES LARGER THAN 12" PER. SIZE MIN. WALL SIZE 18"-24" 4" MIN. 16"-24" 4" MIN. 16"-24" 4" MIN.
  16. SHOP DRAWINGS ARE REQUIRED FOR CUSTOM MADE BRACKETS.

POTABLE WATER MAIN UNDERGROUND AIR RELEASE VALVE AND VAULT IN NON-TRAFFIC AREAS OUTSIDE OF ROAD R/W 28W



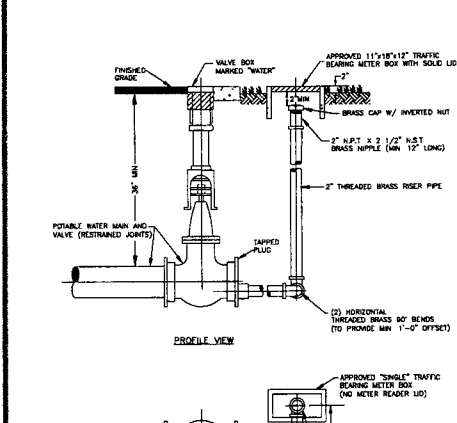
- NOTES**
1. PRECAST CONCRETE TYPE II 4000 P.S.I. A SHOP DRAWING IS REQUIRED.
  2. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  4. ALL PIPE HOLES SHALL BE PRECAST OR CORE-DRILLED.
  5. MANHOLE FABRICATION SHALL BE IN ACCORDANCE WITH ASTM C-478 LATEST STANDARD.
  6. CONCRETE COLLAR REQUIRED WHEN MANHOLE IS OUTSIDE OF PAVED AREA. SEE DETAIL.
  7. AIR RELEASE VALVE SHALL BE TYPE AND SIZE APPROPRIATE FOR SERVICE INTENDED FORCE MAINS REQUIRE 2" MIN.
  8. DUCTILE IRON PIPE IS REQUIRED THROUGH THE WALL. NO PIPE JOINTS INSIDE OR WITHIN 12" OF THE WALL.
  9. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  10. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  11. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  12. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  13. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  14. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  15. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  16. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  17. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  18. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  19. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  20. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.

POTABLE WATER MAIN AIR RELEASE MANHOLE IN PAVED AREAS AND ROAD R/W 29W



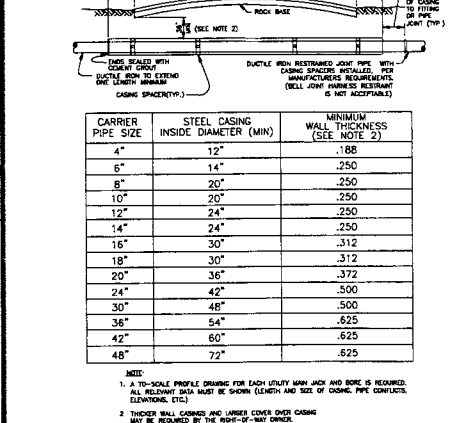
- NOTES**
1. MANHOLES SHALL BE PRECAST OR CORE-DRILLED.
  2. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  4. ALL PIPE HOLES SHALL BE PRECAST OR CORE-DRILLED.
  5. MANHOLE FABRICATION SHALL BE IN ACCORDANCE WITH ASTM C-478 LATEST STANDARD.
  6. CONCRETE COLLAR REQUIRED WHEN MANHOLE IS OUTSIDE OF PAVED AREA. SEE DETAIL.
  7. AIR RELEASE VALVE SHALL BE TYPE AND SIZE APPROPRIATE FOR SERVICE INTENDED FORCE MAINS REQUIRE 2" MIN.
  8. DUCTILE IRON PIPE IS REQUIRED THROUGH THE WALL. NO PIPE JOINTS INSIDE OR WITHIN 12" OF THE WALL.
  9. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  10. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  11. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  12. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  13. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  14. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  15. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  16. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  17. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  18. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  19. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  20. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.

POTABLE WATER MAIN OFF-SET UNDERGROUND AIR RELEASE VALVE 30W



- NOTES**
1. MANHOLES SHALL BE PRECAST OR CORE-DRILLED.
  2. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  4. ALL PIPE HOLES SHALL BE PRECAST OR CORE-DRILLED.
  5. MANHOLE FABRICATION SHALL BE IN ACCORDANCE WITH ASTM C-478 LATEST STANDARD.
  6. CONCRETE COLLAR REQUIRED WHEN MANHOLE IS OUTSIDE OF PAVED AREA. SEE DETAIL.
  7. AIR RELEASE VALVE SHALL BE TYPE AND SIZE APPROPRIATE FOR SERVICE INTENDED FORCE MAINS REQUIRE 2" MIN.
  8. DUCTILE IRON PIPE IS REQUIRED THROUGH THE WALL. NO PIPE JOINTS INSIDE OR WITHIN 12" OF THE WALL.
  9. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  10. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  11. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  12. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  13. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  14. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  15. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  16. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  17. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  18. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  19. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.
  20. THROUGH AREAS OF BRASS FITTINGS SHALL BE SPIN WRAPPED WITH TWO WRAPS OF TEFELON TAPE.

TYPICAL 2" TERMINAL BLOWOFF POTABLE WATER DISTRIBUTION MAINS 21W



- NOTES**
1. A TO-SLOPE PROFILE DRAWING FOR EACH UTILITY MAIN JACK AND BORE IS REQUIRED.
  2. ALL BLOWOFF BOXES MUST BE SHOWN (LENGTH AND SIZE OF CASING PIPE, CONDUIT, ELEVATIONS, ETC).
  3. THICKER WALL COUPLERS AND UNIFORM COUPLER OVER CASING MUST BE PROVIDED BY THE BLOW-OFF MANUFACTURER.
  4. STEEL CASING SHALL BE COATED OUTSIDE WITH ZINC RICH EPOXY (MIN. 10 MILS DFT).
  5. PIPE IN CASING SHALL BE PAILED TO FULLY ENGAGE RESTRAINT.

POTABLE WATER MAIN CASING INSTALLATION DETAILS 22W

**POTABLE WATER #3 STANDARD DETAILS**

**CONSULTANT:**

DESIGNED BY: [Signature]

DRAWN BY: [Signature]

CHECKED BY: [Signature]

DATE: 08/12/2016

SCALE: NONE

DRAWING NAME: 1507\_06\_WSD\_04g

SHEET NO. 1

VERSION

PROJECT NO. XX-XXX

PALM BEACH COUNTY WATER UTILITIES DEPARTMENT

P.O. BOX 10007 PALM BEACH, FL 33416

WEST PALM BEACH (561) 968-0000

DATE: 8/15/17

RECEIVED BY: CITY OF GREENACRES

PLANNING & ENGINEERING

STANDARD DETAILS SHEET NUMBER 0 OF 0 SEAL

IT'S THE LAW! CALL 8 HOURS BEFORE YOU DIG 1-800-432-4770

WATER DETAILS RACETRAC MARKET

Lake Worth Rd @ Sherwood Forest Blvd Greenacres, Florida Palm Beach County

DRAWN BY: AARON HUNTER

DATE: 8/12/2016

SCALE: NONE

DRAWING NAME: 1507\_06\_WSD\_04g

SHEET NO. 1

VERSION

**WGI** Wantman Group, Inc.

1507 W. U.S. HIGHWAY 1, SUITE 100, GREENACRES, FL 33416

PH: 561-432-4770 FAX: 561-432-4771

DATE: 8/15/17

RECEIVED BY: CITY OF GREENACRES

PLANNING & ENGINEERING

AS 1/15/17

THESE PLANS ARE SUBJECT TO FEDERAL, STATE AND LOCAL REQUIREMENTS. USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

**Racetrac**

RACETRAC PETROLEUM, INC. 3225 CUMBERLAND BOULEVARD SUITE 100 ATLANTA, GA 30339 (770) 431-1600

WATER DETAILS RACETRAC MARKET

Lake Worth Rd @ Sherwood Forest Blvd Greenacres, Florida Palm Beach County

DRAWN BY: AARON HUNTER

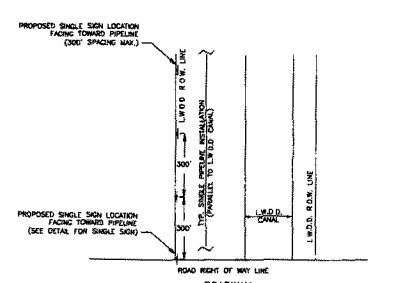
DATE: 8/12/2016

SCALE: NONE

DRAWING NAME: 1507\_06\_WSD\_04g

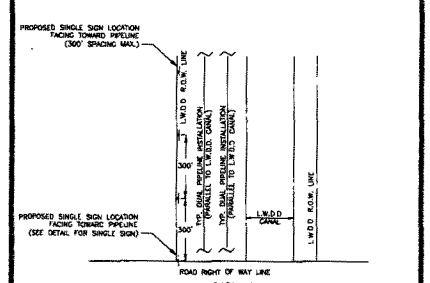
SHEET NO. 1

VERSION



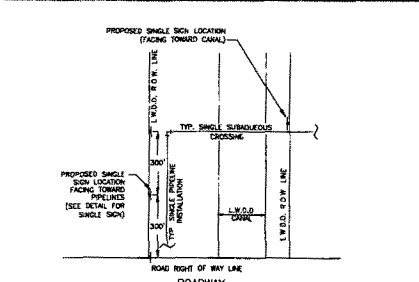
**NOTE:**  
 1. UNDERGROUND PIPELINE WARNING SIGNS ARE TO BE PLACED AT THE POINT IN WHICH THE LINE APPROXIMATES AND CROSSES THE L.W.D.D. RIGHT-OF-WAY.  
 2. SIGN SPACING IS TO BE A MINIMUM OF 300' ALONG THE L.W.D.D. RIGHT-OF-WAY, AS CLOSE AS POSSIBLE TO THE L.W.D.D. RIGHT-OF-WAY.

**L.W.D.D. - SINGLE PIPE PARALLEL INSTALLATION UNDERGROUND PIPELINE SIGN INSTALLATION DETAIL** 38W



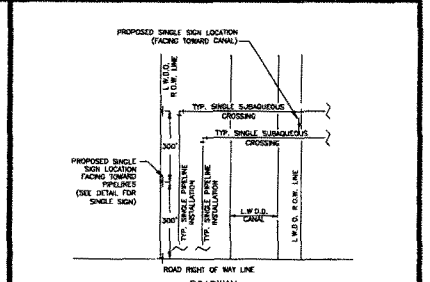
**NOTE:**  
 1. UNDERGROUND PIPELINE WARNING SIGNS ARE TO BE PLACED AT THE POINT IN WHICH THE LINE APPROXIMATES AND CROSSES THE L.W.D.D. RIGHT-OF-WAY.  
 2. SIGN SPACING IS TO BE A MINIMUM OF 300' ALONG THE L.W.D.D. RIGHT-OF-WAY, AS CLOSE AS POSSIBLE TO THE L.W.D.D. RIGHT-OF-WAY.

**L.W.D.D. - DUAL PIPE PARALLEL INSTALLATION UNDERGROUND PIPELINE SIGN INSTALLATION DETAIL** 39W



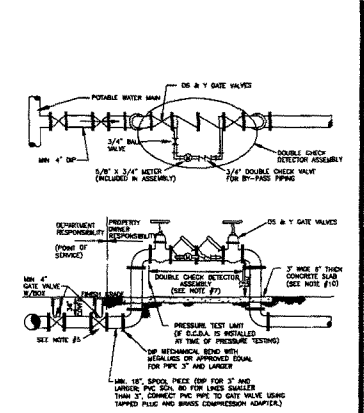
**NOTE:**  
 1. UNDERGROUND PIPELINE WARNING SIGNS ARE TO BE PLACED ON BOTH SIDES OF THE CANAL CROSSING AT THE HOSE EDGE OF THE RIGHT-OF-WAY.  
 2. SIGN POST IS NOT TO BE PLACED DIRECTLY OVER PIPELINE. OFFSET SIGN POST 5' FROM PIPELINE.

**L.W.D.D. - SINGLE PIPE SUBAQUEOUS CROSSING UNDERGROUND PIPELINE SIGN INSTALLATION DETAIL** 40W



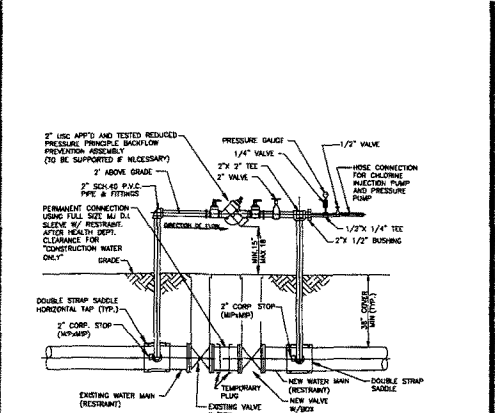
**NOTE:**  
 1. UNDERGROUND PIPELINE WARNING SIGNS ARE TO BE PLACED ON BOTH SIDES OF THE CANAL CROSSING AT THE HOSE EDGE OF THE RIGHT-OF-WAY.  
 2. SIGN POST IS NOT TO BE PLACED DIRECTLY OVER PIPELINE. OFFSET SIGN POST 5' FROM PIPELINE.

**L.W.D.D. - DUAL PIPE SUBAQUEOUS CROSSING UNDERGROUND PIPELINE SIGN INSTALLATION DETAIL** 41W



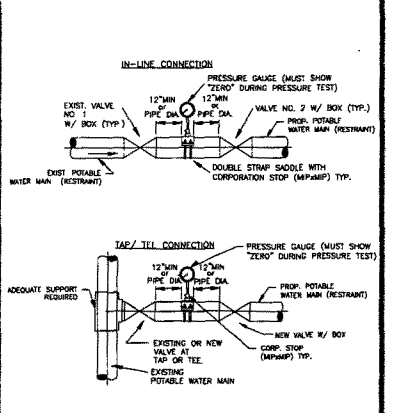
**NOTES:**  
 1. ALL PIPE AND FITTINGS UP TO THE D.C.D.A. SHALL BE DUCTILE IRON CEMENT LINED.  
 2. CLEAN PROOF OPERATION OF DETECTOR SHALL BE PERFORMED BY THE DEPARTMENT PRIOR TO SIGNIFY ACTIVATION.  
 3. THE DOUBLE CHECK DETECTOR ASSEMBLY SHALL BE APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA (U.S.C.) OR THE A.S.L.E. (WITH ONE YEAR FIELD TESTING).  
 4. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE AND SUBSEQUENT TESTING OF THE DOUBLE CHECK DETECTOR ASSEMBLY BY A CERTIFIED BACKFLOW TECHNICIAN.  
 5. WHEN FIRE LINE LENGTH IS OVER ONE PIPE LENGTH, LINE SHALL BE TERMINATED WITH A GATE VALVE (FRONT OF SERVICE) AND PIPE JOINTS / CONNECTIONS ARE PERMITTED BETWEEN FRONT OF SERVICE AND METEORICAL NO. 10.  
 6. THE DESIGN SHALL MINIMIZE ANY POTENTIAL FOR WATER MAIN AND FLOW. A FIRE HOSE LINE LOCATED NEAR THE DOUBLE CHECK DETECTOR ASSEMBLY MAY BE REQUIRED FOR ALL THE UTILITIES WITH STORAGE TANKS AND/OR ANTI-SIPHON WATER SUPPLY.  
 7. AN APPROVED REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY SHALL BE REQUIRED FOR ALL THE UTILITIES WITH STORAGE TANKS AND/OR ANTI-SIPHON WATER SUPPLY.  
 8. TANKS OR TOWERS MAY BE REQUIRED BY THE FIRE MARSHAL.  
 9. PIPE MATERIAL ON THE OUTSIDE SIDE OF POINT OF SERVICE SHALL COMPLY WITH FIRE MARSHAL REQUIREMENTS.  
 10. 3" WIDE 4" THICK CONCRETE SLAB IS RECOMMENDED FOR ASSEMBLY SMALLER THAN 4".

**DOUBLE CHECK DETECTOR ASSEMBLY** 32W



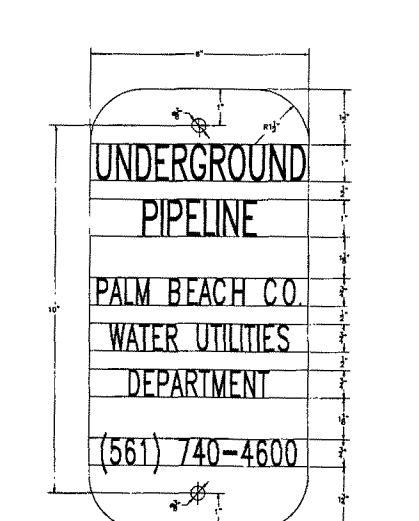
**NOTES:**  
 1. THESE PROPER RESTRAINT OF EXISTING MAIN AND CROSSING PIPE FROM TO NEW PVC CONNECTION.  
 2. CLEAN PROOF OPERATION OF EXISTING MAIN.  
 3. 3" WIDE 4" THICK CONCRETE SLAB IS REQUIRED UNDER OR BEHIND PIPE TO BE USED AS A RESTRAINT.  
 4. 12" MINIMUM CLEARANCE TO BE MAINTAINED BETWEEN AUTOMATIC FLUSHING SYSTEM AND ANY OBSTRUCTION.  
 5. FOR RESTRAINT OF SERVICES UNDER OBSTRUCTIONS AND ROADSIDE, USE MIN. 4" DIAMETER BLACK PIPE, PVC SIZE 40, OR HOPE SIDE 9' CHAIN DRINK SHALL COVER WITH 14" TYPING CODE OF PROTECTIVE COVER TO BE GRADED WITH CONCRETE. COVER SHALL BE COLOR-CODING BLACK, WHITE, BLUE, OR BLUE STRIPES.  
 6. AUTOMATIC FLUSHING ASSEMBLY TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE WATER MAIN.  
 7. 4" DIAMETER (4" DIA. AND COVER DIA.) OVER SERVICE LINE OF COVER SHALL COVER OF PVC GRANULAR MATERIAL, UNLAPFABLE 1/2" DIA. MATERIALS SUCH AS SAND, GRAVEL AND LARGER ROCKS SHALL BE REMOVED WITH 3" WASTEBASKET.  
 8. ALL WORKING FOR FLANGED CONNECTIONS (BOULTS, ETC.) TO BE STAINLESS STEEL.  
 9. WAREHOUSES FOR COMPRESSOR STOP AND OTHER FITTINGS SHALL BE SPOOL WRAPPED WITH TWO (2) STRIPS OF YELLOW TAPE. ALL BRASS SHALL BE "LEAD FREE".  
 7. A 4" THICK COMPACTED 3/4" ROCK BASE IS REQUIRED THE BASE SHALL EXTEND MINIMUM 12' BEYOND AUTOMATIC FLUSHING ASSEMBLY AND FORMER.

**STANDARD POTABLE WATER MAIN TIE-IN** 33W



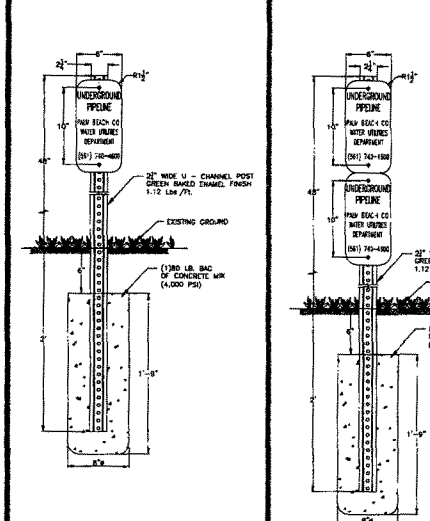
**NOTES:**  
 1. THE "ALTERNATIVE" PROCEDURE MUST BE APPROVED BY W.U.D. IN ADVANCE.  
 2. BOTH MAINS SHALL BE KEPT CLOSED EXCEPT FOR FILLING AND FLUSHING.  
 3. W.U.D. SHALL BE NOTIFIED BEFORE CLOSING AND FILLING.  
 4. PRESSURE TEST PUMP TO BE CONNECTED TO SERVICE LINE, PIPE FORWARD OR BACKWARD TO THE TYPED WATER MAIN NO EXTRA TAPS ARE PERMITTED UNLESS IRREVOCABLE.  
 5. GAUGE AND RESTRAINT TO BE REMOVED AFTER PRESSURE TEST. HOLE TO BE PLUGGED AT SIGHT WITH BRASS PLUG. A BRASS GUY IS REQUIRED.  
 6. SPOOL WRAP OF COMPRESSOR STOP SHALL BE SPOOL WRAPPED WITH TWO STRIPS OF YELLOW TAPE.  
 7. INSURE PROPER RESTRAINT OF EXISTING VALVES AND PIPE PRIOR TO NEW CONNECTION.  
 8. SEE ALSO DETAIL FOR STANDARD POTABLE WATER MAIN TIE-IN PROCEDURE.  
 9. RECORD DRAWINGS TO SHOW DATA FOR ALL TEST TAPS.  
 10. ALL BRASS SHALL BE "LEAD FREE".

**ALTERNATIVE WATER MAIN TIE-IN** 42W



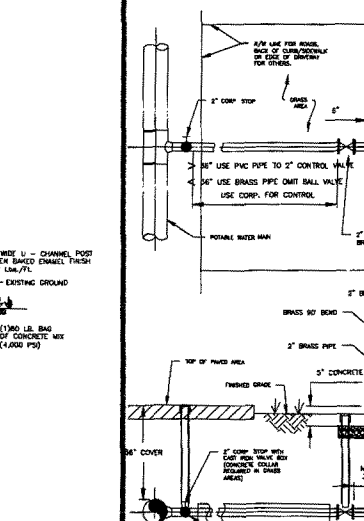
**NOTE:**  
 SIGN SHALL BE 6" WIDE X 12" LONG, ALUMINUM (6063 GA.). SIGN COLOR IS WHITE WITH BLACK LETTERING, ROUNDED CORNERS (1.5" RND.), 2 HOLES (3/8" DIA.), 10" O.C.

**UNDERGROUND PIPELINE SIGN DETAIL** 35W



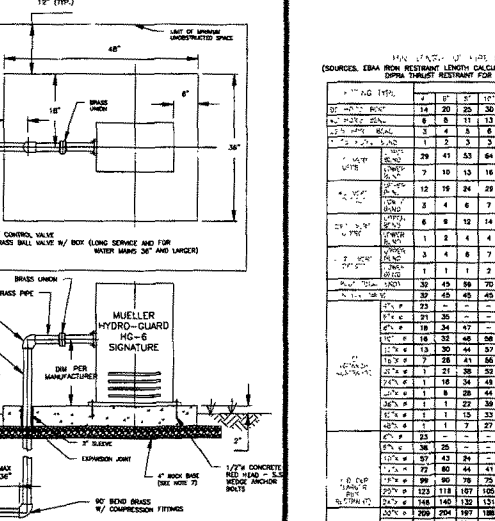
**NOTE:**  
 SIGN SHALL BE 6" WIDE X 12" LONG, ALUMINUM (6063 GA.). SIGN COLOR IS WHITE WITH BLACK LETTERING, ROUNDED CORNERS (1.5" RND.), 2 HOLES (3/8" DIA.), 10" O.C.

**SINGLE UNDERGROUND PIPELINE SIGN DETAIL** 36W



**NOTES:**  
 1. SIGN SHALL BE 6" WIDE X 12" LONG, ALUMINUM (6063 GA.). SIGN COLOR IS WHITE WITH BLACK LETTERING, ROUNDED CORNERS (1.5" RND.), 2 HOLES (3/8" DIA.), 10" O.C.  
 2. THE DUAL UNDERGROUND PIPELINE SIGN SHALL BE UTILIZED FOR TWO UNDERGROUND PIPELINES WITHIN THE L.W.D.D. RIGHT-OF-WAY.

**DUAL UNDERGROUND PIPELINE SIGN DETAIL** 37W



**NOTES:**  
 1. 12" MINIMUM CLEARANCE TO BE MAINTAINED BETWEEN AUTOMATIC FLUSHING SYSTEM AND ANY OBSTRUCTION.  
 2. FOR RESTRAINT OF SERVICES UNDER OBSTRUCTIONS AND ROADSIDE, USE MIN. 4" DIAMETER BLACK PIPE, PVC SIZE 40, OR HOPE SIDE 9' CHAIN DRINK SHALL COVER WITH 14" TYPING CODE OF PROTECTIVE COVER TO BE GRADED WITH CONCRETE. COVER SHALL BE COLOR-CODING BLACK, WHITE, BLUE, OR BLUE STRIPES.  
 3. AUTOMATIC FLUSHING ASSEMBLY TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE WATER MAIN.  
 4. 4" DIAMETER (4" DIA. AND COVER DIA.) OVER SERVICE LINE OF COVER SHALL COVER OF PVC GRANULAR MATERIAL, UNLAPFABLE 1/2" DIA. MATERIALS SUCH AS SAND, GRAVEL AND LARGER ROCKS SHALL BE REMOVED WITH 3" WASTEBASKET.  
 5. ALL WORKING FOR FLANGED CONNECTIONS (BOULTS, ETC.) TO BE STAINLESS STEEL.  
 6. WAREHOUSES FOR COMPRESSOR STOP AND OTHER FITTINGS SHALL BE SPOOL WRAPPED WITH TWO (2) STRIPS OF YELLOW TAPE. ALL BRASS SHALL BE "LEAD FREE".  
 7. A 4" THICK COMPACTED 3/4" ROCK BASE IS REQUIRED THE BASE SHALL EXTEND MINIMUM 12' BEYOND AUTOMATIC FLUSHING ASSEMBLY AND FORMER.

**AUTOMATIC FLUSHING ASSEMBLY (TYPE B)** 44W

**MECHANICAL THRUST RESTRAINT MINIMUM PIPE LENGTHS** 34W

**NOTES:**  
 1. DATA IN THE ABOVE TABLE ARE BASED UPON THE FOLLOWING INSTALLATION CONDITIONS:  
 SOIL TYPE - SAND  
 TEST PRESSURE - 150 PSI/200 PSI (DEPTH OF BURST - 1.5')  
 2. THE RESTRAINT PIPE LENGTHS APPLY TO DUCTILE IRON AND PVC PIPE.  
 3. ALL JOINTS BETWEEN UPPER AND LOWER MAINS SHALL BE RESTRAINED.  
 4. RESTRAINT PIPE LENGTHS APPLY TO PIPE ON BOTH SIDES OF VALVES AND FITTINGS.  
 5. RESTRAINT PIPE LENGTHS EQUAL TO AN IN-LINE VALVE CONNECTION ARE REQUIRED AT EACH END OF A VALVE.  
 6. DESIGN ENGINEER IS RESPONSIBLE TO PROPERLY SIZE THE RESTRAINT PIPE LENGTHS FOR THE PROJECT.

PIPE DIA. (IN)	12"	14"	16"	18"	20"	24"	28"	30"	36"	42"	48"
12"	14	20	26	30	35	40	45	50	55	60	65
14"	18	24	30	36	42	48	54	60	66	72	78
16"	22	28	34	40	46	52	58	64	70	76	82
18"	26	32	38	44	50	56	62	68	74	80	86
20"	30	36	42	48	54	60	66	72	78	84	90
24"	36	42	48	54	60	66	72	78	84	90	96
28"	42	48	54	60	66	72	78	84	90	96	102
30"	45	51	57	63	69	75	81	87	93	99	105
36"	54	60	66	72	78	84	90	96	102	108	114
42"	63	69	75	81	87	93	99	105	111	117	123
48"	72	78	84	90	96	102	108	114	120	126	132

**GENERAL NOTES:**  
 1. DEPARTMENT - THE PALM BEACH COUNTY WATER UTILITIES DEPARTMENT  
 2. CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS  
 3. ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION

**PROCEDURE:**  
 1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS. ALL MATERIALS TO BE DELIVERED TO THE PROJECT SITE MUST BE APPROVED BY THE DEPARTMENT. THE MEETING SHALL BE ATTENDED BY THE DEPARTMENT, CONTRACTOR, ENGINEER AND OTHER INTERESTED PARTIES.  
 2. ANY REVISIONS TO THE APPROVED PLANS SHALL BE CALLED TO THE ATTENTION OF THE DEPARTMENT PRIOR TO THE PRE-CONSTRUCTION MEETING. REVISIONS MUST BE APPROVED PRIOR TO THE MEETING.  
 3. FIVE (5) COPIES OF THE CURRENT APPROVED MATERIAL LIST AND ALL NECESSARY SUBMITTALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING OF THE PRE-CONSTRUCTION MEETING.  
 4. ALL APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO PRECONSTRUCTION MEETING (DOT, HEALTH DEPARTMENT, COUNTY ENGINEER, ETC.).  
 5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON JOB SITE.  
 6. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED PRIOR TO CONSTRUCTION. SUBSTITUTION MATERIALS SHALL NOT BE APPROVED AFTER DELIVERY TO THE JOB SITE. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.  
 7. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE APPROVED PLANS ARE TO BE VERIFIED BY THE CONTRACTOR. APPROVAL OF DEVELOPMENT PLANS BY THE DEPARTMENT DOES NOT IMPLY VERIFICATION OF THE ACCURACY OF THESE APPROVED PLANS TO BE BROUGHT TO THE ATTENTION OF THE DEPARTMENT BY THE ENGINEER AND CONTRACTOR. THE CONTRACTOR SHALL CONFIRM AND RETAIL OF NECESSARY ADEQUATE MECHANICAL PIPE / JOINT RESTRAINT ON EXISTING PIPES PRIOR TO CONSTRUCTION.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE CONSTRUCTION FOR THE PROTECTION OF EXISTING AND ADJACENT UTILITIES. UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THESE PERSONS HAVING ACCESS TO THE WORK SITE.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS FROM ALL OTHER UTILITY AGENCIES.  
 10. THE CONTRACTOR OR ENGINEER SHALL SCHEDULE INSPECTIONS AND TESTS A MINIMUM OF 24-HOURS BEFORE IN COMMENCE.  
 11. NO CONNECTION TO OR ANY OTHER CONSTRUCTION SHALL BE PERFORMED ON AN EXISTING DEPARTMENT OWNED OR MAINTAINED MAIN OR STRUCTURE WITHOUT THE PRESENCE OF A DEPARTMENT INSPECTOR.  
 12. FURNISHED PROPOSED PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. ANY DEVIATIONS FROM THE APPROVED PLANS OR SPECIFICATIONS SHALL BE APPROVED IN ADVANCE BY THE DEPARTMENT.  
 13. UPON COMPLETION OF CONSTRUCTION, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.

**PERMISSIBLE PIPE NOTES:**  
 1. THERE SHALL BE 36" MINIMUM COVER FROM FINISHED GRADE TO TOP OF PIPE.  
 2. DUCTILE IRON PIPE SHALL BE 150 PSI/200 PSI (DEPTH OF BURST - 1.5'). APPROVED WATER MAIN, 12" POTABLE WATER AND RECLAIMED WATER MAINS OF 12" OR LARGER FORCE MAIN VALVES SHALL BE RECLAIMED SEAT GATE VALVES OR ECCENTRIC FLANGE VALVES (IF APPROVED IN ADVANCE BY DEPARTMENT). POTABLE WATER AND RECLAIMED WATER MAIN VALVES LARGER THAN 10 INCHES SHALL BE BUTTERFLY VALVES.  
 3. PVC PIPE SHALL BE 80-100, 100-110, 150 PSI.  
 4. ALL FITTINGS SHALL BE DUCTILE IRON WITH MECHANICAL JOINTS AND CEMENT OR BRASS. ALL VALVES SHALL BE 12" OR LARGER. ALL VALVES SHALL BE 12" OR LARGER. ALL VALVES SHALL BE 12" OR LARGER. ALL VALVES SHALL BE 12" OR LARGER.  
 5. POTABLE WATER, RECLAIMED WATER AND WASTEWATER FORCE MAIN VALVES TO INCHES AND SMALLER SHALL BE RECLAIMED SEAT GATE VALVES. 12" OR LARGER FORCE MAIN VALVES SHALL BE RECLAIMED SEAT GATE VALVES OR ECCENTRIC FLANGE VALVES (IF APPROVED IN ADVANCE BY DEPARTMENT). POTABLE WATER AND RECLAIMED WATER MAIN VALVES LARGER THAN 10 INCHES SHALL BE BUTTERFLY VALVES.  
 6. ALL TRENCHING, PIPE-LAYING, BACKFILL, PRESSURE TESTING, AND DISSECTION SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND HEALTH DEPARTMENT STANDARDS AND REGULATIONS.

**POTABLE WATER MAIN PRESSURE TEST CRITERIA** 31W

**POTABLE WATER #4 STANDARD DETAILS**

**CONSULTANT:**

**IT'S THE LAW!**  
 CALL 48 HOURS BEFORE YOU DIG  
 1-800-432-4770  
 BANGOR, ME  
 WATER UTILITIES DEPARTMENT  
 GREENACRES, FLORIDA

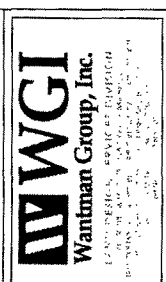
PROJECT NO. XX-XXX

RECEIVED BY CITY OF GREENACRES

PLANNING & ENGINEERING

DATE: 11/13/13

DATE: 11/13/13



DATE: 11/13/13

DATE: 11/13/13

DATE: 11/13/13

DATE: 11/13/13

DATE: 11/13/13

DATE: 11/13/13

Vertical text on the left margin: 0/12/2016 11:07:30 AM



PALM BEACH COUNTY WATER UTILITIES DEPARTMENT P.O. BOX 16097 WEST PALM BEACH, FL 33416 (561) 460-6000

STD DETAILS SHEET NUMBER 0 OF 0 SEAL

WVG I Wantman Group, Inc. 11000 N.W. 11th Street, Suite 100, Ft. Lauderdale, FL 33309

RECEIVED BY CITY OF GREENACRES

2017

PLANNING & ENGINEERING

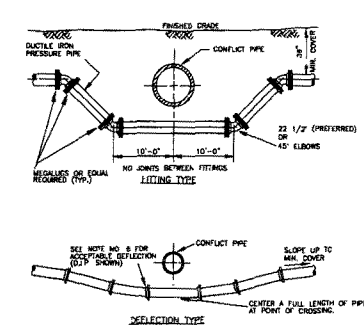
1/6/17

THESE PLANS ARE SUBJECT TO FEDERAL USE OF SAME WITHOUT THE EXPRESSION OF PERMISSION OF RACE/TRAC PETROLEUM, INC. IS PROHIBITED.

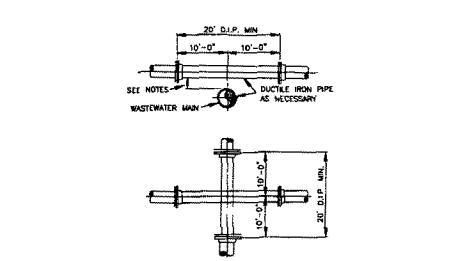
Race/Trac RACE/TRAC PETROLEUM, INC. 3225 CUMBERLAND BOULEVARD SUITE 100 ATLANTA, GA 30339 (770) 431-7600

SEWER DETAILS RACE/TRAC MARKET Lake Worth Rd @ Sherwood Forest Blvd Greenacres, Florida Palm Beach County

DRAWN BY: MCKINLEY DATE: 01/20/16 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO: D2.1 VERSION: 1



- 1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS... 2. WHENEVER POSSIBLE... 3. FORCE MAIN CROSSING POTABLE WATER MAIN... 4. FITTINGS SHALL BE RESTRAINED... 5. THE DEFLECTION TYPE CROSSING IS PREFERRED... 6. DO NOT EXCEED 75% OF MANUFACTURER'S RECOMMENDED MAXIMUM JOINT DEFLECTION... 7. ALL EXPOSED STEEL SHALL BE COATED WITH DUAL-SAN EP... 8. POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH AN 18" VERTICAL SEPARATION... 9. WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR UNLESS OTHERWISE SPECIFIED.



- 1. STORM COVER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS... 2. THE GREASE TRAP SHALL BE WATER TIGHT AND GAS TIGHT... 3. THE GREASE TRAP SHALL BE CERTIFIED AND TAGGED... 4. THE GREASE TRAP SHALL BE LOCATED OUTDOORS... 5. THE GREASE TRAP SHALL NOT BE USED FOR THE PURPOSES OF INTERCEPTING SAND AND OIL... 6. THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE... 7. EACH FACILITY WITH A GREASE TRAP SHALL BE INDIVIDUALLY INTERFERED THROUGH THE DEPARTMENT... 8. EACH FACILITY WHICH IS REQUIRED TO INSTALL A GREASE TRAP SHALL HAVE A SEPARATE (NOT SHARED) GREASE TRAP... 9. INSPECTION PORTS (CLEAN OUTS) SHALL BE EASILY ACCESSIBLE FOR INSPECTION AND SAMPLING... 10. A 'WARE TRAP' OR 'OIL/GREASE INTERCEPTOR' SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE INTERCEPTOR... 11. THE 'WARE TRAP' OR 'OIL/GREASE INTERCEPTOR' SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE INTERCEPTOR... 12. A 'SOLID INTERCEPTOR' SHALL BE INSTALLED UPSTREAM OF A 'GREASE TRAP' WHERE SUBSTANTIAL AMOUNT OF SOLIDS FROM FOOD WASTE, DISPOSALS MAY BE PRESENT... 13. MANHOLE COVER SHALL BE MATCHED TO ACCEPT INFLOW PREVENTER.

POTABLE WATER MAIN/FORCE MAIN PRESSURE PIPE CONFLICT

POTABLE WATER, WASTEWATER MAIN AND STORM SEWER CONFLICT

POTABLE WATER MAIN/FORCE MAIN PRESSURE PIPE CONFLICT

POTABLE WATER MAIN/FORCE MAIN PRESSURE PIPE CONFLICT

Table with columns: INCH TEST, PIPE DIAMETER (INCHES), and values for various pipe sizes.

1. TO OBTAIN THE MAXIMUM QUANTITY OF WATER FOR PIPE WITH 20 FT NOMINAL LENGTHS... 2. THE MAXIMUM QUANTITY OF ADDED WATER FOR A PIPELINE IS CALCULATED BY MULTIPLYING THE QUANTITY PER HOUR AS OBTAINED FROM THE ABOVE TABLE... 3. MAXIMUM LENGTH TEST = 2,000 FEET PER SECTION... 4. THIS STANDARD SHALL REFLECT ANY DEVIATION OF A.M.S.A. C-800 UNLESS THE MAXIMUM QUANTITY OF WATER ADDED SHALL NOT EXCEED 50% OF THE RECOMMENDED MAXIMUM PER APPLICABLE A.M.S.A. C-800 STANDARD... 5. PRESSURE TEST DURATION TO BE MIN. 2 HOURS.

WASTEWATER SYSTEM STANDARD CUT-IN DETAILS

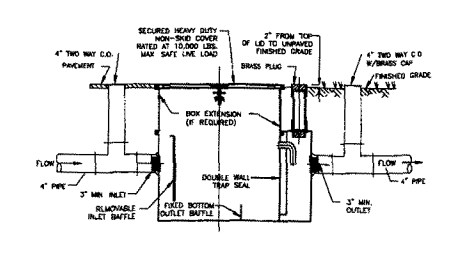
WASTEWATER #1 STANDARD DETAILS

CONSULTANT: WVG I

IT'S THE LAW! 1-800-432-4770

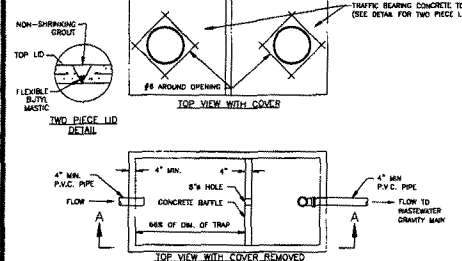
DESIGNED BY: WVG I CHECKED BY: WVG I APPROVED BY: WVG I

DATE: 01/20/16 SCALE: NONE DRAWING NAME: 1507\_06\_WSD.dwg SHEET NO: D2.1 VERSION: 1



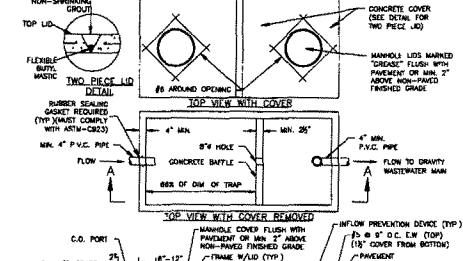
- 1. THE GREASE TRAP SHALL BE WATER TIGHT AND GAS TIGHT... 2. THE GREASE TRAP SHALL BE CERTIFIED AND TAGGED... 3. THE GREASE TRAP SHALL BE LOCATED OUTDOORS... 4. THE GREASE TRAP SHALL NOT BE USED FOR THE PURPOSES OF INTERCEPTING SAND AND OIL... 5. THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE... 6. EACH FACILITY WITH A GREASE TRAP SHALL BE INDIVIDUALLY INTERFERED THROUGH THE DEPARTMENT... 7. INSPECTION PORTS (CLEAN OUTS) SHALL BE EASILY ACCESSIBLE FOR INSPECTION AND SAMPLING... 8. A 'WARE TRAP' OR 'OIL/GREASE INTERCEPTOR' SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE INTERCEPTOR... 9. THE 'WARE TRAP' OR 'OIL/GREASE INTERCEPTOR' SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE INTERCEPTOR... 10. A 'SOLID INTERCEPTOR' SHALL BE INSTALLED UPSTREAM OF A 'GREASE TRAP' WHERE SUBSTANTIAL AMOUNT OF SOLIDS FROM FOOD WASTE, DISPOSALS MAY BE PRESENT... 11. MANHOLE COVER SHALL BE MATCHED TO ACCEPT INFLOW PREVENTER.

GREASE TRAP



- 1. SAND/OIL INTERCEPTORS SHALL BE WATER TIGHT AND GAS TIGHT... 2. SAND/OIL INTERCEPTORS SHALL BE LOCATED IN DRAINAGE AREAS... 3. THE CAPACITY DETERMINATION FOR THE INTERCEPTOR IS THE RESPONSIBILITY OF THE OWNER/CUSTOMER... 4. NO INLET IS REQUIRED IF THERE ARE MULTIPLE GREASE INTERCEPTORS... 5. THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE... 6. EACH FACILITY WITH AN OIL/GREASE INTERCEPTOR SHALL HAVE A SEPARATE (NOT SHARED) INTERCEPTOR... 7. A 'WARE TRAP' OR 'OIL/GREASE INTERCEPTOR' SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE INTERCEPTOR... 8. A 'SOLID INTERCEPTOR' SHALL BE INSTALLED UPSTREAM OF A 'GREASE TRAP' WHERE SUBSTANTIAL AMOUNT OF SOLIDS FROM FOOD WASTE, DISPOSALS MAY BE PRESENT... 9. MANHOLE COVER SHALL BE MATCHED TO ACCEPT INFLOW PREVENTER.

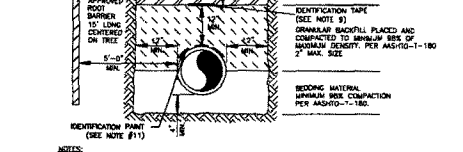
SAND/OIL INTERCEPTOR



- 1. GREASE INTERCEPTORS SHALL BE WATER TIGHT AND GAS TIGHT... 2. THE OIL/GREASE INTERCEPTOR SHALL BE USED FOR APPLICATIONS EXCEEDING 20 GPM FLOW RATE... 3. INSPECTION PORTS (CLEAN OUTS) SHALL BE EASILY ACCESSIBLE FOR INSPECTION/SAMPLING... 4. THE INTERCEPTOR AND CLEAN-OUTS PORT SHALL BE LOCATED OUTDOORS... 5. THE CAPACITY DETERMINATION FOR THE INTERCEPTOR IS THE RESPONSIBILITY OF THE OWNER/CUSTOMER... 6. NO INLET IS REQUIRED IF THERE ARE MULTIPLE GREASE INTERCEPTORS... 7. THE PROPERTY OWNER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE... 8. EACH FACILITY WITH AN OIL/GREASE INTERCEPTOR SHALL HAVE A SEPARATE (NOT SHARED) INTERCEPTOR... 9. A 'WARE TRAP' OR 'OIL/GREASE INTERCEPTOR' SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE INTERCEPTOR... 10. A 'SOLID INTERCEPTOR' SHALL BE INSTALLED UPSTREAM OF A 'GREASE TRAP' WHERE SUBSTANTIAL AMOUNT OF SOLIDS FROM FOOD WASTE, DISPOSALS MAY BE PRESENT... 11. MANHOLE COVER SHALL BE MATCHED TO ACCEPT INFLOW PREVENTER.

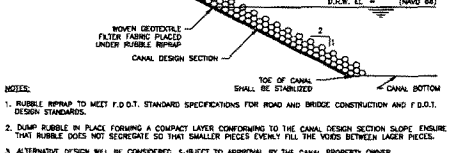
OIL/GREASE INTERCEPTOR

TYPICAL TRENCH DETAIL



- 1. BEDDING SHALL CONSIST OF 8-INCH GRANULAR MATERIAL OR WASHED AND GRADED LIME ROCK... 2. THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH... 3. THE PIPE SHALL BE PLACED IN A DRY TRENCH... 4. BACKFILL SHALL BE FREE OF UNSATURABLE MATERIAL... 5. DENSITY TESTS ARE REQUIRED IN 1 FOOT LIFTS... 6. THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL TRENCH SAFETY LAWS... 7. SEE SEPARATE DETAILS FOR 'PIPE INSTALLATION UNDER EXISTING - OPEN CUT'... 8. THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION... 9. APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL POTABLE WATER MAINS, FORCE MAINS AND RECLAIMED WATER MAINS... 10. ROOT BARRIER IS REQUIRED FOR APPROVED TREE INSTALLATION... 11. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS... 12. PERMANENT ABOVE GROUND UTILITY MARKER SHALL BE INSTALLED... 13. FOR PIPE INSTALLATIONS IN ROAD RIGHTS-OF-WAY, ROAD OWNER'S POINT SPECIFICATIONS SHALL APPLY.

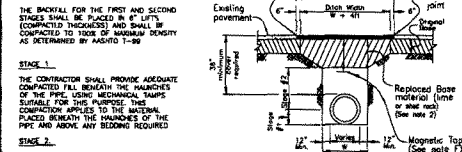
RUBBLE RIPRAP DETAIL



- 1. RUBBLE RIPRAP TO MEET F.O.D.T. STANDARD SPECIFICATIONS... 2. DUMP RIPRAP IN PLACE FORMING A CONTACT LAYER... 3. ALTERNATIVE DESIGN WILL BE CONSIDERED, SUBJECT TO APPROVAL BY THE CANAL PROPERTY OWNER.

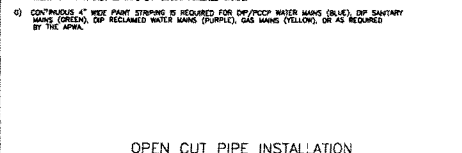
RUBBLE RIPRAP DETAIL

CONSTRUCTION PROCESSES



- 1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE HANDLES OF THE PIPE... 2. REPLACED BASE MATERIAL... 3. ASPHALT CONCRETE PAVERMENT JOINTS SHALL BE MECHANICALLY SAWN... 4. BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS... 5. SURFACE MATERIAL WILL BE CONSISTENT WITH THE EXISTING SURFACE... 6. PIPE SHALL BE PLACED IN A DRY TRENCH... 7. APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES... 8. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS... 9. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS...

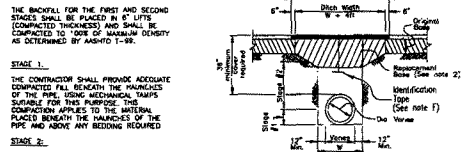
OPEN CUT PIPE INSTALLATION NON-THOROUGHFARE ROAD



- 1. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS... 2. QUANTITY TESTS SHALL BE TAKEN IN 1 FT LIFTS... 3. CHANGES OF RECORD SHALL PROVIDE FULL-TIME INSPECTION... 4. IF THE PAVEMENT IS NOT COMPLETELY RESTORED... 5. IF THE PAVEMENT IS NOT COMPLETELY RESTORED... 6. FOR THE FINAL RESTORATION... 7. APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES... 8. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS... 9. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS...

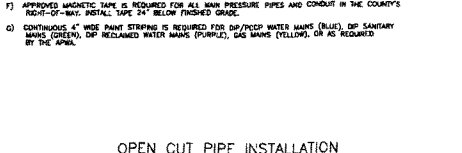
OPEN CUT PIPE INSTALLATION THOROUGHFARE ROAD

CONSTRUCTION PROCESSES



- 1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE HANDLES OF THE PIPE... 2. REPLACED BASE MATERIAL... 3. ASPHALT CONCRETE PAVERMENT JOINTS SHALL BE MECHANICALLY SAWN... 4. BASE MATERIAL SHALL BE PLACED IN TWO OR THREE LAYERS... 5. SURFACE MATERIAL WILL BE CONSISTENT WITH THE EXISTING SURFACE... 6. PIPE SHALL BE PLACED IN A DRY TRENCH... 7. APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES... 8. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS... 9. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS...

OPEN CUT PIPE INSTALLATION THOROUGHFARE ROAD



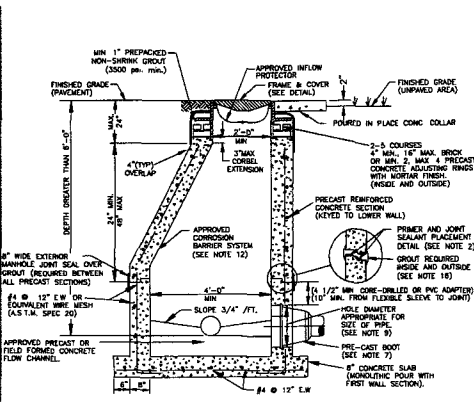
- 1. ALL ROADWAY REPAIR WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS... 2. QUANTITY TESTS SHALL BE TAKEN IN 1 FT LIFTS... 3. CHANGES OF RECORD SHALL PROVIDE FULL-TIME INSPECTION... 4. IF THE PAVEMENT IS NOT COMPLETELY RESTORED... 5. IF THE PAVEMENT IS NOT COMPLETELY RESTORED... 6. FOR THE FINAL RESTORATION... 7. APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES... 8. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS... 9. CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DP/PCP WATER MAINS...

PRESSURE TEST CRITERIA FOR WASTEWATER MAINS IN WELL FIELD AND FORCE MAIN



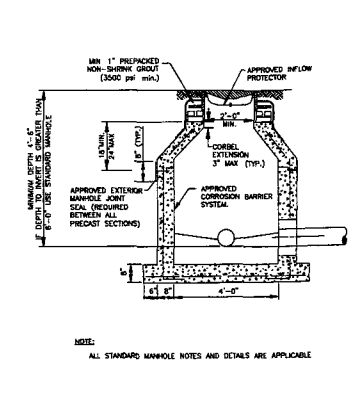
Author: Autodesk © 2010 Autodesk, Inc. All rights reserved. Project: 17/17/2016 11:57:30 AM

THIS SPACE INTENTIONALLY LEFT BLANK



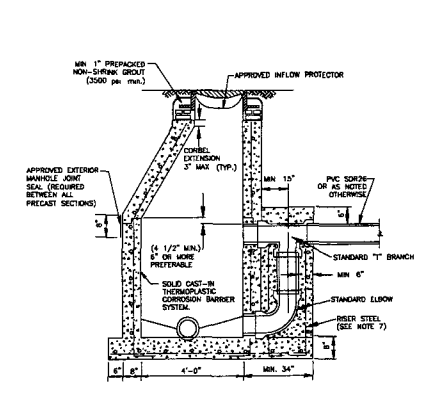
- NOTES: 1. PRECAST CONCRETE TYPE II 4000 P.S.I. CALCIUM SULFATE AGGREGATE REQUIRED MIN. 6% CHLORIDE CONTENT IN LARGE AGGREGATE, 5% IN CONCRETE (SCREENING)...

STANDARD MANHOLE 13S



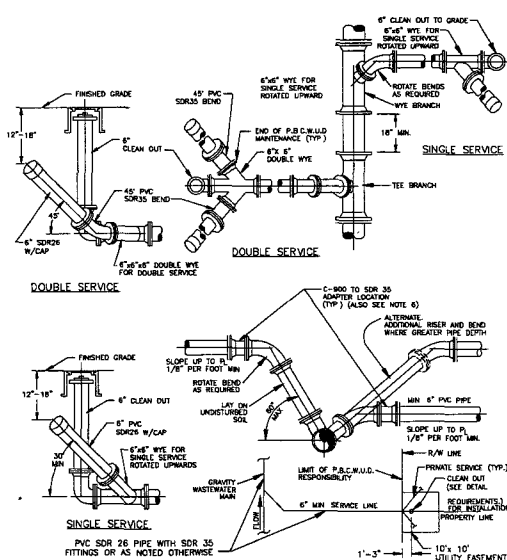
- NOTE: ALL STANDARD MANHOLE NOTES AND DETAILS ARE APPLICABLE

SHALLOW MANHOLE 14S



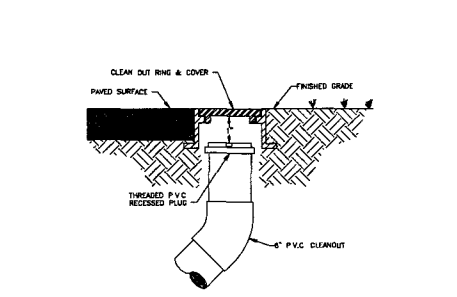
- NOTES: 1. ALL DETAILS AND SPECIFICATIONS FOR STANDARD MANHOLES ARE APPLICABLE EXCEPT FOR REFERENCES TO DROP ASSEMBLY AND CAST IN LINES...

DROP CONNECTION PRECAST MANHOLE 15S



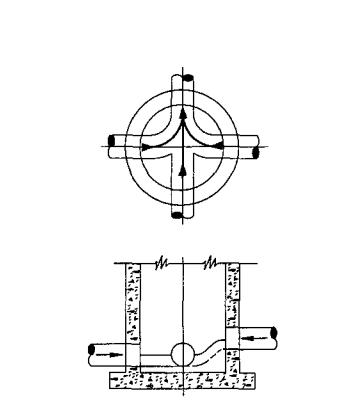
- NOTES: 1. MIN. 2' AND 5' MAX. DEPTH IS REQUIRED, UNLESS PLANS SHOW OTHERWISE, FOR SERVICE LATERAL WYE AT THE CLEAN OUT ENDING P.R.C.M.U.D. CONVEYOR AND MAINTENANCE RESPONSIBILITY...

TYPICAL WASTEWATER SERVICE CONNECTION 12S



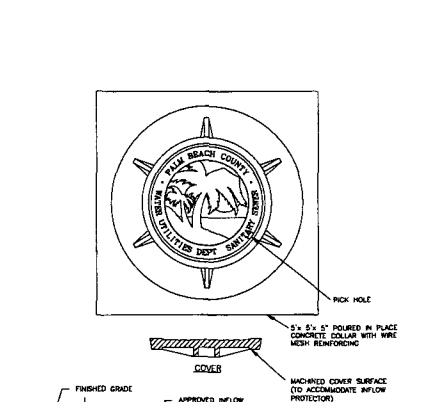
- NOTES: 1. CLEANOUTS TO BE LOCATED IN GRASS AREA WHENEVER POSSIBLE, MIN. 3' FROM EDGE OF PAVEMENT, BACK OF CURB, EDGE OF DRIVEWAY, LIGHT POLES, TRANSFORMERS, OR POWER POLES...

TYPICAL CLEANOUT INSTALLATION 11S



- NOTES: 1. PROPERLY SHARDED INVERT CHANNELS AND SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS TO PROVIDE FOR SMOOTH FLOWS...

INVERT FLOW CHANNELS 16S



- NOTES: 1. COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT 2. STANDARD FRAME AND COVER SIZE SHALL BE SEVEN INCHES (7") A 4" FRAME MAY ONLY BE USED WITH PRIOR APPROVAL...

GRAVITY SEWER MANHOLE FRAME & COVER 17S

- DEFINITIONS: 1. DEPARTMENT - THE PALM BEACH COUNTY WATER UTILITIES DEPARTMENT. 2. CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS. 3. ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION.

- GENERAL NOTES: 1. THERE SHALL BE 36" MINIMUM COVER FROM FINISHED GRADE TO TOP OF PIPE 2. DUCTILE IRON PIPE (DIP) THICKNESS SHALL CONFORM TO THE DEPARTMENT'S APPROVED MATERIAL LIST...



WASTEWATER #2 STANDARD DETAILS

CONSULTANT: DESIGNED BY: WUD DRAWN BY: WUD CHECKED BY: WUD APPROVED BY: WUD

PROJECT NO. XX-XXX



PALM BEACH COUNTY WATER UTILITIES DEPARTMENT P.O. BOX 16097 WEST PALM BEACH, FL 33416 (561)493-0000

Table with columns for DATE, SHEET NUMBER, and SEAL.

IT'S THE LAW! CALL 48 HOURS BEFORE YOU DIG 1-800-432-4770

WGI Wantman Group, Inc. LAND DESIGN SERVICES DIVISION

RECEIVED BY CITY OF GREENACRES PLANNING & ENGINEERING

15/17

THESE PLANS ARE SUBJECT TO FEDERAL USE OF SAME WITHOUT PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

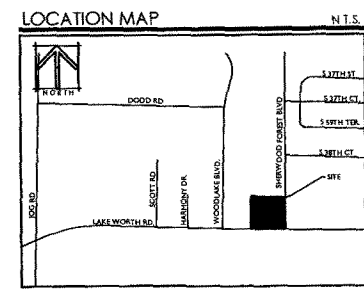
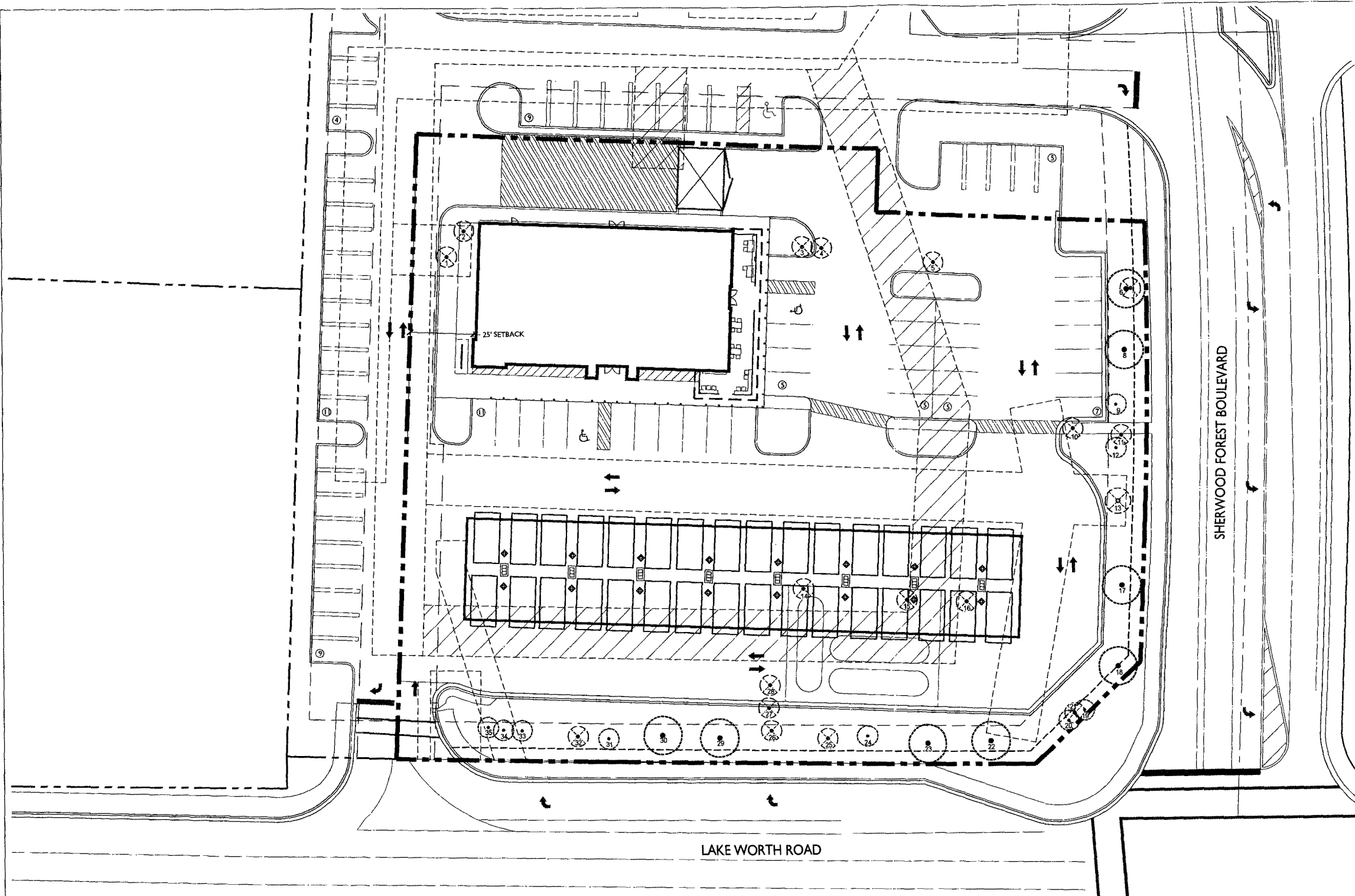
Racetrac RACETRAC PETROLEUM, INC. 3225 CUMBERLAND BOULEVARD, SUITE 100 ATLANTA, GA 30339 (770) 431-7800

SEWER DETAILS RACETRAC MARKET Lake Worth Rd @ Sherwood Forest Blvd Greenacres, Florida Palm Beach County

Table with columns for DRAWN BY, DATE, SCALE, DRAWING NAME, SHEET NO., and VERSION.







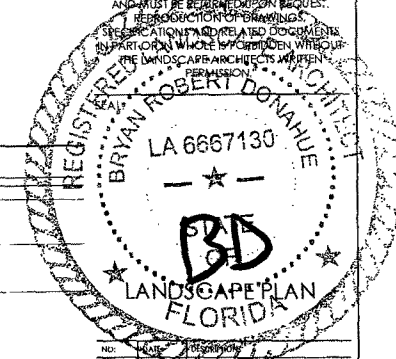
**WGI**  
 LAND DESIGN SERVICES DIVISION  
 LANDSCAPE ARCHITECTURE // PLANNING // ENGINEERING // TRANSPORTATION // SURVEYING & SITE // CREATIVE SERVICES  
 2336 Vista Parkway, West Palm Beach, FL 33411  
 Phone 561 909 2220 www.wgi33.com  
 Cert No. 4091 - 18 No. 7055

CONSULTANTS:  
 PROJECT TITLE:

**RACETRAC MARKET**  
 6025 LAKE WORTH RD.  
 PREPARED FOR RACETRAC PETROLEUM INC.  
 CITY OF GREENACRES, FLORIDA

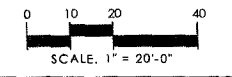
LEGEND  
 ○ TREE/PALM TO PRESERVE  
 ⊗ TREE/PALM TO REMOVE

"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN ANY MANNER IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECTS."



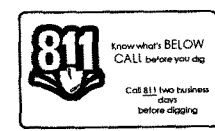
NO.	DATE	DESCRIPTION
2016-09-15	RE-DRAWN	
2016-09-15	RE-DRAWN	
2016-09-15	RE-DRAWN	

DRAWN DATE: 2016-09-15  
 DRAWN BY: BJ  
 CHECKED BY: BD  
 PROJECT #: 1507.06



SHEET TITLE:  
**TREE DISPOSITION PLAN**  
 SHEET #:  
**LD-1.01**

LAKE WORTH RD.  
 CITY OF GREENACRES, FL  
 JAN 5 2017  
 PLANNING & ENGINEERING



JAN 05 2017

TABULAR TREE LIST

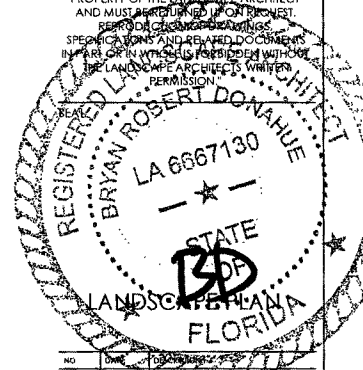
TREE	BOTANICAL NAME	COMMON NAME	HEIGHT	DISPOSITION
1	SABAL PALMETTO	SABAL PALM	25'	REMOVE
2	SABAL PALMETTO	SABAL PALM	20'	REMOVE
3	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	35'	REMOVE
4	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	30'	REMOVE
5	ILEX CASSINE	DAHOOON HOLLY	15'	REMOVE
6	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
7	SABAL PALMETTO	SABAL PALM	30'	REMOVE
8	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
9	SABAL PALMETTO	SABAL PALM	25'	REMAIN
10	ILEX CASSINE	DAHOOON HOLLY	15'	REMOVE
11	SABAL PALMETTO	SABAL PALM	20'	REMOVE
12	SABAL PALMETTO	SABAL PALM	15'	REMAIN
13	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	20'	REMOVE
14	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	15'	REMOVE
15	ILEX CASSINE	DAHOOON HOLLY	20'	REMOVE
16	ILEX CASSINE	DAHOOON HOLLY	20'	REMOVE
17	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
18	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
19	SABAL PALMETTO	SABAL PALM	25'	REMAIN
20	SABAL PALMETTO	SABAL PALM	25'	REMAIN
21	PHOENIX ROEBELII	PYGMY DATE PALM	10'	REMOVE
22	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
23	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
24	PINUS ELLIOTTII	SLASH PINE	20'	REMAIN
25	PINUS ELLIOTTII	SLASH PINE	20'	REMOVE
26	SABAL PALMETTO	SABAL PALM	20'	REMOVE
27	SABAL PALMETTO	SABAL PALM	20'	REMOVE
28	SABAL PALMETTO	SABAL PALM	20'	REMOVE
29	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
30	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	30'	REMAIN
31	PINUS ELLIOTTII	SLASH PINE	30'	REMAIN
32	PINUS ELLIOTTII	SLASH PINE	30'	REMOVE
33	SABAL PALMETTO	SABAL PALM	20'	REMAIN
34	SABAL PALMETTO	SABAL PALM	20'	REMAIN
35	SABAL PALMETTO	SABAL PALM	20'	REMAIN

CONSULTANTS:

PROJECT TITLE:

**RACETRAC MARKET**  
 6025 LAKE WORTH RD.  
 PREPARED FOR RACETRAC PETROLEUM INC.  
 CITY OF GREENACRES, FLORIDA

"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST."



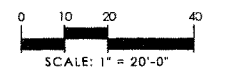
RECEIVED by  
 CITY OF GREENACRES

JAN 5 2017

PLANNING & ENGINEERING

NO.	DATE	DESCRIPTION
2016-09-15	2016-09-15	AS SUBMITTED
2017-01-05	2017-01-05	RE SUBMITTED

DRAWN DATE: 2016-09-15  
 DRAWN BY: BJ  
 CHECKED BY: BD  
 PROJECT #: 1507.06



SHEET TITLE:

TREE DISPOSITION  
 SCHEDULE

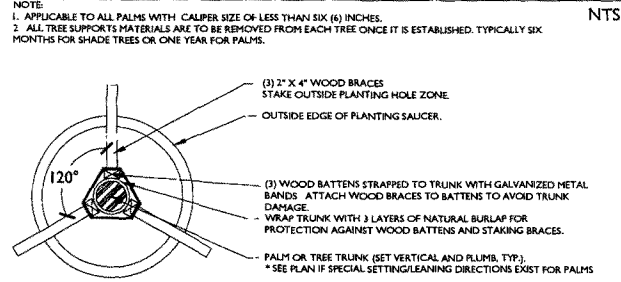
SHEET #:  
 LD-2.01



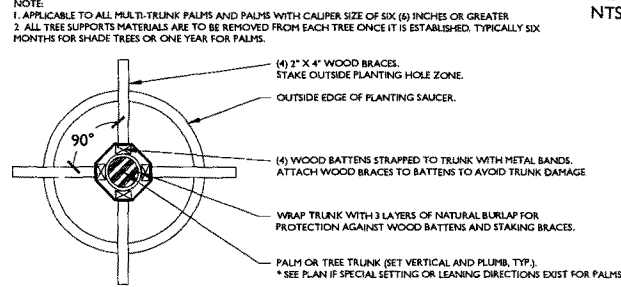
JAN 05 2017



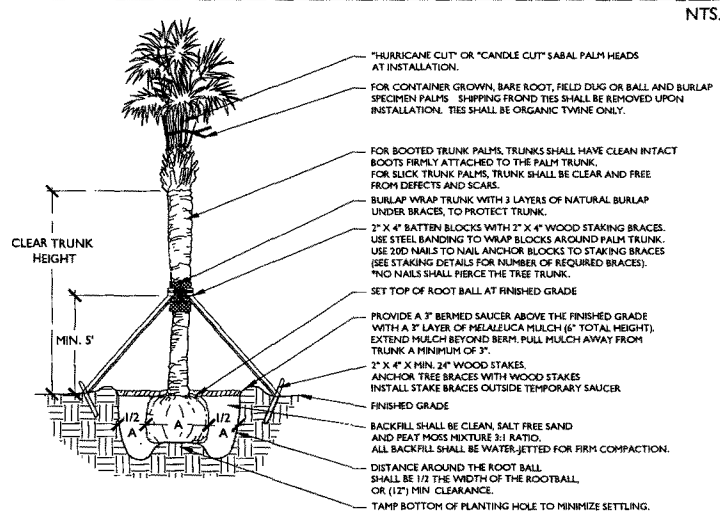
### SMALL PALM STAKING PLAN



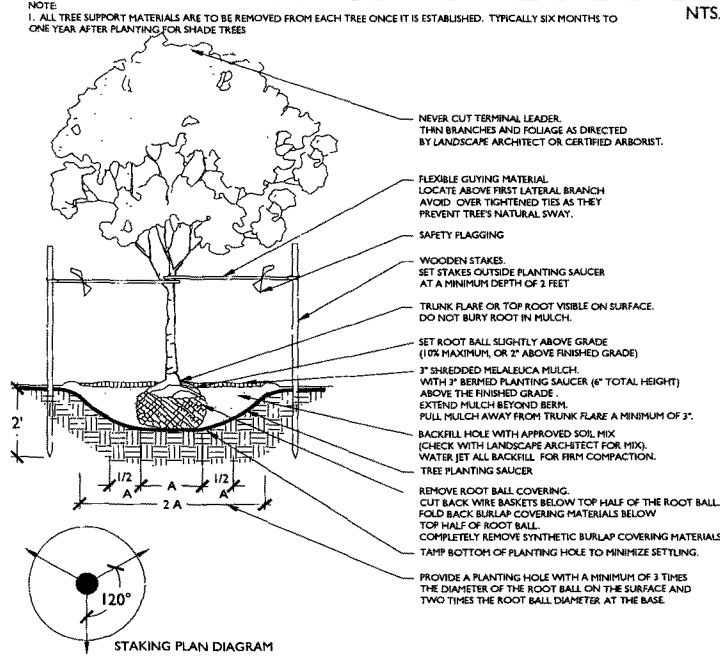
### LARGE PALM OR TREE STAKING PLAN



### PALM PLANTING DETAIL

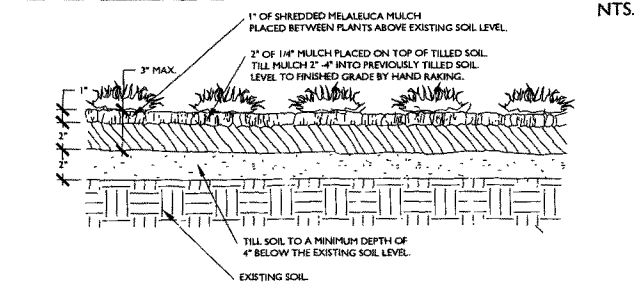


### TREE PLANTING DETAIL

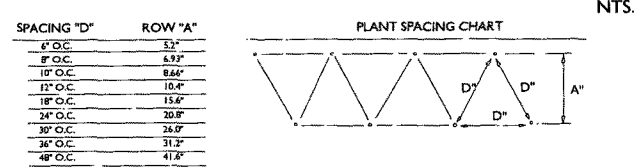


STAKING PLAN DIAGRAM

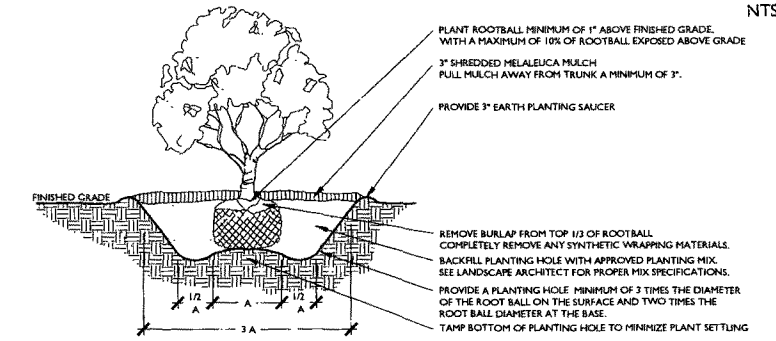
### GROUNDCOVER DETAIL



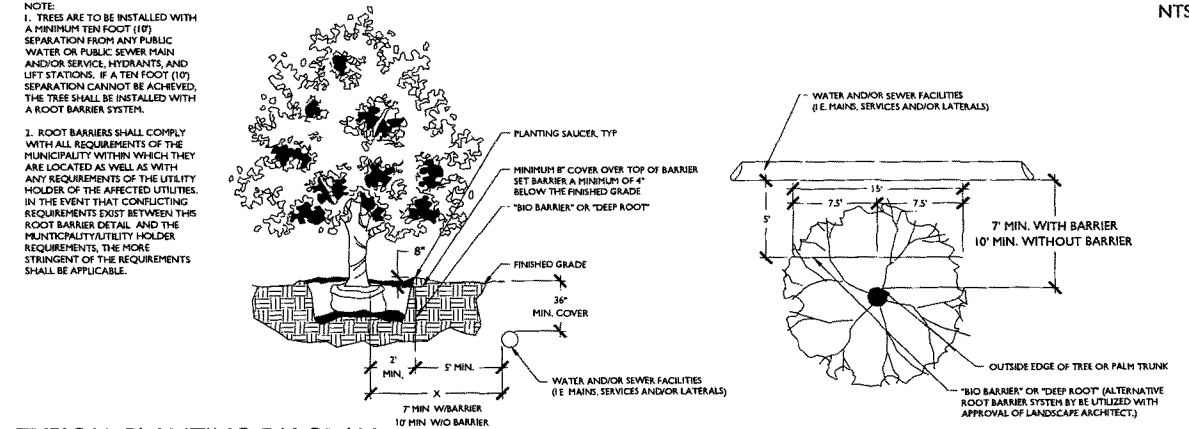
### PLANT SPACING DETAIL



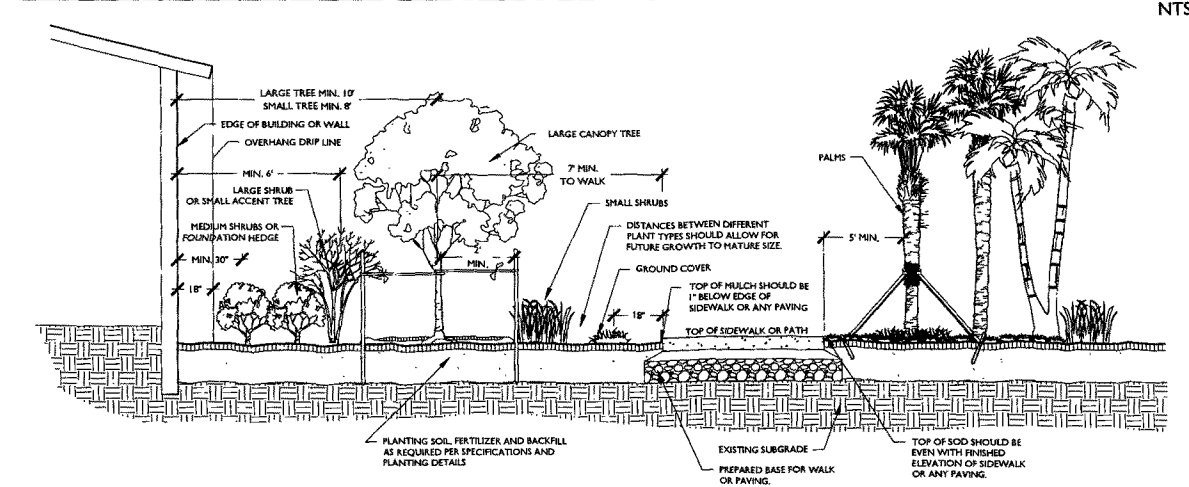
### SHRUB PLANTING DETAIL



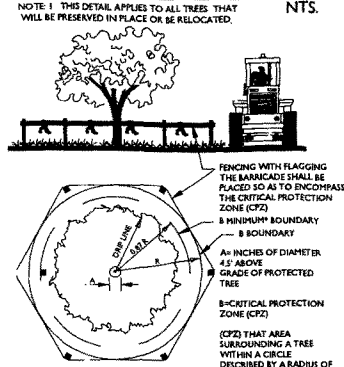
### ROOT BARRIER DETAIL



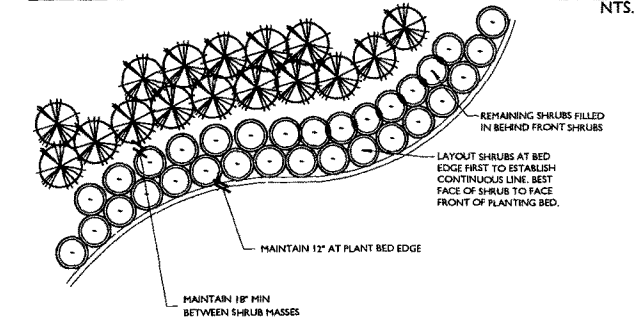
### TYPICAL PLANTING DIAGRAM



### TREE PROTECTION DETAIL



### SHRUB AND GROUNDCOVER PLANTING DETAIL



### LANDSCAPE NOTES:

- STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO, BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
- CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
- TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
- ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
- ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
- IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP. AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
- ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHTS (FPLS) RIGHT TREE RIGHT PLACE GUIDELINES.
- IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
- LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
- REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
- RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.
- ALL TREES AND PALMS TO BE FLORIDA #1 UNLESS OTHERWISE SPECIFIED.

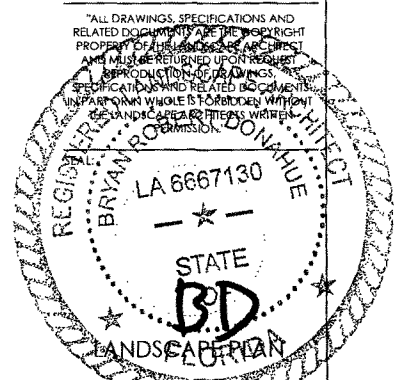


LAND DESIGN SERVICES DIVISION  
LANDSCAPE ARCHITECTURE // PLANNING // ENGINEERING // TRANSPORTATION // SURVEYING & SURVEY // CREATIVE SERVICES  
7032 VISTA DRIVE, WINDY HILLS, FL 33411  
PHONE 561.907.2220 WWW.WGLDES.COM  
CERT NO. 4091 - LB No. 7055

CONSULTANTS:

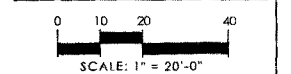
PROJECT TITLE:

RACETRAC MARKET  
6025 LAKE WORTH RD.  
PREPARED FOR RACETRAC PETROLEUM INC.  
CITY OF GREENACRES, FLORIDA



NO.	DATE	REVISION
20160915	2016-09-15	ISSUE FOR BIDDING
20160915	2016-09-15	REVISED
20160915	2016-09-15	REVISED

DRAWN DATE: 2016-09-15  
DRAWN BY: BJ  
CHECKED BY: BD  
PROJECT #: 1507.06



SHEET TITLE:  
LANDSCAPE DETAILS

SHEET #:  
LP-3.01

JAN 05 2017

RECEIVED BY  
CITY OF GREENACRES  
JAN 5 2017

PLANNING & ENGINEERING



Landscape Planting - Part I, General

- A. Description of Work
1. Provide all exterior planting as shown on the drawings or inferable therefrom and/or as specified in accordance with the requirements of the Contract Documents
2. Landscape plans provided indicate the proposed location of living plant material only. Structural elements and landscape features indicated on the landscape plans are for information purposes only. Landscape plans are not to be used for staking and layout or location of any structural site features including but not limited to, buildings, garage, pathways, easements, utilities or roadways.
3. All specifications include standards necessary for and incidental to the execution and completion of planting as indicated on the prepared drawings and specified herein.
4. All applicable federal, state and local permits shall be obtained prior to the removal, relocation, or installation of plant materials indicated within the plan documents.
5. Protection of existing features. During construction, protect all existing trees, shrubs, and other specified vegetation, site features and improvements, structures, and utilities as specified herein. and/or on submitted drawings. Removal or destruction of existing plantings is prohibited unless specifically authorized by the owner, and with permit as required by associated federal, state and local government agencies.
II. Applicable Standards
A. American National Standards for Tree Care Operations, ANSI A300 American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036
B. American Standard for Nursery Stock, ANSI Z60.1, American Nursery and Landscape Association, 1250 Eye Street NW, Suite 500, Washington, D.C. 20005
C. Hortus Third, The Staff of the L. H. Bailey Hortorum, 1976 MacMillan Publishing Co., New York
D. Florida Department of Agriculture "Grades and Standards for Nursery Plants", most recent edition.
E. National Arborist Association- Pruning Standards for Shade Trees
F. All standards shall include the latest additions and amendments as of the date of advertisement for bids
III. Qualifications
A. Landscape planting and related work shall be performed by a firm with a minimum of five years experience specializing in this type of work. All contractors and their sub-contractors who will be performing any landscape work included in this section shall be approved by the landscape architect.
B. Landscape Contractor shall be licensed and shall carry any necessary insurance and shall protect the Landscape Architect and Owner against all liabilities, claims or demands for injuries or damage to any person or property growing out of the performance of the work under this contract. All workers shall be covered by Workman's Compensation Insurance.
C. Requirements of Regulatory Agencies
D. Certificates of inspection shall accompany the invoice for each shipment of plants as may be required by law for transportation. File certificates with the landscape architect prior to acceptance of the material. Inspection by federal or state authorities at place of growth does not preclude rejection of the plants at the site.
IV. Submittals
A. Manufacturer's Data: Submit copies of the manufacturer's and/or source data for all materials specified, including soils, soil amendments and fertilizer materials. Comply with regulations applicable to landscape materials.
B. Samples: Submit samples of all topsoil, soil mixes, mulches, and organic materials. Samples shall weigh 1 kg (2 lb) and be packaged in plastic bags. Samples shall be representative of lot of material to be delivered to the site and provide an accurate indication of color, texture, and organic makeup of the material.
C. Nursery Sources: Submit a list of all nurseries that will supply plants, along with a list of the plants they will provide and the location of the nursery.
D. Soil Test: Submit soil test analysis report for each sample of topsoil and planting mix from a soil testing laboratory approved by the landscape architect.
1. Provide a particle size analysis, including the following gradient of mineral content:
USDA Designation Size in mm
Gravel +2 mm
Very Coarse Sand 1-2 mm
Coarse Sand 0.5-1 mm
Medium Sand 0.25-0.5 mm
Fine Sand 0.1-0.25 mm
Very fine sand 0.05-0.1 mm
Silt 0.002-0.05 mm
Clay smaller than 0.002
2. Provide a chemical analysis, including the following:
a. pH and buffer pH
b. Percentage of organic content by oven-dried weight
c. Nutrient levels by parts per million, including phosphorus, potassium, magnesium, manganese, iron, zinc, and calcium. Nutrient test shall include the testing laboratory recommendations for supplemental additions to the soil based on the requirements of horticultural plants.
d. Soluble salt by electrical conductivity of a 1:2 soil-water, sample measured in millimho per cm
e. Cation exchange capacity (CEC)
E. Material Testing: Submit the manufacturer's particle size analysis, and the pH analysis and provide a description and source location for the content material of all organic materials.
F. Maintenance Instructions: Prior to the end of maintenance period, Landscape Contractor shall furnish three copies of written maintenance instructions to the Landscape Architect for transmittal to the Owner for maintenance and care of installed plants through their full growing season.
VI. Utility Verification
A. The contractor shall contact the local utility companies for verification of the location of all underground utility lines in the area of the work. The contractor shall be responsible for all damage resulting from neglect or failure to comply with this requirement.
Part 2, Materials

- A. Plants shall be true to species and variety specified and nursery-grown in accordance with good horticultural practices under climatic conditions similar to those in the locality of the project for: at least two years. They shall have been freshly dug.
1. All plant names and descriptions shall be as defined in Hortus Third.
2. All plants shall be grown and harvested in accordance with the American Standard for Nursery Stock and Florida Department of Agriculture Grades and Standards for Nursery Plants.
3. Unless approved by the landscape architect, plants shall have been grown at a latitude not more than 325 km (200 miles) north or south of the latitude of the project unless the provenance of the plant can be documented to be compatible with the latitude and cold hardness zone of the planting location.
B. Unless specifically noted, all plants shall be exceptionally heavy, symmetrical, and so trained or favored in development and appearance as to be unquestionably and outstandingly superior in form, compactness, and symmetry. They shall be sound, healthy, vigorous, well branched, and densely foliated when in leaf, free of disease and insects, eggs, or larvae; and shall have healthy, well-developed root systems. They shall be free from physical damage or other conditions that would prevent vigorous growth.
1. Trees with multiple leaders, unless specified, will be rejected. Trees with a damaged or crooked leader, bark abrasions, sunscald, disfiguring knots, insect damage, or cuts of limbs over 20 mm (3/4 in.) in diameter that are not completely closed will be rejected.
2. Plants shall conform to the measurements specified, except that plants larger than those specified may be used if approved by the landscape architect. Use of larger plants shall not increase the contract price. If larger plants are approved, the root ball shall be increased in proportion to the size of the plant.
3. Caliper measurements shall be taken on the trunk 150 mm (6 in.) above the natural ground line for trees up to and including 100 mm (4 in.) in caliper, and 300 mm (12 in.) above the natural ground line for trees over 100 mm (4 in.) in caliper. Height and spread dimensions specified refer to the main body of the plant and not from branch tip to branch tip. Plants shall be measured when branches are in their normal position. If a range of sizes is given, no plant shall be less than the minimum size, and no less than 50 percent of the plants shall be as large as the maximum size specified. Measurements specified are minimum sizes acceptable after pruning, where pruning is required. Plants that meet measurements but do not possess a standard relationship between height and spread, according to the Florida Department of Agriculture Grades and Standards for Nursery Plants shall be rejected.
D. Substitutions of plant materials will not be permitted unless authorized in writing by the landscape architect. If proof is submitted in writing that a plant specified is not obtainable, consideration will be given to the nearest available size or similar variety, with a corresponding adjustment of the contract price.
E. The plant schedule provided at the end of this section, or on the drawing, is for the contractor's information only, and no guarantee is expressed or implied that quantities therein are correct or that the list is complete. The contractor shall ensure that all plant materials shown on the drawings are included in his or her bid.
F. All plants shall be labeled by plant name. Labels shall be attached securely to all plants, bundles, and containers of plant materials when delivered. Plant labels shall be durable and legible, with information given in weather-resistant ink or embossed press lettering.
G. Selection and Tagging
1. Plants shall be subject to inspection for conformity to specification requirements and approval by the landscape architect at their place of growth and upon delivery. Such approval shall not impair the right of inspection and rejection during progress of the work.
2. A written request for the inspection of plant material at their place of growth shall be submitted to the landscape architect at least ten calendar days prior to digging. The request shall state the place of growth and the quantity of plants to be inspected. The landscape architect may refuse inspection at this time if, in his or her judgment, sufficient quantities of plants are not available for inspection or landscape architect deems inspection is not required.
3. All field-grown deciduous trees shall be marked to indicate the trees north orientation. The nursery place a 1-in. diameter spot of white paint onto the north side of the tree trunk within the bottom 12 inches of the trunk.
H. Anti-Desiccants
1. Anti-desiccants, if specified, are to be applied to plants in full leaf immediately before digging or as required by the landscape architect. Anti-desiccants are to be sprayed so that all plant branches are covered with a continuous protective film.
I. Balled and Burlapped (B&B) Plant Materials
1. Trees designated B&B shall be properly dug with firm, natural balls of soil retaining as many fibrous roots as possible, in sizes and shapes as specified in the Florida Department of Agriculture Grades and Standards for Nursery Plants. Balls shall be firmly wrapped with synthetic, natural, or treated burlap, and/or wire. All synthetic fabric should be removed from the rootball prior to planting. True biodegradable burlap can be left around the root ball. The root collar shall be apparent at surface of ball. Trees with loose, broken, processed, or manufactured root balls will not be accepted, except with special written approval before planting.
J. Container Plants
1. Plants grown in containers shall be of appropriate size for the container as specified in the most recent edition of the Florida Department of Agriculture Grades and Standards for Nursery Plants and be free of circling roots on the exterior and interior of the root ball.
2. Container plants shall have been grown in the container long enough to have established roots throughout the growing medium.
K. Bare-root and Collected Plants
1. Plants designated as bare-root or collected plants shall conform to the American Standard for Nursery Stock.
2. Bare-root material shall not be dug or installed after bud break or before dormancy.
3. Collected plant material that has not been taken from active nursery operations shall be dug with a root ball spread at least 1/3 greater than nursery grown plants. When specified or approved, shall be in good health, free from disease, insect or weed infestation and shall not be planted before inspection and acceptance at the site. Testing may be required at the discretion of the Landscape Architect and/or the Owner and shall be provided at no additional cost.
L. Specimen Material. Plant material specified as specimens are to be approved by the Landscape Architect before being brought to the site. Unless otherwise noted on the drawings, these plants shall be Florida Fancy.
M. Palms
1. Coconut Palms shall be grown from a certified seed.
2. All palm species except Sabal palmetto shall have roots adequately wrapped before transporting.
3. Sabal palms shall have a huanicum cut. Sabal palms shall be installed on site at the earliest opportunity in the construction process. All Sabal palms shall be from Palm Beach County or other sandy soils. All Sabal palms shall be Florida Fancy.
4. For balled trunk palms, trunk shall have clean intact boots firmly attached to the palm trunk. For slick trunk palms, trunk shall be clear and free from defect and scars.
5. The Contractor shall treat all palms as required to prevent infestation by the palmetto weevil.
N. Sod
1. Sod shall be graded #1 or better. Sod shall be loam or muck grown with a firm, full texture and good root development. Sod shall be thick, healthy and free from defects, and debris including but not limited to dead thatch, insects, fungus, diseases and contamination by weeds, other grass varieties or objectionable plant material.
2. Sod shall be sufficiently thick to insure a dense stand of live grass. Sod shall be live, fresh, and unjured at the time of planting. Plant sod within 48 hours after harvesting.
3. Sod area shall be all areas not otherwise identified and shall include the area beyond the property line to the edge of pavement and/or edge of water.
O. Immediately after harvesting plants, protect from drying and damage until shipped and delivered to the planting site. Rootballs shall be checked regularly and watered sufficiently to maintain root viability.
P. Transportation and Storage of Plant Material
1. Branches shall be tied with rope or twine only, and in such a manner that no damage will occur to the bark or branches.
2. During transportation of plant material, the contractor shall exercise care to prevent injury and drying out of the trees. Should the roots be dried out, large branches broken, balls of earth broken or loosened, or areas of bark torn, the landscape architect may reject the injured tree(s) and order them replaced at no additional cost to the owner. All loads of plants shall be covered at all times with tarpaulin or canvas. Loads that are not protected will be rejected.
3. All bare-root stock sent from the storage facility shall be adequately covered with wet soil, sawdust, woodchips, moss, peat, straw, hay, or other acceptable moisture-holding medium, and shall be covered with a tarpaulin or canvas. Loads that are not protected in the above manner may be rejected.
4. Plants must be protected at all times from sun or drying winds. Those that cannot be planted immediately on delivery shall be kept in the shade, well protected with soil, wet mulch, or other acceptable material, and kept well watered. Plants shall not remain unplanted any longer than three days after delivery. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be lifted and handled with suitable support of the soil ball to avoid damaging it.

- Q. Mechanized Tree Spade Requirements
Trees may be moved and planted with an approved mechanical tree spade. The tree spade shall move trees limited to the maximum size allowed for a similar B&B root-ball diameter according to the American Standard for Nursery Stock or the manufacturer's maximum size recommendation for the tree spade being used, whichever is smaller. The machine shall be approved by the landscape architect prior to use. Trees shall be planted at the designated locations in the manner shown in the plans and in accordance with applicable sections of the specifications.
II. Materials for Planting
A. Mulch: Except as otherwise specified, mulch shall be shredded Mataleuca mulch - grade "A". All Mataleuca mulch shall be made entirely from the wood and bark of the Mataleuca quercus group. It shall not contain more than 10% bark (by volume). Shreds and chips shall not be larger than 3/4" diameter and 1 1/2" in length. Mulch shall be free of weeds, seeds, and any other organic or inorganic material other than Mataleuca wood and bark. It shall not contain stumps or other foreign material that will prevent its eventual decay. This shall be applied to all planted areas where indicated so that, after installation, the mulch thickness will not be less than 3" Submit sample for approval.
B. Peat: Shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition free from lumps.
C. Gravel Mulch: Use only where specifically indicated on the plans of the size and type shown. Unless otherwise specified it shall be water-worn, hard durable gravel, washed free of loam, sand, clay and other foreign substances. It shall be a minimum of 3" deep and shall be contained with edging or other approved gravel stop as indicated on the plans. It shall be a maximum of 1 1/2", a minimum of 3/4" and of a readily-available natural gravel color range. Provide geotextile filter fabric below aggregate rock. Submit sample for approval.
D. Root Barrier: Where specified, root barriers shall be installed on all tree and palm material in accordance with the root barrier detail provided within the plan drawings. Root barriers shall comply with all requirements of the municipality within which they are located as well as with any utility holder requirements of any affected utilities. In the event that conflicting requirements exist between the root barrier detail provided within the plan documents and the municipality/utility holder requirements, the more stringent of the requirements shall be applicable.
E. Planter Edging: Use only where specifically indicated on plans. Edging shall be the color black.
F. Anti-desiccant shall be an emulsion specifically manufactured for agricultural use, which provides a protective film over plant surfaces. Anti-desiccants shall be delivered in containers of the manufacturer and shall be mixed according to the manufacturer's directions. Submit manufacturer literature for approval.
III. Materials for Soil Amendment
A. Pine Bark: Horticultural-grade milled pine bark, with 80 percent of the material by volume sized between 0.1 and 15.0 mm
1. Pine bark shall be aged sufficiently to break down all woody material. Pine bark shall be screened.
2. pH shall range between 4 and 7.0.
3. Submit manufacturer literature for approval.
B. Size in mm
Organic Matter: Leaf matter and yard waste composted sufficiently to break down all woody fibers, seeds, and leaf structures, and free of toxic and nonorganic matter. Organic matter shall be commercially prepared compost. Submit 0.5 kg (1 lb) sample and suppliers literature for approval.
C. Course Sand: Course concrete sand, ASTM C-33 Fine Aggregate, with a Fines Modulus Index of 2.75 or greater
1. Sands shall be clean, sharp, natural sands free of limestones, shale and siltate particles.
2. Provide the following particle size distribution:
Sieve Percentage Passing
No. 100 100
3/8 in (9.5 mm) 95-100
No. 4 (4.75 mm) 80-100
No. 8 (2.36 mm) 50-85
No. 16 (1.18 mm) 25-60
No. 30 (0.60 mm) 10-30
No. 50 (0.30 mm) 2-10
No. 100 (0.15 mm) 0
D. Lime: shall be ground, palletized, or pulverized lime manufactured to meet agricultural standards and contain a maximum of 60 percent oxide (i.e. calcium oxide plus magnesium oxide). Submit manufacturer literature for approval.
E. Sulfur shall be flowery or sulfur, pelletized or granular sulfur, or iron sulfate. Submit manufacturer literature for approval.
F. Fertilizer: Agricultural fertilizer of a formula indicated by the soil test. Fertilizers shall be organic, slow-release compositions whenever applicable. Submit manufacturer literature for approval.
IV. Planting Mix
A. Planting Mix
1. Planting Mix for Trees, Shrubs, Groundcovers and Vines: Check with landscape architect for appropriate mixture.
2. Planting Mix for Palms: Mixture of course sand and peat mixed to the following proportion:
Component Percent by Volume
Coarse Sand 75%
Peat 25%
B. Planting mix shall be thoroughly mixed, screened, and shredded.
C. Prior to beginning the mixing process, submit a 1-kg (2-lb) sample of the proposed mix with soil test results that indicate the mix ratio and the results achieved.
D. During the mixing process but prior to installing the mix, submit a 1-kg (2-lb) sample for each 200 cubic meters (250 cubic yards) of planting mix, taken randomly from the finished soil mix, with soil test results for approval. In the event that the test results do not meet the required particle size distribution, remix and resubmit a revised planting mix.
E. Make all amendments of lime/sulfur and fertilizer indicated by the soil test results at the time of mixing.
F. All mixing shall take place in the contractors yard, using commercial mixing equipment sufficient to thoroughly mix all components uniformly.
G. Protect the planting mix from erosion prior to installation.
Part 3, Execution

- I. Excavation of Planting Areas
A. Locations for plants and/or outlines of areas to be planted are to be staked out at the site. Locate and mark all subsurface utility lines. Approval of the stakeout by the landscape architect is required before excavation begins.
B. Tree, shrub, and groundcover beds are to be excavated to the depth and widths indicated on the landscape plan detail drawings. If the planting area under any tree is initially dug too deep, the soil added to bring it up to the correct level should be thoroughly tamped.
1. The sides of the excavation of all planting areas shall be sloped at a 45 degree. The bottom of all beds shall slope parallel to the proposed grades or toward any subsurface drain lines within the planting bed. The bottom of the planting bed directly under any tree shall be horizontal such that the tree sits plumb.
2. Maintain all required angles of repose of the adjacent materials as shown on the drawings. Do not excavate compacted subgrades of adjacent pavement or structures.
3. Subgrade soils shall be separated from the topsoil, removed from the area, and not used as backfill in any planted or lawn area. Excavations shall not be left uncovered or unprotected overnight.
C. For trees and shrubs planted in individual holes in areas of good soil that is to remain in place and/or to receive amendment to the top 150-mm (6 in.) layer, excavate the hole to the depth of the root ball and to widths shown on the drawing. Slope the sides of the excavation at a 45 degree angle up and away from the bottom of the excavation.
1. In areas of slowly draining soils, the root ball may be set up to 75 mm (3 in.) or 1/8 of the depth of the root ball above the adjacent soil level.
2. Save the existing soil to be used as backfill around the tree.
3. On steep slopes, the depth of the excavation shall be measured at the center of the hole and the excavation dug as shown on the drawings.
D. Detrimental soil conditions. The landscape architect is to be notified, in writing, of soil conditions encountered, including poor drainage, that the contractor considers detrimental to the growth of plant material. When detrimental conditions are uncovered, planting shall be discontinued until instructions to resolve the conditions are received from the landscape architect.
E. Obstructions: If rock, underground construction work, utilities, tree roots, or other obstructions are encountered in the excavation of planting areas, alternate locations for any planting shall be determined by the landscape architect.
II. Installation of Planting Mix
A. Prior to the installation of the planting mix, install subsurface drains, irrigation main lines, lateral lines, and irrigation risers shown on the drawings.
B. The landscape architect shall review the preparation of subgrades prior to the installation of planting mix.
C. Do not proceed with the installation of planting mix until all utility work in the area has been installed.
D. Protect adjacent walls, walks, and utilities from damage or staining by the soil. Use 12-mm (1/2 in.) plywood and/or plastic sheathing as directed to cover existing concrete, metal, masonry work, and other items as directed during the progress of the work.
1. Clean up any soil or dirt spilled on any paved surface at the end of each working day.
2. Any damage to the paving or architectural work caused by the soils installation contractor shall be repaired by the general contractor at the soils installation contractor's expense.
E. Till the subsoil into the bottom layer of topsoil or planting mix.
1. Loosen the soil of the subgrade to a depth of 50 to 75 mm (2 to 3 in.) with a rototiller or other suitable device.
2. Spread a layer of the specified topsoil or planting mix 50 mm (2 in.) deep over the subgrade. Thoroughly till the planting mix and the subgrade together.
3. Immediately install the remaining topsoil or planting mix in accordance with the following specifications. Protect the tilled area from traffic. DO NOT allow the tilled subgrade to become compacted.
4. In the event that the tilled area becomes compacted, fill the area again prior to installing the planting mix.
F. Install the remaining topsoil or planting mix in 200- to 250-mm (8- to 10-in.) lifts to the depths and shown on the drawing details. The depths and grades shown on the drawings are the final grades after soil settlement and shrinkage of the organic material. The contractor shall install the soil at a higher level to anticipate this reduction of soil volume, depending on predicted settling properties for each type of soil.
1. Phase the installation of the soil such that equipment does not have to travel over already-installed topsoil or planting mixes.
2. Compact each lift sufficiently to reduce setting but not enough to prevent the movement of water and feeder roots through the soil. The soil in each lift should feel firm to the foot in all areas and make only slight heel prints. Overcompaction shall be determined by the following field percolation test.
a. Dig a hole 250 mm (10 in.) in diameter and 250 mm (10 in.) deep.
b. Fill the hole with water and let it drain completely. Immediately refill the hole with water, and measure the rate of fall in the water level.
c. In the event that the water drains at a rate less than 25 mm (1 in.) per hour, fill the soil to a depth required to break the overcompaction.
d. The landscape architect shall determine the need for, and the number and location of percolation tests based on observed field conditions of the soil.
3. Maintain moisture conditions within the soils during installation to allow for satisfactory compaction. Suspend installation operations if the soil becomes wet. Do not place soils on wet subgrade.
4. Provide adequate equipment to achieve consistent and uniform compaction of the soils. Use the smallest equipment that can reasonably perform the task of spreading and compaction.
5. Add lime, sulfur, fertilizer, and other amendments during soil installation. Spread the amendments over the top layer of soil and till into the top 100 mm (4 in.) of soil. Amend the soil as needed.
6. Protect soil from overcompaction after placement. An area that becomes overcompacted shall be tilled to a depth of 125 mm (6 in.) Uneven or settled areas shall be filled and regraded.

- III. Fine Grading
A. It shall be the responsibility of the Contractor to finish grade (min. 6" below adjacent F.F.E.). Finish grades in planting areas shall be one inch lower than adjacent paving and one to two inches above 1" of mulching. New earthwork shall blend smoothly into the existing earthwork, and grades shall pitch evenly between spot grades. All planted areas must pitch to drain at a minimum of 1/4" per foot. Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
B. Fill all dips and remove any bumps in the overall plane of the slope.
1. The tolerance for dips and bumps in lawn areas shall be a 12-mm (1/2 in.) deviation from the plane in 3,000 mm (10 ft).
2. The tolerance for dips and bumps in shrub planting areas shall be a 25-mm (1 in.) deviation from the plane in 3,000 mm (10 ft).
3. All fine grading shall be inspected and approved by the landscape architect prior to planting, mulching, sodding, or seeding.
C. Berming: No existing berms wider than 10' of any existing tree nor will it be allowed to encroach upon any utility, drainage, or maintenance easement. Berming shall not impede or obstruct any necessary swales needed to drain other areas for the property.
IV. Planting Operations
A. Plants shall be set on flat-tamped or unexcavated pads at the same relationship to finished grade as they were to the ground from which they were dug, unless otherwise noted on the drawings. Plants must be set plumb and braced in position until topsoil or planting mix has been placed and tamped around the base of the root ball. Improper compacting of the soil around the root ball may result in the tree settling or leaning. Plants shall be set so that they will be at the same depth and so that the root ball does not shift or move laterally one year later.
1. Determine the elevation of the root flare and ensure that it is planted at grade. This may require that the tree be set higher than the grade in the nursery.
2. If the root flare is less than 50 mm (2 in.) below the soil level of the root ball, plant the tree the appropriate level above the grade to set the flare even with the grade. If the flare is more than 50 mm (2 in.) at the center of the root ball the tree shall be rejected.
B. Lift plants only from the bottom of the root balls or with belts or lifting harnesses of sufficient width not to damage the root balls. Do not lift trees by their trunk or use the trunk as a lever in positioning or moving the tree in the planting area.
C. Remove plastic, paper, or fiber pots from containerized plant material. Pull roots out of the root mat. Loosen the potting medium and shake away from the root mat. Immediately after removing the container, install the plant such that the roots do not dry out. Pack planting mix around the exposed roots while planting.
D. The roots of bare-root trees shall be pruned at the time of planting to remove damaged or undesirable roots (those likely to become a detriment to future growth of the root system). Bare-root trees shall have the roots spread to approximate the natural position of the roots and shall be centered in the planting pit. The planting-soil backfill shall be worked firmly into and around the roots, with care taken to fill in completely with no air pockets.
E. Cut ropes or strings from the top of shrub root balls and trees smaller than 3 in. caliper after plant has been set. Remove burlap or cloth wrapping and any wire baskets from around top half of balls. Do not turn under and bury portions of burlap at top of ball.
1. Do not immediately remove the ropes and burlap from trees larger than 3 in. caliper. Return to each tree three months after planting and cut all ropes around the trunks and tops of the root balls of these trees.
2. Completely remove any waterproof or water-repellant strings or wrappings from the root ball and trunk before backfilling.
F. Set balled and burlapped trees in the hole with the north marker facing north unless otherwise approved by the landscape architect.
G. Place native soil, topsoil, or planting mix into the area around the tree, tamping lightly to reduce settlement.
1. For plants planted in individual holes in existing soil, add any required soil amendments to the soils, as the material is being backfilled around the plant. Ensure that the amendments are thoroughly mixed into the backfill.
2. For plants planted in large beds of prepared soil, add soil amendments during the soil installation process.
3. Ensure that the backfill immediately around the base of the root ball is tamped with foot pressure sufficient to prevent the root ball from shifting or leaning.
H. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. Stagger strips to offset joints in adjacent courses. Bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. Sod along slopes shall be pegged to hold sod in place along slopes or banks a wood peg acceptable to the Landscape Architect shall be used at no additional cost to the Owner. If, in the opinion of the Landscape Architect, top-dressing is required after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in without additional charge.
I. Thoroughly water all plants immediately after planting. Apply water by hose directly to the root ball and the adjacent soil.
J. Remove all tags, labels, strings, etc. from all plants.
K. Remove any excess soil, debris, and planting material from the job site at the end of each working day.
L. Form watering saucers 100 mm (4 in.) high immediately outside the area of the root ball of each tree as indicated on the drawings.
V. Relocation of Existing Material:
A. Landscape Contractor shall root prune trees which are to be relocated in accordance with approved horticultural practices and the following procedures:
1. Select a healthy tree.
2. Selectively trim the canopy removing dead limbs, cross branching over crowded areas, and lower undesirable limbs. Fertilize and water trees before pruning.
3. Root prune 50% of the root system approximately 18"-2' deep (depending upon species and size). This is done by hand with sharp hand tools or a root pruning saw. The diameter of the root ball to be pruned is 8-12 inches per every one inch of diameter at breast height of the tree.
4. Back fill the existing soil with peat moss to stimulate new root growth of the pruned roots.
5. Water in thoroughly and treat with a mycorrhizae and a low nitrogen fertilizer (so not to burn the pruned roots). Brace trees if deemed necessary.
6. The root pruned tree should be watered every day (especially during warm months of the season), the equivalent of 5 gallons for every DBH of tree per day.
7. Root pruned trees should be let to stand for a minimum of 6 weeks for trees less than 6" DBH and as long as 3 months for larger specimens prior to transplanting.
8. For best results and survivorship, new root growth should be evident on root pruned trees prior to transplanting.
9. Upon transplanting, water should be applied every day as outlined in step 6 for at least one year.
VI. Staking and Guying
A. The Contractor shall stake all trees and palms in accordance with the tree and palm staking details provided within the plan drawings. Alternate methods of guying or staking may be employed with the prior approval of the Landscape Architect.
B. The Contractor shall be responsible for the replacement or adjustment of all trees, palms or shrubs that fall or lean during the guarantee period. The Contractor shall be responsible for any damage caused by the falling or leaning of trees.
C. Stakes and guys shall be installed immediately upon approval or planting, and shall be removed in accordance with the staking details provide within the plan drawings. Any tree that is not stable at the end of the warranty period shall be rejected.
VII. Pruning
A. Plants shall not be heavily pruned at the time of planting. Pruning is required at planting time to correct defects in the tree structure, including removal of injured branches, waterpruned, suckers, and interfering branches. Healthy lower branches and interior small limbs should not be removed except as necessary to clear walks and roads. In no case should more than one-quarter of the branching structure be removed. Retain the normal or natural shape of the plant.
B. All pruning shall be completed using clean, sharp tools. All cuts shall be clean and smooth, with the bark intact with no rough edges or tears.
C. Pruning of large trees shall be done from a hydraulic man-lift such that it is not necessary to climb the tree.
VIII. Mulching
A. All trees, palms, shrubs, and other plantings will be mulched with mulch previously approved by the landscape architect. The mulch shall be a minimum 3" thick layer over all tree, shrub and ground cover planting areas, unless otherwise specified. All mulch layers shall be of the specified thickness at the time of the final acceptance of the work. Mulch must not be placed within 3 inches of the trunks of trees, palms or shrubs.
B. Place mulch at least 3" in depth in a circle around all trees located in lawn areas. The diameter of the circle shall be 18" in diameter larger than the ball of the plant provided. Mulch must not be placed within 3 inches of the trunks of trees, palms or shrubs.
IX. Maintenance of Trees, Shrubs, and Vines
A. Maintenance shall begin immediately after each plant is planted and continue until its acceptance has been confirmed by the landscape architect.
B. Maintenance shall consist of pruning, watering, cultivating, weeding, mulching, fertilizing, tightening and repairing guys and stakes, resetting plants to proper grades or upright position, restoring of the planting surface, and furnishing and applying such sprays or other materials as necessary to keep plantings free of insects and diseases, and in vigorous condition.
C. Planting areas and plants shall be protected at all times against trespassing and damage of all kinds for the duration of the maintenance period. If a plant becomes damaged or injured, it shall be treated or replaced as directed by the landscape architect at no additional cost.
D. Watering. Contractor shall irrigate as required to maintain vigorous and healthy tree growth. Overwatering or flooding shall not be allowed. The contractor shall monitor, adjust, and use existing irrigation facilities, if available, and furnish any additional material, equipment, or water to ensure adequate irrigation. Root balls of all trees and large shrubs shall be spot watered using hand-held hoses during the first four months after planting, as required to ensure adequate water within the root ball.
E. During periods of restricted water usage, all governmental regulations (permanent and temporary) shall be followed. The contractor may have to transport water from ponds or other sources, at no additional expense to the owner when irrigation systems are unavailable.
F. Remove soil ridges from around watering basins prior to end of maintenance period, as directed by Landscape Architect.
X. Acceptance
A. The landscape architect shall inspect all work for acceptance upon written request of the contractor. The request shall be received at least ten calendar days before the anticipated date of inspection.
B. Acceptance of plant material shall be for general conformance to specified size, character, and quality and shall not relieve the contractor of responsibility for full conformance to the contract documents, including correct species.
C. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect, the landscape architect shall certify in writing that the work has been accepted.
XI. Acceptance in Part
A. Work may be accepted in parts when the landscape architect and contractor deem that practice to be in their mutual interest. Approval must be given in writing by the landscape architect to the contractor verifying that the work is to be completed in parts. Acceptance of work in parts shall not waive any other provision of this contract.
XII. Guarantee Period and Replacements
A. The guarantee period for trees and shrubs shall begin at the date of acceptance.
B. The contractor shall guarantee all plant material to be in healthy and flourishing condition for a period of one year from the date of acceptance.
C. When work is accepted in parts, the guarantee periods extend from each of the partial acceptances to the terminal date of the guarantee of the last acceptance. Thus, all guarantee periods terminate at one time.
D. The contractor shall replace, without cost, as soon as weather conditions permit, and within a specified planting period, all plants determined by the landscape architect to be dead or in an unacceptable condition during and at the end of the guarantee period. To be considered acceptable, plants shall be free of dead or dying branches and branch tips and shall bear foliage of normal density, size, and color. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification.
E. The guarantee of all replacement plants shall extend for an additional period of one year from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of said extended guarantee period, the landscape architect may elect subsequent replacement or credit for that item.
F. At the end of the guarantee, the contractor shall reset grades that have settled below the proposed grades on the drawings.
G. The contractor shall make periodic inspections, at no extra cost, during the guarantee period to determine what changes, if any, should be made in the maintenance program. If changes are recommended, they shall be submitted in writing to the landscape architect. Claims by the contractor that the owners maintenance practices or lack of maintenance resulted in dead or dying plants will not be considered if such claims have not been documented by the contractor during the guarantee period and regraded.
XIII. Final Inspection and Final Acceptance
At the end of the guarantee period and upon written request of the contractor, the landscape architect will inspect all guaranteed work for final acceptance. The request shall be received at least ten calendar days before the anticipated date for final inspection. Upon completion and re-inspection of all repairs or renewals necessary in the judgment of the landscape architect at that time, the landscape architect shall certify, in writing, that the project has received final acceptance.



LANDSCAPE ARCHITECTURE // PLANNING // ENGINEERING // TRANSPORTATION // SURVEYING & SITE // CREATIVE SERVICES
2035 Vialo Parkway, West Palm Beach, FL 33411
Phone: 561.939.2200 www.wglusa.com
Cert No. 4091 - LR No. 7055

CONSULTANTS:
PROFESSIONAL ENGINEERING

RACETRAC MARKET
6025 LAKE WORTH RD.
PREPARED FOR RACETRAC PETROLEUM INC.
CITY OF GREENACRES, FLORIDA

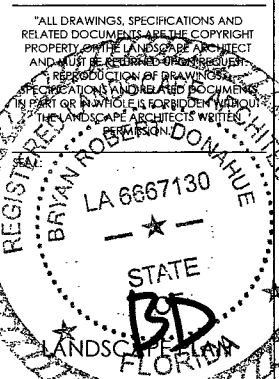
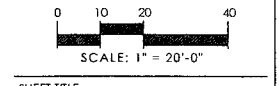


Table with columns: NO., DATE, NAME, DRAWN BY, CHECKED BY, PROJECT #. Includes drawing date 2016-09-15, drawn by BJ, checked by BD, project # 1507.06.



SHEET TITLE: LANDSCAPE SPECIFICATIONS
SHEET #: LP-3.02

JAN 05 2017



**LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION**

**I. Project Description:**

**Petitioner:** City of Greenacres

**Request:** Zoning Text Amendments (ZTA) to Chapter 16, Article VI.

The intent of the City initiated zoning text amendment is to clarify, add and delete certain sections within Chapter 16, Article VI of the City of Greenacres Zoning Code relating to signage.

**II. Proposed Zoning Code Amendments:**

The following Zoning Code regulations are impacted by the proposed Zoning Text Amendments. Text shown in ~~strikethrough~~ is to be deleted. Text shown in underline is to be added.

**Proposed Change #1**

**ARTICLE VI. SIGN REGULATIONS.**

**Sec. 16-934. Prohibited signs.**

It shall be a violation of this chapter to erect, install, place, or maintain the following signs or advertising structures in this City:

- (1) Schedule of district regulations. Any signs or advertising structures which are not specifically permitted under the following divisions regarding the district regulation or otherwise specifically permitted under this chapter.
- (2) Traffic or pedestrian hazard. Any sign or advertising structure which constitutes a traffic hazard or a detriment to traffic safety by reason of its size, location, movement, content, coloring, or method of illumination, or by obstructing the vision of drivers, or signs that obstruct or detract from the visibility of traffic-control devices or emergency vehicles. The use of flashing lights or revolving lights is prohibited as part of any sign as it constitutes a traffic hazard. Any sign which by glare or method of illumination constitutes a hazard to either vehicular or non-vehicular traffic is prohibited. Also prohibited is any sign which may be confused with or purports to be a governmental, traffic direction or safety sign, or any other sign or group of signs which create a traffic hazard as determined by the city.

- (3) Obscenities. Any sign or advertising structure with words, scenes or graphics which are obscene, indecent and prurient. Signs which exhibit obscene or illegal written messages or materials.
  - (4) Right-of-way. Any sign or advertising structure (other than those erected by a governmental agency or required to be erected by a governmental agency for a public purpose) erected, installed or placed on the right-of-way of any street, road or public way, or signs overhanging or infringing upon the right-of-way of any street, road or public way, except as specifically permitted by this chapter.
  - (5) Public property. Any sign or advertising structure erected on city property or other governmental property other than signs erected by any governmental entity for public purposes.
  - (6) Ingress and egress to buildings. Any sign or advertising structure which is erected, installed or maintained that obstructs any fire escape, required exit, window or door opening intended as a means of ingress or egress.
  - (7) Rear of a building. Any sign or advertising structure which is erected, installed or maintained upon the rear of a building, with the exception of allowing a tenant to identify the business name and/or address on a rear exit door with no greater than six (6) inch nonilluminated letters painted, printed, stenciled, or attached to the face of the rear door.
  - (8) "A" frame sign.
  - (9) Animated sign.
  - (10) Banner sign. Any banner sign, with the exception of those banner signs that are granted a temporary use permit by the city.
  - (11) Off-premises sign.
  - (12) Portable sign.
  - (13) Projecting sign.
  - (14) Snipe sign.
  - (15) Temporary sign, with the exception of those temporary signs that are granted a temporary use permit.
  - (16) Vehicular sign.
  - (17) Vee-shaped signs.
  - (18) Abandoned signs.
  - (19) Signs placed upon benches, bus shelters, or waste receptacles, except as may be authorized by the City of Greenacres or superseded by state statutes.
  - (20) Awning signs.
  - (21) Exposed neon tubing, neon signs, and LED signs that emulate the general appearance of traditional neon signs.
  - (22) Signs which emit a sound, odor or visible matter.
  - (23) Signs or sign structures any portion of which extends above the parapet, building roof line or canopy against which the sign is located.
  - (24) Any sign with an exposed unshielded light source which does not comply with the terms, conditions and provisions contained in this chapter.
  - (25) Painted wall signs.
- 
-

- (26) Hot or cold-air balloons, with the exception of those cold air balloons that are granted a temporary use permit. Inflatable shapes or figures with or without words or pictures.
- (27) Electronic Changeable copy signs, with the exception of the following, which may be displayed as set forth in this Article:
- a. ~~except~~ Time and temperature signs as defined in section 16-932(35);
  - b. ~~Gas station price signs as defined in section 16-932(16);~~
  - c. Ground signs for government uses located in the Government Use (GU) zoning district,
- All both subject to the requirement of section 16-985(a) note 3.
- (28) Any sign not specifically, or by reasonable implication, permitted herein.

**Proposed Change #2**

**ARTICLE VI. SIGN REGULATIONS.**

**DIVISION 4. SIGN STANDARDS\***

**Sec. 16-985. Identification signs.**

(a) Identification signs are subject to the following:

<i>Identification Signs</i>						
<i>District</i>	<i>Free-standing</i>				<i>Building<sup>2,9</sup></i>	
	<i>Number</i>	<i>Copy area per sign face<sup>3</sup></i>	<i>Height</i>	<i>Setbacks</i>	<i>Number</i>	<i>Copy area per sign face</i>
AR RE RL RM RMH RH	1 per major access <sup>1</sup>	Max. of 32 sq. ft.	Max. of 6'	Min. of 5' from all property lines, and out of all sight visibility triangles	1 per frontage <sup>4,8</sup>	Max. of 32 sq. ft.
OPI	1 per frontage <sup>5,7</sup>	25% of parcel l.f., max. 60 sq. ft.	5% of parcel l.f., max. 15'		1 per frontage <sup>8</sup>	1 ½ sq. ft. per l.f. of building or tenant frontage, max of 60 sq. ft.
CN MXD- OS	1 per frontage <sup>5,7</sup>	25% of parcel l.f., max. 75 sq. ft.	5% of parcel l.f., max. 15'		1 per frontage <sup>8</sup>	1 ½ sq. ft. per l.f. of building or tenant frontage, max of 75 sq. ft.
CG	1 per frontage <sup>5,7</sup>	30% of parcel l.f., max. 240 sq. ft.	5% of parcel l.f., max. 20'		1 per frontage <sup>8</sup>	1 ½ sq. ft. per l.f. of building or tenant frontage, max of 240 sq. ft.



CI	1 per frontage <sup>5,7</sup>	30% of parcel l.f., max. 400 sq. ft.	5% of parcel l.f., max. 25'		1 per frontage <sup>8</sup>	1 ½ sq. ft. per l.f. of building or tenant frontage, max of 240 sq. ft.
MXD-R, MXD-C	1 per frontage <sup>5,7</sup>	15% of parcel l.f., max. 12 sq. ft.	Max. 5'		1 per frontage <sup>8</sup>	1 ½ sq. ft. per l.f. of building or tenant frontage, max of 30 sq. ft.
MXD-O	1 per frontage <sup>5,7</sup>	25% of parcel l.f., max. 90 sq. ft.	5% of l.f., max. 15'		1 per frontage <sup>8</sup>	1 ½ sq. ft. per l.f. of building or tenant frontage, max of 60 sq. ft.
GU	1 per frontage <sup>5,7</sup>	30% of parcel l.f., max. 400 sq. ft.	Max of 6'		1 per frontage <sup>8</sup>	1 ½ sq. ft. per l.f. of building or tenant frontage, max of 240 sq. ft.

<sup>1</sup> For planned residential developments and subdivisions, two (2) signs with one (1) copy side each, may be permitted in place of a single sign with two (2) copy areas.

<sup>2</sup> For single-use stores with over forty thousand (40,000) sq. ft. of floor area:

- a. Three (3) building signs with copy area not to exceed the maximum area allowed.
- b. There shall be a minimum separation of three (3) feet between wall signs.
- c. Side wall building signage shall not exceed fifty (50) percent of max. sq. ft. of allowable building sign copy area, or twenty-five (25) percent of max. sq. ft. of allowable building signs copy area when adjacent to residential parcels.

<sup>3</sup> Time and temperature signs not exceeding two (2) feet in height may be included as an integral part of the identification sign copy area in CG and CI districts for banks and financial institutions with drive-thrus. Electronic changeable copy gas station price signs not exceeding twelve (12) square feet may be included as an integral part of the freestanding sign copy area for gas stations located in the CG and CI districts provided they are LED style and the sign copy is only for fuel prices. Electronic changeable copy signs for Government users are limited to messages that serve a public purpose and are not permitted to promote commercial messages of any kind.

<sup>4</sup> Wall signs are only applicable for non-residential uses in residential districts.

<sup>5</sup> Outparcels and outbuildings within a unified development shall be permitted one (1) free-standing monument sign with a maximum height of eight (8) feet and with a maximum copy area of forty (40) sq. ft. per sign face.

<sup>6</sup> l.f. = Lineal frontage.

<sup>7</sup> Properties with two (2) or more street frontages are permitted one (1) free-standing sign per frontage, provided the signs are not located within 200 feet of each other as measured along the frontage line.

<sup>8</sup> Properties with two (2) or more street frontages are permitted one (1) building sign per frontage.

<sup>9</sup> Multi-story buildings shall be permitted 1 building identity sign, per street frontage, located at the top of the building. Building identity signs may identify the name of the building or a main occupancy, and shall be limited to one building identity per building regardless of the number of signs permitted.

(b) General provisions.

- (1) Free-standing signs shall be designed as monument signs, and oriented perpendicularly to the frontage on which they are situated. Free-standing signs must be located within the general area of the major vehicular access points, and must include the name of the development prominently displayed. Free-standing identification signs for commercial developments must also include the full range of street addresses located onsite (this will not be included as part of the copy area). Freestanding signs shall be consistent in color with those on the building. All freestanding signs shall be designed with an opaque background, so that light or a light source cannot penetrate through the sign with the exception of through the letters and logo associated with said sign. The architectural design shall be consistent with the design of the building, sharing materials, colors, and design motifs.
- (2) All signage located within any development shall maintain architectural consistency with itself, as well as with all structures, located onsite. The development may get a sign program approve which incorporates multiple colors, fonts, and logos provided it is included in part of a theme that provides architectural consistency for the project as a whole.
- (3) Unless otherwise approved a part of site and development plan approval or as necessary to maintain consistency with the majority of the existing signs in the plaza, building wall signs shall be internally illuminated individual channel letters or reverse channel letters. The trim cap and returns of the building wall sign shall be the same color as the letters and the illumination shall be with clear neon tubing. No raceways or box signs will be permitted. A maximum of 250% of the area of each building sign may incorporate a logo of any color, the logos shall not exceed the total height of the sign letters on the building and shall meet the requirements of distance from the premise area. All building signs shall be no closer than 12" from the side lines of the premises storefront and 6" to the top and bottom of the premises sign area. The height of any building sign cannot exceed the top elevation of the structure. Building signs shall be consistent in color with those on the freestanding sign.

### **III. Staff Analysis:**

#### ***Background:***

This Zoning Text Amendments are at the request of the City's Leisure Services Department to allow for LED changeable copy signs to provide information to the public related to public

purposes and non-commercial messages. In addition, staff received direction from the City Council to make changes to the City's sign code related to color, size, and uniformity of signs.

***Land Development Staff Comments:***

The petition was reviewed by the Land Development Staff on January 12, 2017 and recommended for approval.

Planning and Engineering Department:	Incorporated into the staff report
Building Department:	Incorporated into the staff report
Public Safety Department:	No objections
Public Works Department:	No objections

**IV. Zoning Text Amendment Criteria:**

A. *The need and justification for these changes:*

The principal intent of these proposed text amendments to the Zoning Code is to provide changes to the Code to clarify interpretations and to allow LED changeable copy signs within Government Use districts that display messages for a public purpose only.

B. *The relationship of the proposed amendments to the purpose and objectives of the City's Comprehensive Plan, and whether the proposed change will further the purposes of the City's Zoning Code regulations and other City codes, regulations and actions designed to implement the Comprehensive Plan.*

The proposed amendments are consistent with the City's Comprehensive Plan and will further the purposes of the City's Zoning Code regulations and other City Codes. Furthermore, contradictory and unclear provisions are being clarified so that the Code can be consistently applied.

**V. Staff Recommendation:**

Staff is requesting input on the changes from the Planning Commission.

---

**PLANNING COMMISSION RECOMMENDATION**

---

---

**CITY COUNCIL ACTION First Reading**

---

---

**CITY COUNCIL ACTION Adoption Hearing**

---

---

**Samuel J. Ferreri, Mayor**

**Attest:**

---

**Joanna Cunningham, City Clerk**





**LAND DEVELOPMENT STAFF REPORT AND RECOMMENDATION**

**I. Project Description:**

**Petitioner:** City of Greenacres

**Request:** Zoning Text Amendments (ZTA) to Chapter 16, Article VI.

The intent of the City initiated zoning text amendment is to clarify, add and delete certain sections within Chapter 16, Article VI of the City of Greenacres Zoning Code relating to building height.

**II. Proposed Zoning Code Amendments:**

The following Zoning Code regulations are impacted by the proposed Zoning Text Amendments.

**Existing Code**

**ARTICLE III. DISTRICT REGULATIONS.**

**Sec. 16-370. Height restrictions.**

The maximum height of all buildings and structures in the residential high density (RH) district shall be thirty-five (35) feet.

\*\*\*

**Sec. 16-430. Height restrictions.**

The maximum height of buildings and structures in the office, professional and institutional (OPI) district shall be thirty-five (35) feet, limited to two (2) stories.

\*\*\*

**Sec. 16-480. Height restrictions.**

The maximum height of buildings and structures in the commercial general (CG) district shall be thirty-five (35) feet.

\*\*\*

**Sec. 16-505. Height restrictions.**

The maximum height of buildings and structures in the commercial intensive (CI) district shall be thirty-five (35) feet.

\*\*\*

**Sec. 16-566. Maximum height of structures.**

The maximum height of structures in the MXD-O mixed use development district is thirty-five (35) feet and limited to three (3) stories.

The maximum height of other permitted or permissible use[s] and structures shall be subject to staff review and determination on the basis of good planning and design. In no case shall any building or structure exceed thirty-five (35) feet in height.

\*\*\*

**Sec. 16-628. Maximum building height.**

No building or structure shall exceed a height of thirty-five (35) feet.

\*\*\*

**Sec. 16-629. Height modification.**

(a)

The height limitation of thirty-five (35) ft. as stated in this chapter shall not apply to church spires; monuments; flag poles; antennae; domes not used for human occupancy; chimneys; water tanks; and necessary mechanical appurtenances usually carried above the roof level. Such features, however, shall be erected only to such height as is necessary to accomplish the purpose they are to serve and shall, in no case, exceed a height of one hundred (100) feet, except for monopole communication towers which height shall be as follows:

(1)

Monopole communication towers may be constructed to a height of one hundred and twenty-five (125) feet to accommodate a minimum of two (2) carriers, or one (1) carrier and one (1) governmental purpose and to a height of one hundred and fifty (150) feet to accommodate a minimum of three (3) carriers, or two (2) carriers and one (1) governmental purpose.

(2)

In no instance shall a monopole communication tower exceed a total height of one hundred and fifty (150) feet.

(b)

All commercial communication towers, including monopole, self-supportive lattice and guyed structures, commercial AM/FM radio, television, microwave, transmission and relay towers and accessory equipment buildings shall conform to the Government Use (GU) zoning district standards, including additional conditions that may be imposed under the Special Exception process in the GU zoning district and the following standards as outlined in this section.

(1)

*Tower location.* Towers shall be located on the site so as to provide a minimum distance equal to one hundred ten (110) percent of the height of the tower from all property lines or shall be certified by a registered engineer in the state, who shall submit calculations substantiating the position of the one hundred ten (110) percent break point.

(2)

*Anchor location.* All tower supports and peripheral anchors shall be located entirely within the boundaries of the tower property and in no case less than five (5) feet from the tower property line.

(3)

*Setbacks, accessory buildings.* All accessory buildings and structures shall conform to the setback requirements for the district in which the use is located.

(4)

*Fencing.* A chain-link fence or wall not less than eight (8) feet in height from finished grade shall be provided around each tower. Access to the tower(s) shall be through a locked gate.

(5)

*Signs, high voltage.* If high voltage is necessary for the operation of the facility and is present in a ground grid or in the tower, signs located every twenty (20) feet and attached to the fence or wall shall display in large bold letters the following: "HIGH VOLTAGE—DANGER."

(6)

*Equipment storage.* No equipment, mobile or immobile, not used in direct support of the transmission or relay facilities shall be stored or parked on the site unless repairs to the facility are being made.

(7)

*Aircraft hazard.* No tower shall be permitted to encroach into or through any established public or private airport approach plane as established by the Federal Aviation Administration.

(8)

*Operation of use.* The scale, intensity and operation of the use shall not generate unreasonable noise, traffic, congestion, or other potential nuisances or hazards to contiguous residential properties.

(9)

*Tower marking.* In accordance with OSHA and FCC regulations, the tower owner and/or users shall post in a prominent location the tower registration number and name, address and telephone number of tower owner and users.

(c)

All obstructions as defined by the Civil Aeronautics Board publication "Obstruction Marking and Lighting" shall be marked and lighted as specified by such publication at the owner's expense.

(d)

Removal of obsolete facilities. All obsolete and unused communication towers shall be removed within twelve (12) months of cessation of use. To accomplish such removal all service providers utilizing communications towers on city property shall execute an agreement with the city which shall set forth the terms and conditions for use of the tower as well as conditions for removal of same upon cessation of use. All other communications towers located on governmental property other than city property, shall take all steps necessary to ensure compliance with the regulations set forth herein.

(e)

Shared use. To discourage the proliferation of communications towers, shared use of tower structures is both permitted and encouraged.

(f)

Dedication of tower use to the City of Greenacres. For towers over one hundred (100) feet, as a condition of approval, the city may request the dedication of space on the tower for communication equipment as required for city use.

### **III. Staff Analysis:**

#### ***Background:***

This Zoning Text Amendment is at the request of the City Council at a workshop held on October 24, 2016. In the effort to provide economic development opportunities in the City, City Council directed staff to make recommendations for code changes to increase the height for office buildings in appropriate zoning districts and locations based on possible negative impacts within the City boundaries.

#### ***Land Development Staff Comments:***

This City-initiated action was reviewed by the Land Development Staff on January 12, 2017 and January 19, 2017 and recommended for approval.

Planning and Engineering Department:	Incorporated into the staff report
Building Department:	Incorporated into the staff report
PBSO District 16:	No objections
Fire-Rescue Department:	Incorporated into the staff report
Public Works Department:	No objections



### **Limitations on Height:**

All zoning districts have existing height limitations for all types of development in the City. In all districts the maximum height is 35 feet, with the exception of the Office, Professional and Institutional (OPI) zoning district which limits development to 35 feet and two (2) stories.

A majority of the City is residential and all non-residential zoning districts are directly adjacent to residential uses. The City's non-residential zoning districts are located on the City's major roadways with the highest intensity limited to areas adjacent to signalized intersections or intersections of major roadways, referred to as nodes. In discussions with City Council regarding increasing the height the following issues were raised:

- Impacts to the Fire-Rescue Department for additional equipment or personnel to meet level of service (LOS) demands generated by taller buildings.
- Impacts from tall buildings on adjacent residential structures.
- Floor Area Ratio (FAR) limits in the City's Comprehensive Plan.
- Preserving land use patterns and types that currently characterize the City.
- Integrating new development types into existing neighborhoods and communities.

### **Building Height and Design Considerations**

In order to effectively integrate taller building height into the City, the existing Code would require amendments to various code sections related to the specific height regulations, as well as regulations mitigating the impacts of development on adjacent uses.

The following items shall require consideration in proposing changes to the Code to permit increased building height:

- Building height categories
- Architectural styles and design considerations
- Terracing or step-back techniques
- Landscaped setbacks
- Scale, including overall massing and height of buildings
- New zoning category, overlay zoning category, or modify existing zoning districts

### **IV. Zoning Text Amendment Criteria:**

A. *The need and justification for these changes:*

The principal intent of these proposed text amendments to the Zoning Code is to provide opportunities for economic development in the City while still maintaining compatibility with adjacent uses and protecting the character of the existing communities in the City.

B. *The relationship of the proposed amendments to the purpose and objectives of the City's Comprehensive Plan, and whether the proposed change will further the*

---

*purposes of the City's Zoning Code regulations and other City codes, regulations and actions designed to implement the Comprehensive Plan.*

The proposed amendments are intended to be consistent with the City's Comprehensive Plan and to further the purposes of the City's Zoning Code regulations and other City Codes.

**V. Staff Recommendation:**

Staff is requesting input on the changes from the Planning Commission.

---

**PLANNING COMMISSION RECOMMENDATION**

---

---

**CITY COUNCIL ACTION First Reading**

---

---

**CITY COUNCIL ACTION Adoption Hearing**

---

---

**Samuel J. Ferreri, Mayor**

**Attest:**

---

**Joanna Cunningham, City Clerk**

# ZTA-16-04

Sign Code Amendments

LED Changeable Copy Signs & Wall Signs

proposed sign code amendments





## Proposed Sign Code Amendments

- LED Changeable Copy Signage.
  - Government Use
  - Public purposes ONLY
  - Non-commercial messages
- Increase Logo Area.
- Project signage program
  - Multiple colors
  - Trade mark designs for signage
  - Master Signage Program



## LED Changeable Copy Signage

### ARTICLE VI. SIGN REGULATIONS.

#### Sec. 16-934. Prohibited signs.

(27) Electronic Changeable copy signs, with the exception of the following, which may be displayed as set forth in this Article:

a. ~~except~~ Time and temperature signs as defined in section 16-932(35);

b. ~~g~~ Gas station price signs as defined in section 16-932(16);

c. Ground signs for government uses located in the Government Use (GU) zoning district,

All ~~both~~ subject to the requirement of section 16-985(a) note 3.



## Sec. 16-985. Identification signs.

(a) Identification signs are subject to the following:

<u>Identification Signs</u>							
District	Free-standing				Building <sup>2,9</sup>		
	Number	Copy area per sign face <sup>3</sup>	Height	Setbacks	Number	Copy area per sign face	

<sup>3</sup> Time and temperature signs not exceeding two (2) feet in height may be included as an integral part of the identification sign copy area in CG and CI districts for banks and financial institutions with drive-thrus. Electronic changeable copy gas station price signs not exceeding twelve (12) square feet may be included as an integral part of the freestanding sign copy area for gas stations located in the CG and CI districts provided they are LED style and the sign copy is only for fuel prices. Electronic changeable copy signs for Government users are limited to messages that serve a public purpose and are not permitted to promote commercial messages of any kind.



## Sec. 16-985. Identification signs.

### (b) General provisions.

(1) Free-standing signs shall be designed as monument signs, and oriented perpendicularly to the frontage on which they are situated. Free-standing signs must be located within the general area of the major vehicular access points, and must include the name of the development prominently displayed. Free-standing identification signs for commercial developments must also include the full range of street addresses located onsite (this will not be included as part of the copy area). Freestanding signs shall be consistent in color with those on the building. All freestanding signs shall be designed with an opaque background, so that light or a light source cannot penetrate through the sign with the exception of through the letters and logo associated with said sign. The architectural design shall be consistent with the design of the building, sharing materials, colors, and design motifs.

(2) All signage located within any development shall maintain architectural consistency with itself, as well as with all structures, located onsite. The development may get a sign program approve which incorporates multiple colors, fonts, and logos provided it is included in part of a theme that provides architectural consistency for the project as a whole.

(3) Unless otherwise approved a part of site and development plan approval or as necessary to maintain consistency with the majority of the existing signs in the plaza, building wall signs shall be internally illuminated individual channel letters or reverse channel letters. The trim cap and returns of the building wall sign shall be the same color as the letters and the illumination shall be with clear neon tubing. No raceways or box signs will be permitted. A maximum of 250% of the area of each building sign may incorporate a logo of any color, the logos shall not exceed the total height of the sign ~~letters on the building~~ and shall meet the requirements of distance from the premise area. All building signs shall be no closer than 12" from the side lines of the premises storefront and 6" to the top and bottom of the premises sign area. The height of any building sign cannot exceed the top elevation of the structure. Building signs shall be consistent in color with those on the freestanding sign.





## Staff recommendations

- Proposed changes to meet the demand for public information and meet current standards of technology.
- Meet changes to signage enforcement.
  - Free speech
  - Branding
  - Still maintain standards of safety.
- Adoption Schedule
  - Planning Commission workshop February 1, 2017
  - Planning Commission Public Hearing February 15, 2017
  - City Council adoption March 2017 – Ordinance 2017-02

# ZTA-16-05

Building Height Amendments  
Increase in Building Height Regulations





# Proposed Building Height Amendments

- City Council workshop October 24, 2016
- Provide Economic Development Opportunities
  - Office use – employment center
  - Congregate Living Facilities
  - Retail users with additional height requirements
  - Vacant lands
  - Re-development opportunities

## Height Regulations by Zoning District

Zoning District	Maximum Height	Additional Standards
RH	35 feet	
OPI	35 feet	Limited to 2 stories
CG	35 feet	
CI	35 feet	
MXD-O	35 feet	Limited to 3 stories
MXD-OS	35 feet	Limited to 2 stories
GU	35 feet	



# Building Height Regulations

## **Sec. 16-628. Maximum building height.**

No building or structure shall exceed a height of thirty-five (35) feet.

## **Sec. 16-629. Height modification.**

(a)

The height limitation of thirty-five (35) ft. as stated in this chapter shall not apply to church spires; monuments; flag poles; antennae; domes not used for human occupancy; chimneys; water tanks; and necessary mechanical appurtenances usually carried above the roof level. Such features, however, shall be erected only to such height as is necessary to accomplish the purpose they are to serve and shall, in no case, exceed a height of one hundred (100) feet, except for monopole communication towers which height shall be as follows:



## Limitations on Height

- Impacts to the Fire-Rescue Department for additional equipment or personnel to meet level of service (LOS) demands generated by taller buildings.
- Impacts from tall buildings on adjacent residential structures.
- Floor Area Ratio (FAR) limits in the City's Comprehensive Plan.
- Preserving land use patterns and types that currently characterize the City.
- Integrating new development types into existing neighborhoods and communities.









S. Jog Road  
Corridor  
MXD-O Zoning  
District





## Building Height and Design Considerations

The following items shall require consideration in proposing changes to the Code to permit increased building height:

- Building height categories
- Architectural styles and design considerations
- Terracing or step-back techniques
- Landscaped setbacks
- Scale, including overall massing and height of buildings
- New zoning category, overlay zoning category, or modify existing zoning districts



## Staff recommendations

- Proposed changes to meet the demand for Additional building height while protecting the residential character of the community.
- Recommend Overlay zoning district for additional height specific to sites that are RH, CI, & MXD-O
  - Provide opportunity for up to six (6) stories for specific uses
    - Employment Centers - Office
  - Provide specific design and location criteria for mitigating impacts
    - Setbacks
    - Terracing
    - Increased landscape buffers
- Adoption Schedule
  - Public Hearing Planning Commission March 2017
  - City Council adoption April 2017





**JUSTIFICATION STATEMENT**

**RaceTrac Market**

6025 Lake Worth Road

Site Plan Application

*Initial Submittal: September 15, 2016*

**REQUEST**

On behalf of the Petitioner, Wantman Group, Inc. (WGI) is submitting a Site Plan application for the proposed RaceTrac Market development on the northwest corner of Lake Worth Road and Sherwood Forest Boulevard as identified on the attached Site Location Map. The request is to approve the attached site plan and use of a Convenience Store with fuel sales in the CI (Commercial Intensive) zoning district.

A site plan is included with the request and indicates a proposed 5,589 sf. Convenience Store with 16 fuel dispensing points, 36 parking spaces and access to/from Lake Worth Road and Sherwood Forest Boulevard. The proposed use will operate 24 hours a day, 7 days a week.

**SITE CHARACTERISTICS**

The subject site is located on the northwest corner of Lake Worth Road and Sherwood Forest Boulevard. The overall 1.55 acre subject site retains a Future Land Use designation of Commercial (CM) and a Zoning designation of Commercial Intensive (CI). The subject site is recognized as Property Control Number (PCN) 18-42-44-22-52-001-0000

**SURROUNDING USES**

Adjacent Property	Land Use Designation	Zoning Designation	Subdivision/Use(s)	Existing Use(s)
North	COM	CI	Self-Storage	Self-Storage
South (Across Lake Worth Rd)	CM	CI CG	Sonny's BBQ McDonalds	Restaurant
East (Across Sherwood Forest Blvd)	CM	CI	Woodlake Plaza	Shopping Center
West	CM	CG	Concord Plaza Office Space	Shopping Center Office Space

**PROJECT HISTORY**

On January 19, 1999, the Greenacres City Council approved a special exception and a site and development plan for the subject property. The site and development plan approval was for the commercial development of the overall 4.3 acre site as two buildings totaling 38,780 sq. ft. The first building was approved for a 15,120 sq. ft. Walgreens Pharmacy with a drive-thru window (on the subject 1.55 acre property), and the second building as a 23,660 sq. ft. retail building.

On July 19, 1999, a site and development plan amendment was approved to modify the ingress/egress points within the development. On March 15, 2000, the site and development plan amendment to relocate both free-standing identification signs, as well as create a landscape island in the southeast parking area was approved.

On August 5, 2002, the Greenacres City Council approved the requests for special exception and site plan approval to construct Phase 2 of Sherwood Plaza, a 50,900 sq. ft. self-storage/mini-warehouse facility on a 2.68 acre parcel (Immediately to the north of the subject site), located at the northwest corner of Lake Worth Road and Sherwood Forest Boulevard.

## **DEVELOPMENT PROPOSAL**

In the City of Greenacres Comprehensive Plan, Lake Worth Rd. is identified as a “high commercial corridor” with the goal of maintaining “ Lake Worth Rd. as a high visibility area with the complete occupancy of the City’s existing commercial buildings and attract infill commercial development to support the needs of the residents of the City.” The proposed development of a 5,589 sf Convenience Store with fuel sales is appropriate for this site and offers an opportunity to revitalize the blighted vacant building that currently occupies the site. Approving the Site Plan Application and the correlating Special Exemption Application to permit a Convenience Store with fuel sales in the Commercial Intensive (CI) Zoning District implements goals set forth in the Comprehensive Plan for the Commercial (CM) Future Land Use designation. The attached Future Land Use Map demonstrates that the proposed development is consistent with other complementary uses along the Lake Worth Corridor.

According to the Greenacres Zoning Code, the Commercial Intensive (CI) Zoning District is intended “for intensive, highly automotive oriented uses that require a conspicuous and accessible location along thoroughfares designated as major arterials in the Comprehensive Plan”. The attached Zoning Context Map illustrates the CI zoning on the subject site is appropriate and consistent with other intense commercial uses along the surrounding Lake Worth Rd corridor. The proposed Site Plan achieves the purpose and intent of the (CI) District, and specifically meets the following the standards:

*Section 16-173, is addressed as follows:*

**A. That the proposed request is in compliance with all elements of the Comprehensive Plan.**

The proposed site plan for a convenience store with gas sales is permitted under Special Exception Uses within the Commercial Intensive (CI) zoning district. The planned development is designed to meet all elements of the Comprehensive Plan, as it provides for future commercial development in an appropriate location, as well as providing a retail service to satisfy the needs of local residents.

**B. That satisfactory provisions have been made for ingress and egress to the property and proposed structures therein with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.**

Satisfactory provisions have been made for ingress and egress to the property and proposed structures. The proposed site plan will not negatively impact vehicular or pedestrian traffic conditions. Automotive ingress and egress is proposed to come from Lake Worth Road and an internal street that comes off of Sherwood Forest Boulevard. Automotive/pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe have been integrated into the plan.

Additionally, an existing right turn lane provides for the safe entry of vehicles from Lake Worth Road. Traffic impacts resulting from the proposed use are not likely to be detrimental to the surrounding road network and will be generally consistent with the established commercial uses in the area.

**C. That off-street parking and loading area(s) have been provided where required with particular attention to the items in (B) above.**

Parking and loading areas have been provided where required with attention to automotive/pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe. The proposed amount of parking spaces is 36, and exceeds the code requirements of 31 spaces. Loading spaces and parking spaces allow adequate room for vehicle turn-around, entering and exiting.

**D. That refuse and service areas have been provided with particular reference to items (B) and (C) above.**

As indicated on the site plan, refuse and service areas have been provided along the north side of the building and provide attention to automotive/pedestrian safety and convenience and traffic flow and control. Loading spaces and parking spaces allow plenty of room for safe and efficient vehicle turn-around, entering and exiting, as mentioned above.

**E. That the proposed request will not create nuisance factors detrimental to adjacent and nearby properties and the City as a whole. Nuisance factors shall include but not necessarily be limited to noise, odor, smoke, glare, electrical interference and/or mechanical vibrations.**

The proposed site plan will not create any nuisance factors that are detrimental to adjacent and nearby properties and the City as a whole. The subject site is surrounded by commercial properties and will not have a negative impact on the surrounding properties, but instead will have a positive impact to adjacent and nearby properties.

The proposed 24 hours per day, 7 days per week operation will not adversely impact nearby properties or the City, as the operations will occur in an established commercial context along a busy road corridor. The hours of operation will also be consistent with other similar commercial uses in the area, including the existing McDonalds on the south side of Lake Worth Road.

**F. That utilities have been provided with reference to location, availability and compatibility.**

The existing development on the site is already serviced by all necessary utilities. Where needed, appropriate modifications will be made to these utilities to accommodate the proposed use.

**G. That satisfactory provisions have been made for screening and buffering with reference to type, dimensions and character.**

The conceptual site plan indicates Code compliant buffers will be provided along the frontages. Landscaping and screening to the north and west (on adjoining parcels) is intended to be maintained consistent with the existing situation.

**H. That signs and proposed exterior lighting have been provided with consideration of glare, traffic safety, economic effect and compatibility and harmony with properties in the district.**

Proposed signs and exterior lighting will be provided with consideration to glare, traffic safety, economic effect and compatibility and harmony to surrounding properties. Future proposed lighting will comply with the development regulations for height and setbacks so as to not impede upon the adjacent properties. Two (2) freestanding price/logo signs (approx. 126 total sf, max. height 25 ft.) are proposed along the road frontage and are consistent with the established commercial character of the surrounding area.

**I. That required yards and other open space have been provided.**

No open space has been provided on site, as the proposed development is non-residential in nature. Furthermore, the conceptual site plan indicates all required landscape requirements for the proposed use are able to be satisfied.

**J. That the proposed request will ensure general compatibility with adjacent properties and other property in the district.**

The proposed site plan will not have an adverse impact on surrounding properties and in fact will have a positive impact to the surrounding area. The subject property is compatible with the surrounding commercial properties and other properties in the district and will provide an appropriate built form/character for the Lake Worth Road commercial corridor.

**K. That the change proposed is not out of scale with the needs of the neighborhood or the city.**

The proposed site plan is compatible and not out of scale with the needs of the neighborhood or the city. The redevelopment of the property will enhance the area's commercial character within the comparable context of the surrounding uses and provides the proposed development an appropriate location to serve the needs of residents and the City.

**L. That any special requirement set out in the Schedule of District Regulations for the particular use involved have been met.**

The proposed development satisfies all minimum lot and height requirements for development in the CI Zoning District.

*Compliance with the standards for the Special Exception "Convenience Store" in the CI Zoning District (Sec. 16-499(17)) is demonstrated as follows:*

**a. The proposed convenience store shall be subject to all special requirements for gasoline dispensing businesses if the proposed store is to include such use.**

The proposed convenience store with gas sales will be in compliance with all special requirements for gasoline dispensing businesses.

**b. The proposed site shall meet or exceed the landscaping found in the landscaping section of this chapter.**

The proposed development, as indicated on the site plan, satisfies the landscaping requirements in the Code. The site plan delineates code compliant buffers along the road frontages.

**c. The proposed store shall be free of all obstructions of view from the adjacent street to the main store windows giving a clear and unobstructed view of the cashier's station, including obstructions of landscaping and gasoline service islands.**

The proposed site design has been designed to ensure clear visibility across the subject property from the building so as to maintain an appropriate level of security and surveillance.

**d. The proposed store shall incorporate into its construction and operation fire protection devices as (required by the city fire code).**

It is proposed to integrate fire protection devices (as required by the city fire code) into the construction and operation of the subject site.



- e. **The proposed store shall have adequate on-site lighting that illuminates all parking, loading and gasoline service islands.**

As mentioned above, there will be adequate exterior lighting with consideration to glare, traffic safety, economic effect and compatibility and harmony to surrounding properties, to illuminate all parking, loading and gasoline service islands. Future proposed lighting will comply with the development regulations for height and setbacks so as to not impede upon the adjacent properties.

- f. **No convenience store shall be located within one thousand five hundred (1,500) feet of any other convenience store. For the purposes of this section, all measurements of distances shall be along a straight airline route from the nearest point on any property line to the nearest point on any property line of any property used as a convenience store.**

There is an existing convenience store located approx. 1,400 feet to the west of the subject site. Notwithstanding, the subject property is ideally suited for the proposed use and a variance request will be submitted concurrently with this application seeking relief from this separation requirement.

- g. **The proposed convenience store shall have appropriate security systems to include, but not be limited to, the following: convenience store uses shall be equipped with cameras with video retrieval capabilities.**

1. **This requirement shall be exempted if the convenience store employs two (2) or more employees at the same time between the hours of 11:00 p.m. and 7:00 a.m.**

2. **This requirement shall also be exempted if the convenience store closes on a permanent basis by 11:00 p.m. or does not sell beer or wine for consumption off premises.**

Future development of the subject property will provide appropriate security systems on the site, including security cameras if necessary.

- h. **The proposed convenience store shall not have as a part of its operation coin-operated amusement devices.**

No coin-operated amusement devices are proposed.

***Based on the above justification and attached information, the petitioner respectfully requests approval of the Site Plan for the Convenience Store with Gas Sales, associated with the proposed RaceTrac Market development.***