



PLANNED UNIT DEVELOPMENT APPLICATION

Permit info: _____
 Application Date: _____ Rec'd by: _____
 FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
 ▪ www.gardencityidaho.org ▪ planning@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: <u>Craig Kulchuk</u>	Name: <u>Frank and Dickie Page</u>
Company: <u>RCK Consultants</u>	Company: _____
Address: <u>4839 Mountain View Drive</u>	Address: <u>4900 N. Alworth Street</u>
City: <u>Boise</u>	City: <u>Garden City</u>
State: <u>ID</u> Zip: <u>83704</u>	State: <u>Idaho</u> Zip: <u>83714</u>
Tel.: <u>208-919-1141</u>	Tel.: _____
E-mail: <u>ckulchuk@gmail.com</u>	E-mail: _____

PROPERTY INFORMATION

Site address: 4900 N. Alworth Street Garden City, Idaho 83714

Subdivision Name: <u>River Rock Townhomes</u>	Lot: <u>11</u>	Block: <u>3</u>
Tax Parcel Number: <u>R7334160451</u>	Zoning: _____	Total Acres: _____
Proposed Use: <u>Townhomes</u>	Floodplain: <u>YES</u>	NO

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

_____ 23 Sept/2021
 Signature of the Applicant (date) Signature of the Owner (date)

APPLICATION INFORMATION

If an application for a final plat, has there been any changes since the preliminary plat?
Y/N

Number of residential lots 8 Number of commercial lots 0 Number of mixed use lots 0 Number of common lots 1
Square feet of common open space 5,662.9 ft²
Are any improvements planned within the common open space area? If so, specify.

What public services and facilities are required for this development? _____ Fire Protection _____ Police Protection X Water X Sewer X Drainage _____ Streets _____ Schools

What housing types are proposed? MARK ALL THAT APPLY
Single Family _____ Condos _____ Townhomes X Live/Work _____
Manufactured/ Mobile Homes _____ N/A _____

Describe how this application provides a maximum choice of living environments by allowing a variety of housing and building types, and permitting an increased density per acre and a reduction in lot dimensions, yards, building setbacks and area requirements

Is this plat a portion of a larger land holding intended for subsequent development? If yes, please explain. no

Is the project within the Floodplain? Yes

Are there any proposed uses not allowed in the zoning district where the project is located? If so, specify. If so, what is the gross land area devoted to such uses?

What is the effect of this site development on roadways and traffic conditions? none

Are there new roads proposed/required? Common Drive

Are there new ingress/egress being proposed? NO

How has off-street parking and loading been arranged and sized to prevent traffic congestion? N/A

How has vehicular and pedestrian circulation been arranged with respect to adjacent facilities and internal circulation? ACCESS to new Rampment to north for path way to Green built
Has there been connection to or access provided for future connections to bicycle and pedestrian pathways or regional transit? Yes

What is the effect of this site development on the adequacy of storm and surface water facilities? none

How does this application use land more efficiently than is generally achieved through conventional development resulting in substantial savings through shorter utilities and streets? See landscape plan

How does this project create a more useful pattern of open space and recreation areas; and, if proposed as part of the project, more convenience in the location of accessory commercial uses, industrial uses and services? *NA*

How will the design create a sense of place (usable open space, public art, visual focus points)? *Common area lot*

How does this application develop a land pattern in harmony with land use density, transportation, and community facilities objectives of the comprehensive plan?

meets requirements of R.3 zoning

What neighborhood characteristics exist or are planned which make this development compatible with the neighborhood and adjoining properties?

linked access to pedestrian path to North Decent

How does this application establish a development pattern which preserves and utilizes natural topography and geologic features, scenic vistas, trees and other vegetation and prevents the disruption of natural drainage patterns? *NA*

How has landscaping been used to protect existing trees, utilize existing features, create harmony with adjacent development and prevent erosion and dust?

See Landscape Plan

What type of water will be used for landscaping? _____Irrigation - Non-Potable
-----Irrigation - Potable ~~-----~~City Water System

Have native or drought resistant plants been utilized in the landscaping plan? If so what types and what percentage of the overall landscape is dedicated to these plants?

What sustainable concepts have been incorporated into the design?

APPLICATION INFORMATION REQUIRED

NOTE:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

FOUR (1) HARD COPIES OF EACH CHECKLIST ITEM REQUIRED

- | | | | |
|-------------------------------------|---------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Preliminary Title Report | <input type="checkbox"/> | Lighting Plan <i>NA</i> |
| <input checked="" type="checkbox"/> | Neighborhood Map | <input checked="" type="checkbox"/> | Neighborhood Meeting Verification |
| <input checked="" type="checkbox"/> | Subdivision Map | <input type="checkbox"/> | Approved Addresses |
| <input checked="" type="checkbox"/> | Compliance Statement | <input checked="" type="checkbox"/> | Covenants and Deed Restrictions |
| <input checked="" type="checkbox"/> | Statement of Intent | <input checked="" type="checkbox"/> | Legal Description |
| <input type="checkbox"/> | Ability to Serve/Will Serve Letter | <input type="checkbox"/> | Irrigation/Ditch Company Information Form <i>NA</i> |
| <input checked="" type="checkbox"/> | Affidavit of Legal Interest | <input type="checkbox"/> | Affidavit of Posting and Photos (Due 10 days before the hearing) |
| <input type="checkbox"/> | Master Plan | | |
| <input checked="" type="checkbox"/> | Site Plan | | |
| <input checked="" type="checkbox"/> | Landscape Plan | | |
| <input checked="" type="checkbox"/> | Schematic Drawings | | |
| <input checked="" type="checkbox"/> | Topographic Survey | | |
| <input checked="" type="checkbox"/> | Grading Plan | | |
| <input checked="" type="checkbox"/> | Hydrology Report | | |
| <input checked="" type="checkbox"/> | Natural Hazard and Resources Analysis | | |

PLEASE CHECK THE FOLLOWING:

INFORMATION FOR PRELIMINARY TITLE REPORT:

- Document confirming property has been purchased contingent to approvals by city and other agencies
- Document should confirm if there are liens on property and if there are other issues with title
- Document typically generated by lender or title company

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SUBDIVISION MAP:

- 30" x 42" minimum size
- Scale no less than one inch (1") to one hundred feet (100')
- The names, addresses, and telephone numbers of the planners, engineers, surveyors or other persons who designed the subdivision and prepared the plat
- The legal description of the proposed subdivision, and a topographical map showing the proposed subdivision at a scale of not less than one inch (1") to one hundred feet (100')
- The intended use of the lot such as: residential single-family, duplex, townhouse and multiple housing, commercial, industrial or recreational;
- A proposed building envelope shall be designated and dimensioned on each lot to demonstrate that a building can comply with the required setbacks. This building footprint is not binding on future building on the lot.
- Streets and public rights of way, including proposed street names and dimensions
- Blocks, if any, building envelopes and lot lines as required by subsection 10-4-4F of this Title, showing the dimensions and numbers of each. In addition to providing this information on the plat or supporting addenda, the applicant shall stake the perimeters of each lot and the center of its building envelope sufficiently to permit the Commission to locate the same when inspecting the site of the proposed subdivision
- Contour lines, shown at two foot (2') intervals, reference to an established bench mark, including location and elevation
- Location of any proposed or existing utilities, including, but not limited to, domestic water supply, storm and sanitary sewers, irrigation laterals, ditches, drainages, bridges, culvers, water mains, fire hydrants, and their respective profiles
- Location of bicycle parking
- Location of existing and proposed street lights
- Location of existing and proposed pedestrian and bicycle pathways

INFORMATION REQUIRED ON MASTER PLAN:

- The master plan is a plan that includes narrative information and illustrations about the proposal
- The required narrative information shall be as follows:

- a. Description of the vision for the Master Plan area, including design guidelines, land uses and phasing of development
 - b. A range of square footage, density, site coverage, and locational distribution of land uses;
 - c. Description of a circulation plan for autos, bicycles, transit, and pedestrians within the site and to other off site systems including the Boise River Greenbelt and other waterways
 - d. Description of the amenities within the site including both natural and manmade
 - e. Description of the general mass, scale, and character of the buildings
 - f. Summary of general public facility requirements to serve the development; and
 - g. Proposal for incorporation of existing structures in future development plans
- The required illustrative plans shall be as follows:
- a. A map showing property dimensions and legal description
 - b. A map showing existing and proposed building footprints
 - c. A map showing the circulation system including streets, alleys, parking, pedestrian walkways and linkages both within and outside the district.
 - d. A diagram showing development parcels, maximum unit densities, site ingress and egress, and relationship of development to public amenities, public facilities, and/or open site area
- A section showing the relationship of the buildings, public spaces and the street edge to adjacent properties

INFORMATION REQUIRED ON SITE PLAN:

- 24" x 36" size minimum
- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art

- MA Location of any proposed exterior site furniture
- NA Location of any exterior lighting
- NA Location of any existing or proposed signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- 24" x 36" size minimum
- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Proposed storm water systems
- Locations and dimensions of open space

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS :

- 11" x 17" size minimum
- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20'). If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site.

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surfaces

Water

- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

INFORMATION FOR HYDROLOGY REPORT:

- Prepared by a licensed engineer
- Description of the hydrological conditions existing within the proposed site, the adequacy of the existing conditions for the proposed project and the design criteria for any recommended corrective measures
- Map or drawing showing existing surface drainage patterns in the proposed site and identifying any anticipated changes in those patterns due to the project development
- For preliminary plat: Preliminary plans and approximate locations of all surface and subsurface drainage devices or other devices to be employed in controlling drainage water within the project site, including proposed, existing, and natural drainage swales, culverts, catch basins, and subsurface drain piping
- For final plat: A storm drainage plan shall be submitted showing compliance with the standards of section 8-4B-1. The storm drainage plan shall include:
 - a. A map indicating the on-site and off-site drainage applicable to the site
 - b. Detailed engineering plans of all subsurface drainage improvements to be constructed as a part of the proposed development
 - c. Location of all drainage easements, or drainage rights of way
- For a subdivision within a floodplain, documentation shall be provided that will show and explain at the following to demonstrate conformance with Chapter 3, Article B. Flood Hazard. Location of all planned improvements:
 - a. The location of the floodway and the floodway fringe per engineering practices as specified by the Army Corp of Engineers
 - b. The location of the present water channel
 - c. Any planned re-routing of waterways
 - d. All major drainage ways
 - e. Areas of frequent flooding
 - f. Means of flood proofing buildings, and means of insuring loans for improvements within the floodplain

INFORMATION FOR NATURAL HAZARD AND RESOURCES ANALYSIS:

- Prepared by a licensed engineer
- The natural hazards and resources analysis shall provide an inventory and recommendation regarding natural conditions existing on the site.
- The analysis shall include: significant natural resources existing on the site shall be indentified including vegetation; fish and wildlife habitat; and water, including streams and riparian zones. A plan for preservation and/or mitigation of significant resources should be prepared by a qualified professional.
- For subdivisions within a floodplain: Detained information on the nature, source, and extent of the hazard and the proposed actions to minimize or eliminate danger to public health, safety or property. The analysis shall include the following information:
 - a. The location of existing water channels and drainage ways, floodway, flood plain and base flood elevation
 - b. The location of all planned improvements including dams, dikes, and similar structures

- c. All planned diversions, alterations or rerouting of channels and drainage ways.

INFORMATION FOR DEDICATIONS AND EASEMENTS:

- The statement of intent for dedications and/or easements shall include the location, size, dimensions, and purpose.

INFORMATION FOR COVENANTS AND DEED RESTRICTIONS:

- The draft of any proposed covenants and deed restrictions to be recorded with the plat or plat amendment.

INFORMATION FOR WILL SERVE LETTER:

- A document from the City Engineer certifying that a property has adequate access to city services.

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.

INFORMATION REQUIRED ON COMPLIANCE STATEMENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application

INFORMATION FOR STATEMENT OF INTENT:

- Should include purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION FOR LEGAL DESCRIPTION:

- A document legally describing the property.
- Must have Ada County instrument number or county seal inscribed.

INFORMATION FOR SKETCH PLAT:

- A plat preliminary to the preparation of a preliminary plat that show the basic outline of the plat, including lots, roads, and dedicated sites.
- Required for subs with 4 or more proposed lots

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON LIGHTING PLAN:

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements

- Location of municipal street lights

INFORMATION FOR NEIGHBORHOOD MEETING VERIFICATION:

- Copy of notice sent to property owners within 300' of an applicable property
- List of notice recipients with names and addresses
- Sign-up sheet from meeting

INFORMATION FOR AFFIDAVIT OF LEGAL INTEREST:

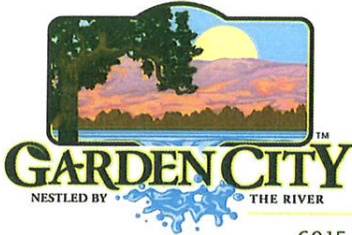
- A signed affidavit indicating legal interest in a property and application

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

- Required if irrigation canal/irrigation ditch runs through property or along property lines *water*

INFORMATION FOR AFFIDAVIT OF PROPERTY POSTING AND PHOTOS:

- A signed affidavit affirming that the required sign has been posted on the property ten (10) days before the hearing
- Photos (digital or print) of posted sign
- Photos of posted sign must be clear enough to read the text



Form Request to Obtain Fire Flow Test

Permit info: _____

Application Date: _____ Rec'd by: _____

FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, Idaho 83714 • Phone 208/472-2900 • Fax 208/472-2996 •
• Inspection Hotline Phone 208/472-2920 • WWW.Gardencityidaho.org •

Property Information:

(Circle One): RESIDENTIAL / COMMERCIAL

Project Name River Rock Townhomes Project Address: 4900 Alwatha Street

Parcel # R7334160451 Lot: 11 Block: 03 Subdivision: Randal Acres #5

APPLICANT:

Name: Craig Kulchak

E-mail: ckulchak@gmail.com

Phone: 208-919-1141

Contact Cell: 208-919-1141

Fax: _____

Address: 4839 Mountain View Drive

City, State, Zip: Boise, ID 83704

Additional Information (CUP, DSR, SUB Tracking numbers, names etc.)

Fees to Obtain Fire Flow:

Water Observation

(See Fee Schedule)

APPLICANT'S SIGNATURE: _____

DATE: 23/Sept/2021

Note: per Public Works Water Division Policy and Procedure Fire Flow 12.15 - all fire flow requests will be processed within 14 business days.



DESIGN REVIEW	
Permit info: _____	
Application Date: _____	Rec'd by: _____
FOR OFFICE USE ONLY	

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921
 ▪ www.gardencityidaho.org ▪ planning@gardencityidaho.org

APPLICANT	PROPERTY OWNER
Name: Bryce Jensen	Name: Frank and Dicksie Page
Company: Pineview Development, LLC	Company:
Address: 16887 N. Thurgood Loop	Address: 4900 N. Alworth Street
City: Nampa	City: Garden City
State: ID Zip: 83687	State: ID Zip: 83714
Tel.:	Tel.:
E-mail: brycejensen70@gmail.com	E-mail:

PROPERTY AND DESIGN INFORMATION

This application is a request to: Construct New Addition Subdivision

Site Address: 4900 N. Alworth Street

Subdivision Name: River Rock Townhomes	Lot: 11	Block: 3
Tax Parcel Number: R7334160451	Zoning:	Total Acres: 0.64
Proposed Use: Town Homes	Floodplain: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

OBJECTIVES 8-4C

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

Bike and Pedestrian: How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

Parking and parking lot standards: Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?


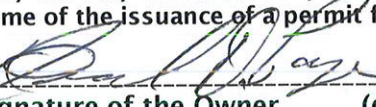
Community Interaction: How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

Building Design: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

 15/sep/2018 (date)
  9/13/21 (date)

APPLICATION INFORMATION REQUIRED

Note:

AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES

ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:

- | | |
|--|---|
| <input type="checkbox"/> Compliance Statement and Statement of Intent | <input type="checkbox"/> Affidavit of Legal Interest |
| <input type="checkbox"/> Neighborhood Map | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input type="checkbox"/> Site Plan | |
| <input type="checkbox"/> Landscape Plan | |
| <input type="checkbox"/> Schematic Drawing | |
| <input type="checkbox"/> Lighting Plan | |
| <input type="checkbox"/> Topographic Survey | |
| <input type="checkbox"/> Grading Plan | |
| <input type="checkbox"/> Will Serve Letter **If required, must submit a Fire Flow Request | |
| <input type="checkbox"/> Ada County Approved Addresses | |
| <input type="checkbox"/> Waiver Request of Application Materials | |



PLEASE CHECK THE FOLLOWING:

INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

INFORMATION REQUIRED ON NEIGHBORHOOD MAP:

- 8 1/2" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

INFORMATION REQUIRED ON SITE PLAN:

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

INFORMATION REQUIRED ON LANDSCAPE PLAN:

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

INFORMATION REQUIRED ON LIGHTING PLAN:

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

N/A

INFORMATION FOR TOPOGRAPHIC SURVEY:

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

INFORMATION REQUIRED ON GRADING PLAN:

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems

Waiver

INFORMATION REQUIRED MASTER SIGN PLAN:

*Required for developments of two or more buildings:

- Location, elevations, and materials of proposed signage

INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:

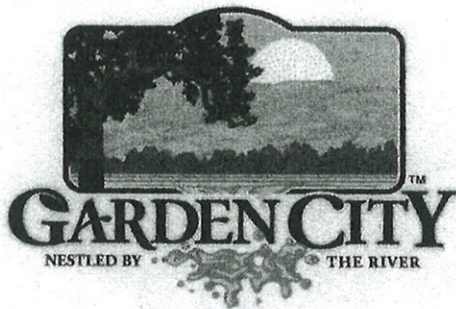
*Required if irrigation canal/irrigation ditch runs through property or along property lines:

- Letter from company indicating approval

waives

INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:

- Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street • Garden City, Idaho 83714
Phone 208 - 472-2921 • Fax 208 - 472-2926 •
www.gardencityidaho.org

Affidavit of Legal Interest

State of Idaho)
)SS
County of Ada)

I, Frank D. Page and Dicksie L. Page, 4900 Alworth
Name (must be primary owner as noted in Ada County Assessor's records) Address

Garden City Idaho 83714
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to Craig Kulchak, 4900 Alworth Garden City, ID
Name (applicant) Project Address
to submit the accompanying application pertaining to that property.
2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 5th day of April, 2021

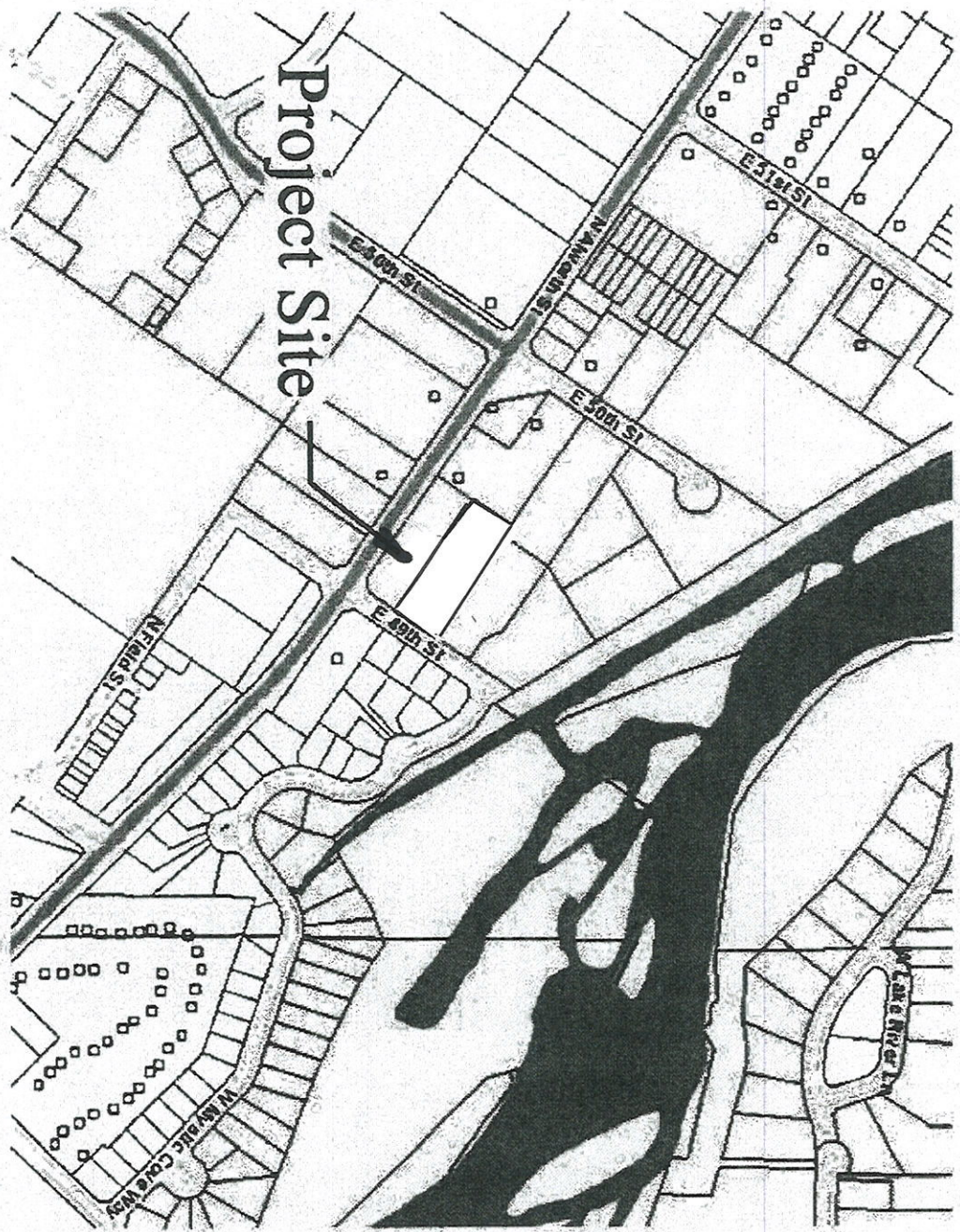
Frank D. Page / Dicksie L. Page
Signature (must be primary owner, registered agent, or otherwise have legal authority to sign on behalf of primary owner)

Subscribed and sworn to before me the day and year first above written

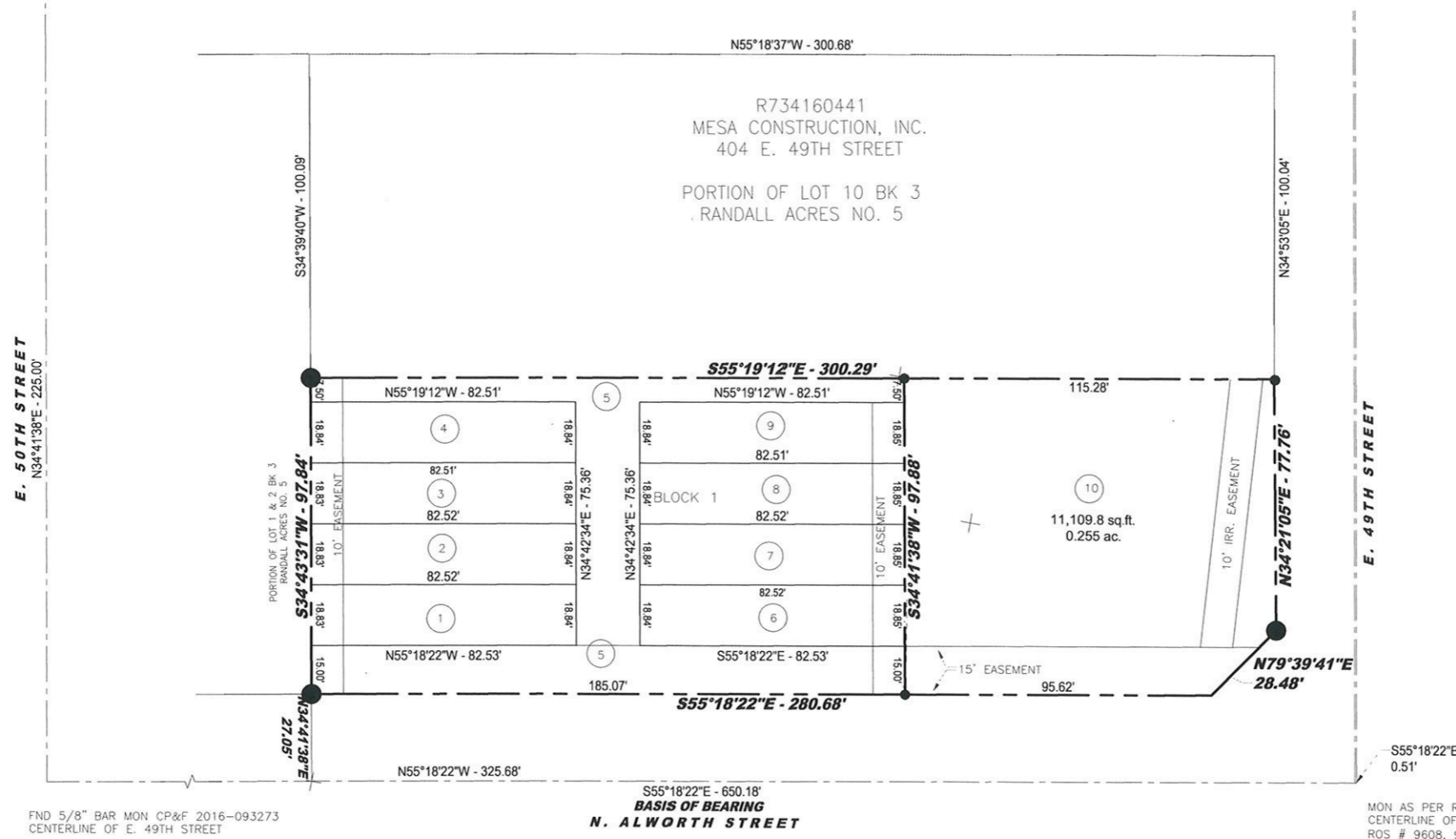
ZACH BARNES
Notary Public - State of Idaho
Commission Number 20200917
My Commission Expires Mar 16, 2026

Zach Barnes
Notary Public for Idaho
Residing at: Boise, ID
My Commission expires March 16th, 2026

4900 N. AIWORTH ST.



RIVER ROCK TOWN HOMES
 RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5
 SITUATED IN THE NORTHWEST ¼ OF THE NORTHEAST 1/4 SECTION 31, T4N R2E, B.M.
 GARDEN CITY, ADA COUNTY, IDAHO
 2021



- LEGEND**
- FOUND BRASS CAP
 - SET ½" REBAR WITH CAP
 - FOUND ½" BAR
 - FOUND ⅝" REBAR WITH CAP
 - ▲ COMPUTED POINT
 - BOUNDARY LINE
 - PROPERTY LINE
 - ④ LOT NUMBER
 - IRR IRRIGATION PIPE
 - IRRIGATION BOX
 - CENTERLINE OPEN DITCH
 - ⬡ NOTE NUMBER

FND 5/8" BAR MON CP&F 2016-093273
 CENTERLINE OF E. 49TH STREET

S55°18'22"E - 650.18'
BASIS OF BEARING
N. ALWORTH STREET

MON AS PER ROS 6784 CP&F 2016-093272
 CENTERLINE OF E. 49TH STREET AS PER
 ROS # 9608, 9990, 10987 AND 11791

NOTES:

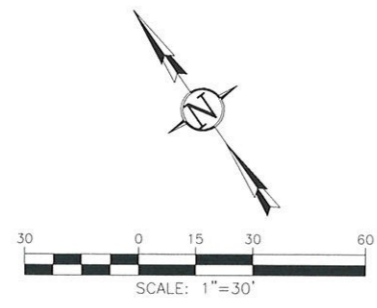
1. ALL REFERENCE TO HOMEOWNERS ASSOCIATION HEREON ARE TO THE RIVER ROCK TOWN HOMES SUBDIVISION HOMEOWNER'S ASSOCIATION AND THE OWNERS OF THE LOTS, WITHIN SAID SUBDIVISION JOINTLY. THE LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH BY THE HOMEOWNERS ASSOCIATION RECORDED AS INSTRUMENT NO. _____
2. ANY RE-SUBDIVISION OF THE PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
3. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH DEPARTMENT.
4. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
5. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF GARDEN CITY OR AS AMENDED BY APPLICATION AND APPROVED BY GARDEN CITY.
6. NO EASEMENT SHALL PRECLUDE THE CONSTRUCTION AND MAINTENANCE OF HARD SURFACED DRIVEWAYS, LANDSCAPING, PARKING, COVERED PARKING OR OTHER SUCH IMPROVEMENTS.
7. LOT 5, BLOCK 1 IS A PRIVATE ROAD AND COMMON AREA AND CONVEYS TO THOSE LOT OWNERS TAKING ACCESS FROM THE PRIVATE ROAD THE PERPETUAL RIGHT OF INGRESS AND EGRESS OVER SAID PRIVATE ROAD. SUCH EASEMENT SHALL RUN WITH THE LAND AND PROVIDES THAT EACH LOT OWNER TAKING ACCESS FROM THE PRIVATE ROAD SHALL HAVE UNDIVIDED EQUAL INTEREST IN THE PRIVATE ROAD.
8. THE LOTS IN THIS SUBDIVISION WITH THE EXCEPTION OF LOT 5, BLOCK 1 SHALL NOT BE ALLOWED DIRECT ACCESS TO N. ALWORTH STREET.
9. THE LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS AND RESTRICTIONS AS SET FORTH BY THE SUBDIVISION HOMEOWNERS ASSOCIATION AND THE CITY OF GARDEN CITY RECORDED AS INSTRUMENT NO. _____
10. THERE IS A 15' EASEMENT ALONG THE SOUTH SIDE OF LOT 5 ALONG N. ALWORTH ST FOR IRRIGATION AND UTILITIES.
11. LOTS 1-4 AND 6-9 HAVE A 10' WIDE UTILITY EASEMENT ACROSS THE REAR OF EACH LOT.
12. LOT 10 HAS A 10' IRRIGATION EASEMENT AS SHOWN.

NARRATIVE:

THE PURPOSE FOR THIS PLAT IS TO CREATE 10 LOTS RESIDENTIAL LOTS OUT OF LOT 11 BLOCK 3 RANDALL ACRES NO. 5 ALL BUT ONE OF THE CORNER MONUMENTS WERE RECOVERED, THE SINGLE BAR NOT FOUND IS WITHIN THE IRRIGATION BOX ON THE CORNER OF N. ALWORTH AND 49TH STREET.

RECORD DATA

- ROS No. 10697
- ROS No. 9990
- ROS No. 9438
- ROS No. 9608
- ROS No. 6784
- ROS No. 11791
- RANDALL ACRES NO. 5
 RIVERPOINTE SUBDIVISION



Index No. 311-02-2-0-4-193

Prepared by:
Sharp & Smith, Inc.
 Engineers & Surveyors
 327 N. 27th St. Boise, ID 83702

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENT THAT THE UNDERSIGNED IS THE OWNERS OF THE REAL PARCEL OF LAND HEREIN AFTER DESCRIBED AND THAT IT IS HIS INTENTION TO INCLUDE SAID PROPERTY IN THIS SUBDIVISION PLAT.

A PARCEL OF LAND LYING IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 31 TOWNSHIP 4 NORTH RANGE 2 EAST BOISE MERIDIAN, ADA COUNTY, IDAHO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND IRON MONUMENT REPRESENTING THE CENTERLINE INTERSECTION OF N. ALWORTH STREET AND E. 49TH STREET, THENCE ALONG THE CENTERLINE OF N. ALWORTH STREET, N55°18'22"W (BASIS OF BEARING CENTERLINE OF N. ALWORTH STREET) A DISTANCE OF 325.68 FEET; THENCE N34°41'38"E A DISTANCE OF 27.05 FEET TO A FOUND IRON PIN ON THE NEW NORTHERLY RIGHT OF WAY LINE OF N. ALWORTH STREET AS PER INSTRUMENT NUMBER 103037288 RECORDS OF ADA COUNTY AND THE REAL POINT OF BEGINNING;

THENCE ALONG THE WESTERLY LINE OF LOT 11 BLOCK 3 RANDALL ACRES SUBDIVISION NUMBER 5, N34°43'31" E A DISTANCE OF 97.84 FEET TO AN IRON PIN MARKING THE NORTHWEST CORNER OF SAID LOT 11;

THENCE ALONG THE NORTHERLY LINE OF LOT 11, S55°19'12"E A DISTANCE OF 300.29 FEET TO THE NORTHEAST CORNER OF LOT 11 AND THE WESTERLY RIGHT OF WAY LINE OF E. 49TH STREET;

THENCE ALONG THE WESTERLY RIGHT OF WAY LINE, S34°21'05"W A DISTANCE OF 77.76 FEET;

THENCE S79°39'41"W A DISTANCE OF 28.48 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE FOR N. ALWORTH STREET;

THENCE ALONG SAID RIGHT OF WAY LINE, N°55'18'22"W A DISTANCE OF 280.68 FEET AND BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS SOME 0.67 ACRES, MORE OR LESS.

THE EASEMENTS AS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC. HOWEVER THE RIGHT TO USE SAID EASEMENTS ARE PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND FOR ANY OTHER USES AS DESIGNATED HEREON, AND NO PERMANENT STRUCTURES ARE TO BE ERECTED WITHIN THE LINES OF SAID EASEMENTS. EACH LOT IS TO BE SERVED BY AN INDIVIDUAL WELL.

NAME OWNER

NAME DEVELOPER

ACKNOWLEDGMENT

STATE OF IDAHO COUNTY OF ADA

ON THIS DAY OF 2021, BEFORE ME, A NOTARY PUBLIC, PERSONALLY APPEARED OWNERS OF REAL PROPERTY AND DEVELOPER OR IDENTIFIED TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

NOTARY PUBLIC FOR IDAHO MY COMMISSION EXPIRES:

RIVER ROCK TOWN HOMES RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5 SITUATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 SECTION 31, T4N R2E, B.M. GARDEN CITY, ADA COUNTY, IDAHO 2021

RECORD OF SURVEY No.

CERTIFICATE OF SURVEYOR:

I, JOHN W. SHARP, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND REPRESENTS THE PARCELS OF LAND MAPPED HEREON AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

Signature of John W. Sharp and Professional Land Surveyor Seal (No. 4725, State of Idaho) dated 2/14/21.

APPROVAL OF ADA HIGHWAY DISTRICT

ADA HIGHWAY DISTRICT DOES HEREBY ACCEPT THIS PLAT, AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF I.C. § 50-1312. PRIVATE STREETS DEPICTED ON THIS PLAT ARE NOT MAINTAINED BY OR UNDER THE JURISDICTION OF THE HIGHWAY DISTRICT. THERE IS NO LEGAL OBLIGATION OR ASSURANCES THAT THE PRIVATE STREETS WILL BE ACCEPTED AS PUBLIC STREETS IN THE FUTURE.

Chairman Date

APPROVAL OF CENTRAL DISTRICT HEALTH

SANITARY RESTRICTION AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

HEALTH DISTRICT SIGNATURE DATE

CERTIFICATE OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK FOR THE CITY OF GARDEN CITY, ADA COUNTY IDAHO, DO HEREBY CERTIFY THAT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE DAY OF THIS PLAT WAS DULY ACCEPTED AND APPROVED.

GARDEN CITY CLERK DATE

CERTIFICATE OF COUNTY RECORDER:

INSTRUMENT NO.

STATE OF IDAHO) SS COUNTY OF ADA)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF, AT MINUTES PAST O'CLOCK .M., THIS DAY OF, A.D. 2021 IN MY OFFICE AND WAS DULY RECORDED AS BOOK OF PLATS AT PAGES THROUGH.

INSTRUMENT NUMBER

DEPUTY RECORDER EX-OFFICIO RECORDER

FEE

CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

COUNTY TREASURER DATE

CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR ADA COUNTY, HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

COUNTY SURVEYOR DATE

CERTIFICATE OF CITY ENGINEER

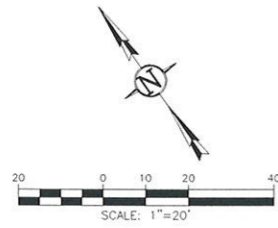
I, THE UNDERSIGNED, AM I AM THE CITY ENGINEER FOR THE CITY OF GARDEN CITY, ADA COUNTY, IDAHO, AND HEREBY APPROVE THIS RECORD OF SURVEY AND THAT IT IN CONFORMANCE WITH THE GARDEN CITY CODE.

ACTING GARDEN CITY ENGINEER DATE

Index No. 311-02-2-2-0-4-193

Prepared by: Sharp & Smith, Inc. Engineers & Surveyors 327 N. 27th St. Boise, ID 83702 Date: February 22, 2016 Job No. 2016-0467

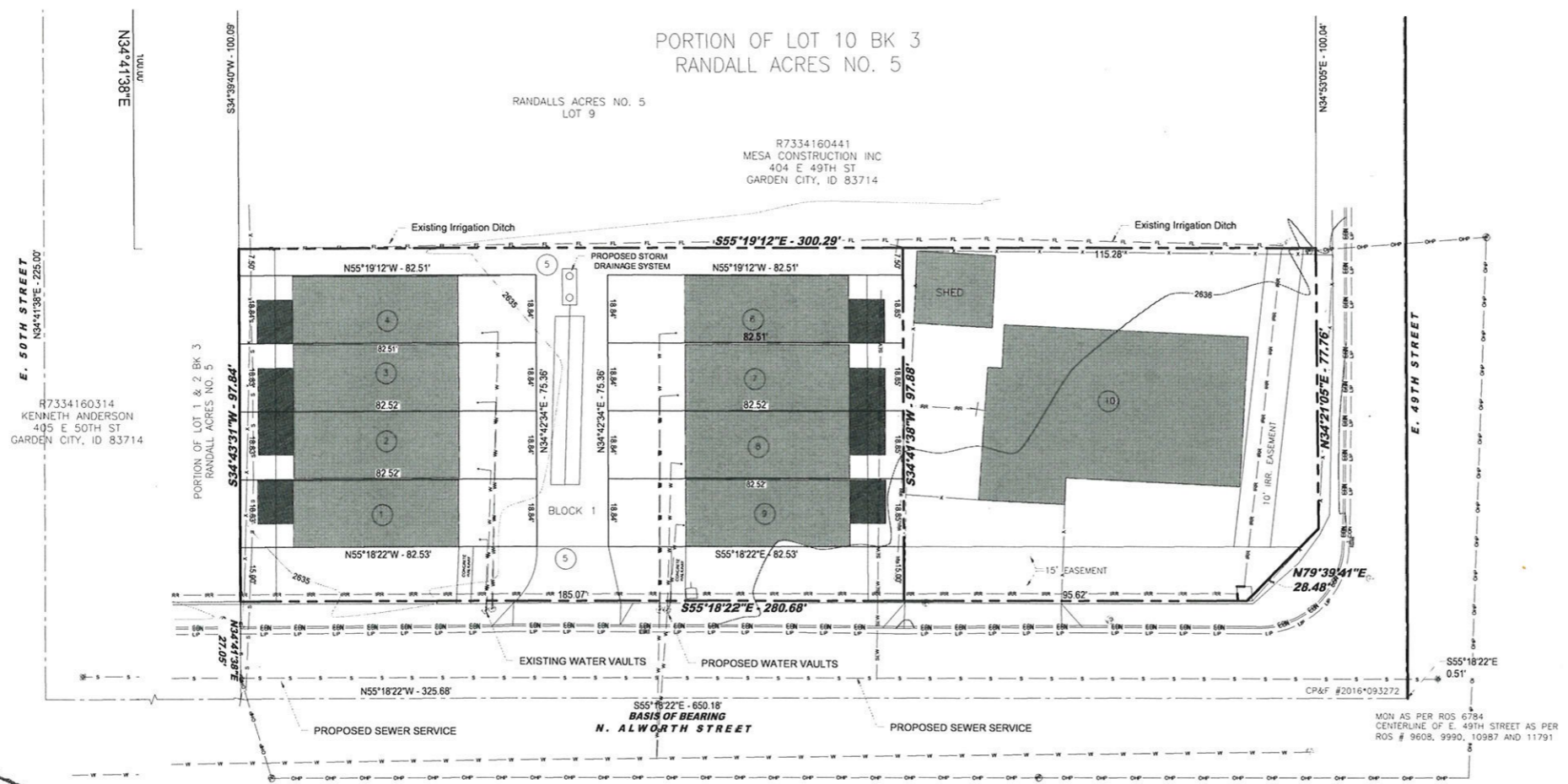
PRELIMINARY PLAT
FOR
RIVER ROCK TOWN HOMES
 RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5
 SITUATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 SECTION 31, T4N R2E, B.M.
 GARDEN CITY, ADA COUNTY, IDAHO
 2021



NOTES:

1. THE PROPERTY IS CURRENTLY ZONED R-3.
2. THERE ARE NO POTENTIALLY HAZARDOUS AREAS.
3. THERE ARE NO STREAMS, PONDS OR WETLANDS ON THIS PROPERTY.
4. THERE ARE NO NATURAL DRAINAGE SWALES ON THIS PROPERTY.
5. THIS PROPERTY IS LOCATED IN FEMA ZONE 'X' FIRM PANEL 16001C0169H
6. THERE ARE NO IDENTIFIED SHALLOW BEDROCK AREAS, UNSTABLE ROCK FORMATIONS, OR LANDSLIDES ON THIS PROPERTY.
7. THIS PROPERTY IS NOT AN AQUIFER RECHARGE AREA.
8. SANITARY SEWER SERVICE IS TO BE PROVIDED BY THE CITY OF GARDEN CITY.
9. POTABLE WATER IS TO BE PROVIDED BY THE CITY OF GARDEN CITY.
10. PROPERTY LIES WITHIN THE NORTH ADA COUNTY FIRE AND RESCUE DISTRICT.
11. AN IRRIGATION PIPE LIES ALONG THE SOUTH BOUNDARY OF THE PROPERTY AND ACROSS THE EASTERLY SIDE OF THE PROPERTY.
12. EXISTING PROPERTY HAS A SINGLE FAMILY DWELLING ON THE EAST SIDE AND VACANT ON THE WEST SIDE OF THE PROPERTY.
13. COMMON AREAS SHOWN HEREON SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
14. THE DEVELOPMENT ANTICIPATES USING SUBSURFACE STORM WATER DISPOSAL FOR STORM WATER GENERATED FROM THIS DEVELOPMENT.
15. PUBLIC UTILITIES ARE TO BE PROVIDED FROM THE PUBLIC UTILITY PROVIDERS FROM JOINT TRENCH ADJACENT TO THE PUBLIC ROADS, SPECIFIC LOCATIONS TO BE DETERMINED DURING THE CONSTRUCTION APPROVAL PHASE.

Prepared by:
Sharp & Smith, Inc.
 Engineers & Surveyors
 327 N. 27th St.
 Boise, ID 83702
 Date: FEBRUARY 28, 2021 Job No. 2021-0554



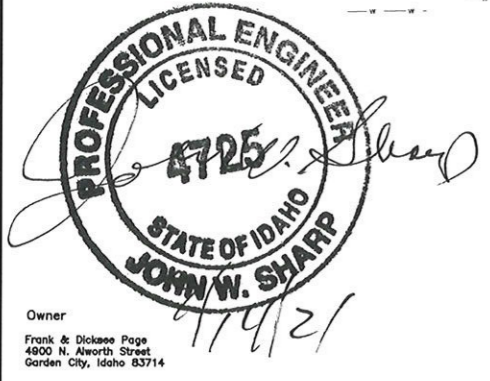
LEGEND

●	FOUND 5/8" REBAR
○	HUB & TACK
⊙	RIGHT OF WAY MONUMENT
⊖	DROP INLET
⊕	ELECTRICAL BOX
⊗	GAS VALVE
⊘	MAIL BOX
⊙	SANITARY SEWER MANHOLE
⊖	PIPE INVERT
⊕	POWER POLE
⊗	WATER METER
⊘	WATER VALVE
—	ADJOINER
—	BOUNDARY LINE
—	CENTERLINE
—	LOT LINE
—	EDGE OF CONCRETE
—	EDGE OF GRAVEL
—	EDGE OF PAVEMENT
—	FENCE LINE
—	FLOW LINE
—	IRRIGATION LINE
—	OVERHEAD POWER
—	SANITARY SEWER LINE
—	SIDEWALK
—	WATERLINE
④	LOT NUMBER

TOPOGRAPHIC/BOUNDARY SURVEY FOR
RIVER ROCK TOWN HOMES

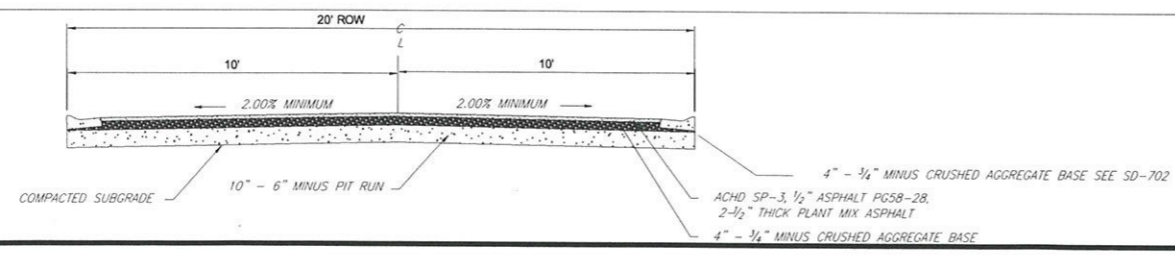
GARDEN CITY, IDAHO
 OWNER/DEVELOPER:
 4900 N. ALWORTH ST.
 GARDEN CITY, ID 83714
 CONTACT: NAME (208) XXX-XXXX

NO.	DATE	DESCRIPTION



Owner
 Frank & Dickson Page
 4900 N. Alworth Street
 Garden City, Idaho 83714

TYPICAL SECTION DETAIL
 N.T.S.



Setback/Zoning Table

SETBACK/ZONING TABLE	
PROPOSED ZONE	R3
FRONT YARD SETBACK	5'0" FEET
REAR YARD SETBACK	15' FEET
STREET SIDE SETBACK	20' FEET
INTERIOR YARD SETBACK	0' FEET
MAXIMUM BUILDING HEIGHT	30' FEET
MINIMUM STREET FRONTAGE	30' FEET
MINIMUM INTERIOR LOT WIDTH	50' FEET
MINIMUM LOT WIDTH	70' FEET
EXISTING ZONING	R3

Land Use Calculations

DESCRIPTIONS	AREA (ACRES)	PERCENTAGE
PROJECT	0.6710	100%
RESIDENTIAL LOTS	0.5410	80.63%
COMMON LOTS	0.1300	19.37%

RESIDENTIAL LOTS	9
OPEN SPACE LOTS	1
RESIDENTIAL DENSITY	0.111/ACRE

Underground Utility Note

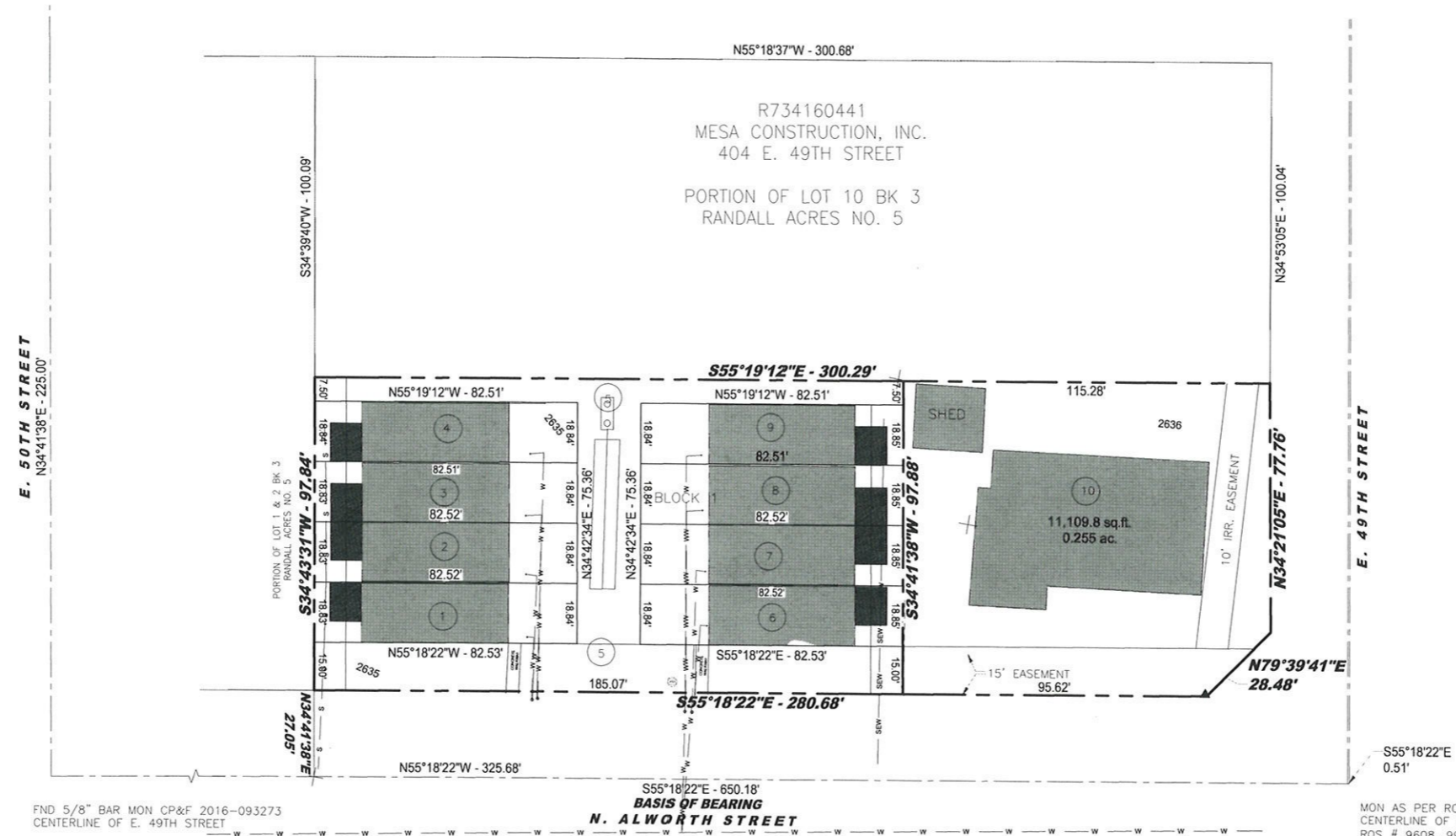
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Deviations may exist between the locations shown hereon and their actual location(s).

Applicant
 Bryce Jensen
 Pinnacle Development, LLC
 16887 N. Thurgood Loop
 Nampa, Idaho 83687

Engineer/Land Surveyor
 John Sharp, PE & PLS
 Sharp & Smith, Inc.
 327 N. 27th Street
 Boise, Idaho 83702

Designer
 Robb Vavold
 Vavold Design
 P.O. Box 972
 Caldwell, Idaho 83608

RIVER ROCK TOWN HOMES
 RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5
 SITUATED IN THE NORTHWEST ¼ OF THE NORTHEAST 1/4 SECTION 31, T4N R2E, B.M.
 GARDEN CITY, ADA COUNTY, IDAHO
 2021



- LEGEND**
- FOUND BRASS CAP
 - SET ½" REBAR WITH CAP
 - FOUND ½" BAR
 - FOUND ¾" REBAR WITH CAP
 - ▲ COMPUTED POINT
 - BOUNDARY LINE
 - PROPERTY LINE
 - ④ LOT NUMBER
 - IRR IRRIGATION PIPE
 - IRRIGATION BOX
 - - - CENTERLINE OPEN DITCH
 - ④ NOTE NUMBER

FND 5/8" BAR MON CP&F 2016-093273
 CENTERLINE OF E. 49TH STREET

MON AS PER ROS 6784 CP&F 2016-093272
 CENTERLINE OF E. 49TH STREET AS PER
 ROS # 9608, 9990, 10987 AND 11791



NOTES:

1. ALL REFERENCE TO HOMEOWNERS ASSOCIATION HEREON ARE TO THE RIVER ROCK TOWN HOMES SUBDIVISION HOMEOWNER'S ASSOCIATION AND THE OWNERS OF THE LOTS, WITHIN SAID SUBDIVISION JOINTLY. THE LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH BY THE HOMEOWNERS ASSOCIATION RECORDED AS INSTRUMENT NO. _____.
2. ANY RE-SUBDIVISION OF THE PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
3. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH DEPARTMENT.
4. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
5. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF GARDEN CITY OR AS AMENDED BY APPLICATION AND APPROVED BY GARDEN CITY.
6. NO EASEMENT SHALL PRECLUDE THE CONSTRUCTION AND MAINTENANCE OF HARD SURFACED DRIVEWAYS, LANDSCAPING, PARKING, COVERED PARKING OR OTHER SUCH IMPROVEMENTS.
7. LOT 5, BLOCK 1 IS A PRIVATE ROAD AND COMMON AREA AND CONVEYS TO THOSE LOT OWNERS TAKING ACCESS FROM THE PRIVATE ROAD THE PERPETUAL RIGHT OF INGRESS AND EGRESS OVER SAID PRIVATE ROAD. SUCH EASEMENT SHALL RUN WITH THE LAND AND PROVIDES THAT EACH LOT OWNER TAKING ACCESS FROM THE PRIVATE ROAD SHALL HAVE UNDIVIDED EQUAL INTEREST IN THE PRIVATE ROAD.
8. THE LOTS IN THIS SUBDIVISION WITH THE EXCEPTION OF LOT 5, BLOCK 1 SHALL NOT BE ALLOWED DIRECT ACCESS TO N. ALWORTH STREET.
9. THE LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS AND RESTRICTIONS AS SET FORTH BY THE SUBDIVISION HOMEOWNERS ASSOCIATION AND THE CITY OF GARDEN CITY RECORDED AS INSTRUMENT NO. _____.
10. THERE IS A 15' EASEMENT ALONG THE SOUTH SIDE OF LOT 5 ALONG N. ALWORTH ST FOR IRRIGATION AND UTILITIES.
11. LOTS 1-4 AND 6-9 HAVE A 10' WIDE UTILITY EASEMENT ACROSS THE REAR OF EACH LOT.
12. LOT 10 HAS A 10' IRRIGATION EASEMENT AS SHOWN.

NARRATIVE:

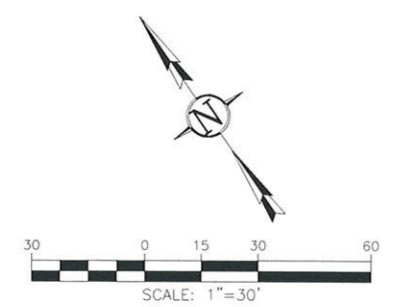
THE PURPOSE FOR THIS PLAT IS TO CREATE 10 LOTS RESIDENTIAL LOTS OUT OF LOT 11 BLOCK 3 RANDALL ACRES NO. 5 ALL BUT ONE OF THE CORNER MONUMENTS WERE RECOVERED, THE SINGLE BAR NOT FOUND IS WITHIN THE IRRIGATION BOX ON THE CORNER OF N. ALWORTH AND 49TH STREET.

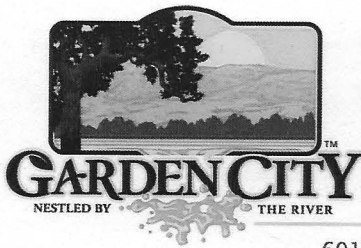
RECORD DATA

- ROS No. 10697
- ROS No. 9990
- ROS No. 9438
- ROS No. 9608
- ROS No. 6784
- ROS No. 11791
- RANDALL ACRES NO. 5
- RIVERPOINTE SUBDIVISION

Index No. 311-02-2-0-04-193

Prepared by:
Sharp & Smith, Inc.
 Engineers & Surveyors
 327 N. 27th St. Boise, ID 83702
 Date: SEPTEMBER 14, 2021 Job No. 2021-0554





ABILITY TO SERVE REQUEST

Permit info: In Process
 Application Date: 23/Sept/2021 Rec'd by: _____
 FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, Idaho 83714 • Phone 208/472-2921 • Fax 208/472-2996

CONTACT INFORMATION:

Company: RCK Consultants Name: Craig Kulchak E-mail: rckkulchak@gmail.com
 Address: 4839 Mountain View Dr. Boise City: Boise State: ID Zip: 83704
 Office Phone: _____ Cell: (208) 919-1141 Fax: _____

SITE INFORMATION

Project Description: Vacant lot
 Project Street #: 4900 Street Name: Alwerth
 Subdivision: Rendul Acres #5 Lot: 11 Block: 3 Parcel #: R-733416 045

Number of Units: 8
 Water Service Connection: 5/8" 1" 1.5" 2" 3" 4" 6" N/A
 Sewer Connection Y N
 Fire Suppression Service Connection to City Main: 4" Sprinkler 6" Sprinkler 8" Sprinkler
 Hydrant

FOR NEW COMMERCIAL / TI COMMERCIAL PROJECTS ONLY

Fixtures:	Number of Existing	Number of New	Fixtures:	Number of Existing	Number of New	Restaurants
Bathtub or Combination Bath/Shower			Sinks/Bar			Please provide square footage area for all seating:
3/4" Bathtub Fill Valve			Sinks/Clinic Faucet			
Bidet			Sinks/Clinic Flushometer Valve with or without faucet			Outdoor
Clothes washer			Sinks/Special Purpose 1-1/2"			Bar
Dental Unit, cuspidor			Sinks/Special Purpose 2"			Banquet
Dishwasher, domestic			Sinks/Special Purpose 3"			Other
Drinking Fountain or Watercooler			Sinks/Kitchen, domestic			
Food-Waste-Grinder, commercial			Sinks/Laundry			
Floor Drain			Sinks/Service or Mop Basin			
Hose Bibb			Sinks/Washup, each set of faucets			
Hose Bibb, each additional			Sinks/Service, flushing rim 3"			
Shower, single-head trap			Washfountain			
Multi-head, each additional			Urinal, 1.0 GPF or greater than 1.0 GPF			
Lavatory			Washfountain, circular spray			
Lavatory, in sets of two or three			Water Closet, 1.6 GPF Gravity Tank/Flushometer Valve			
Lawn Sprinkler, each head			Water Closet, greater than 1.6 GPF Gravity Tank/Flushometer Valve			

The applicant is responsible to **submit 2 copies and a digital copy** of the following information for Ability To Serve Letter:

1. Fire system description & copy of approval from fire department.
2. Site plan
3. Sewer line connection or addition description-detail.
4. Fire Flow Letter

The submittal of the above information does not guarantee that an "Ability to Serve" letter will be issued. Public Works shall conduct a review of the submitted information. There may be a request for additional information as necessary. Please contact Garden City Public Works with further questions.

Applicants Signature: _____ DATE: 23/Sept/2021

**DECLARATION OF COVENANTS, CONDITIONS, AND
RESTRICTIONS OF
RIVER ROCK SUBDIVISION**

THIS DECLARATION is made on the date hereinafter set forth by FRANK PAGE and DICKSIE PAGE, hereafter referred to as “Declarants.”

WITNESSETH

WHEREAS, Declarants are the owners of certain real property in Ada County, State of Idaho, hereinafter referred to as “the Properties,” more particularly described as follows:

RIVER ROCK SUBDIVISION, according to the official plat thereof, recorded in Book _____ of Plats at Pages _____ and _____ as Instrument No. _____ recorded on the _____ day of _____, 2021, records of Ada County, Idaho.

WHEREAS, Declarants desire to subject the above described Properties to certain protective covenants, conditions, restrictions, reservations, easements, liens, and charges for the benefit of the Properties and their present and subsequent Owners as hereinafter specified, and will convey the Properties subject thereto;

NOW, THEREFORE, Declarants hereby declares that all of the Properties above described shall be held, sold and conveyed upon and subject to the easements, conditions, covenants, restrictions and reservations hereinafter set forth, all of which are for the purpose of enhancing and protecting the value, desirability and attractiveness of, and which shall run with, the Properties and be binding on all parties now or hereafter having any right, title or interest therein or to any part hereof, and shall inure to the benefit of each owner thereof.

ARTICLE I: DEFINITIONS.

The following terms shall have the following meanings:

Section 1. “**ASSOCIATION**” shall mean and refer to River Rock Subdivision Homeowners Association, Inc. a non-profit corporation organized under the laws of the State of Idaho, its successors and assigns.

Section 2. “**PROPERTIES**” shall mean and refer to that certain real property hereinabove described.

Section 3. “**COMMON AREA**” shall mean all real property and improvements thereon (including private driveway, storm water system and recreational facilities) owned by the Association for the common use and enjoyment of the Owners. The Common Areas to be owned by the Association at the time of the

conveyance of the first Lot is described as follows: Lot 5 River Rock Subdivision, according to the official plat thereof.

Section 4. “**LOT**” or “**LOTS**” shall mean and refer to any plot of land shown upon any recorded subdivision map of the Properties, with the exception of the Common Area.

Section 5. “**OWNER**” shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any Lot which is part of the Properties, including contract sellers, but excluding those having such interest merely as security for the performance of an obligation.

Section 6. “**DECLARANTS**” shall mean and refer to Frank Page and Dicksie Page, their successors, and subject to the provisions of Article XIII, Section 4, below, their assigns.

Section 7. “**DECLARATION**” shall mean and refer to the Declaration of Covenants, Conditions and Restrictions applicable to the Properties recorded in the office of the County Recorder of Ada County, State of Idaho.

Section 8. “**DWELLING UNIT**” shall mean that portion or part of any structure intended to be occupied by one family as a dwelling unit, together with the vehicular parking garage attached thereto, and all projections therefrom.

Section 9. “**MORTGAGE**” shall mean any mortgage, deed of trust, or other security instrument by which a Dwelling Unit or any part thereof is encumbered.

Section 10. “**MORTGAGEE**” shall mean any person or any successor to the interest of such person named as the Mortgagee, trust beneficiary, or creditor under any Mortgage.

Section 11. “**FIRST MORTGAGEE**” shall mean any Mortgagee possessing a lien on any Dwelling Unit first and prior to any other Mortgage.

Section 12. “**INSTITUTIONAL HOLDER**” shall mean a Mortgagee which is a bank or savings and loan association or established mortgage company, or other entity chartered under federal or state laws, any corporation or insurance company, or any federal or state agency.

Section 13. “**PLAT**” shall mean a final subdivision plat covering any real property in River Rock Subdivision as recorded in the office of the county recorder, Ada County, Idaho, as the same may be amended by duly recorded amendments thereto.

Section 14. “**SHARED DRIVEWAY**” shall mean that certain shared driveway to be owned and maintained by the Association as a part of its Common Area which provides access to lots 1, 2, 3, 4, 6, 7, 8, and 9. The use of the term "Shared Driveway" shall include all improvements located thereon.

Section 15. “**SUBDIVISION**” shall mean the River Rock Subdivision as shown on the final Plat recorded in the Office of the County Recorder, Ada County, Idaho.

ARTICLE II: PROPERTY RIGHTS.

Section 1. Enjoyment of Common Area: Each Owner shall have a right and easement of enjoyment in and to the Common Area, and such easement shall be appurtenant to and shall pass with the title to every Lot, subject, however, to the following provisions:

- A. The right of the Association to levy reasonable assessments for the maintenance of any landscaping improvement or other facilities situated upon the Common Area.
- B. The right of the Association to suspend the voting rights and right to use of the Common Area by an Owner for any period during which any assessment against that Owner's Lot remains unpaid; and for a period not to exceed sixty (60) days for any infraction of its published rules and regulations.
- C. The right of the Association to limit the number of members permitted to use the Common Area.
- D. The right of the Association, in accordance with its Articles and Bylaws, to borrow money for the purpose of improving the Common Area and facilities; and, in aid thereof, to place a mortgage or trust deed thereon, which shall be a first and prior lien there against; provided that the Common Area may not be mortgaged or conveyed without the consent of at least two-thirds (2/3) of the Owners (excluding Declarant), and that any conveyance or mortgage of Common Area shall be subject to and subordinate to rights of ingress and egress of an Owner to his/her Lot.
- E. The right of the Association to dedicate or transfer all or any part of the Common Area to any public agency, authority or utility for such purposes and subject to such conditions as may be agreed to by the members; provided, however, that except as to the Association's right to grant easements for utilities and similar or related purposes, no part of the Common Area and facilities may be alienated, released, transferred, hypothecated, or otherwise encumbered without the written approval of all First Mortgagees and two-thirds (2/3) of the votes of each class of members who are voting in person or by proxy at a meeting duly held for this purpose.
- F. The right of the Directors of the Association to promulgate reasonable rules and regulations governing such right of use, from time to time, in the interest of securing maximum safe usage of the Common Area by the members of the Association without unduly infringing upon the privacy or enjoyment of the Owner or occupant of any part of said property, including, without being limited thereto, rules restricting persons under or over designated ages from using certain portions of the Common Area during certain times and reasonable regulations, and restrictions regarding vehicle parking.

Section 2. Delegation of Use: Any Owner may delegate, in accordance with the rules and regulations adopted from time to time by the directors, his right of enjoyment to the Common Area and facilities to the members of his/her family, tenants, or contract purchasers, provided they reside on the property at the time of use.

ARTICLE III: HOMEOWNERS ASSOCIATION.

Section 1. Membership: Every Owner of a Lot shall be a member of the Association. The foregoing is not intended to include persons or entities who hold an interest merely as security for the payment of an obligation. Membership shall be appurtenant to and may not be separated from ownership of any Lot. Such ownership shall be the sole qualification for membership and shall automatically commence upon a person becoming such Owner and shall automatically terminate and lapse when such ownership in said property shall terminate or be transferred. Absolute liability is not imposed on Owners/members for damage to Common Areas or Lots in the subdivision.

Section 2. Voting Rights: The Association shall have two classes of voting membership:

Class A: Class A members shall be all Owners with the exception of Declarants and Pineview Development, LLC. The Class A members shall be entitled to one vote for each Lot owned. When more than one person holds an interest in any Lot, all such persons shall be members. The vote for such Lot shall be exercised as they determine, but in no event shall more than one vote be cast with respect to any Lot. Fractional votes shall not be allowed. The vote applicable to any said Lot being sold under contract of purchase shall be exercised by the contract seller, unless the contract expressly provides otherwise.

Class B: Class B: The Class B members shall be the Declarants and Pineview Development, LLC. Each Class B member shall be entitled to three (3) votes for each Lot owned. Class B. The Class B membership held by the Declarants or Pineview Development, LLC shall be converted to a Class A membership at such time as the total Class A membership votes held by Owners (that are not the Declarants or Pineview Development, LLC) is equal to the total Class B membership votes.

Section 3. Assessments:

- A. Creation of Lien and Personal Obligation of Assessments: Each Owner of any Lot, by acceptance of a deed therefore (whether or not it shall be so expressed in such deed), is deemed to covenant and agree to pay to the Association:
- i. Regular annual or other regular periodic assessments or charges; and
 - ii. Special assessments for capital improvements, such assessments to be fixed, established, and collected from time to time as hereinafter provided.

The regular and special assessments, together with interest, costs of collection, and reasonable attorney's fees shall be a charge on the Lot and shall be a continuing lien upon the Lot against which such assessment is made. Each such assessment, together with interest, costs of collection, and reasonable attorney's fee, shall also be the personal obligation of the Owner of such Lot at the time when the assessment fell due. The obligation shall remain a lien on the Lot until paid or foreclosed, but shall not be a personal obligation of successors in title, unless expressly assumed.

Section 4. Purpose of Assessments:

- A. The assessments levied by the Association shall be used for the purpose of promoting the recreation, health, safety and welfare of the residents in the Properties, for the operation, maintenance, repair, and improvement of the Irrigation Water Supply System, the Common Area and facilities located thereon, for the reasonable expenses

incurred in the operation of the affairs of the Association, for the expenses incurred by the Association in connection with any of its obligations contained in this Declaration or in the Bylaws of the Association, and for any other purpose reasonably authorized by the Directors of the Association.

- B. Maximum Annual Assessment: Until January 1 of the year immediately following the conveyance of the first Lot to an Owner, the maximum annual assessment shall be \$720. From and after January 1 of the year immediately following the conveyance of the first Lot to an Owner, the Board of Directors of the Association may fix the annual assessment at an amount necessary to provide for the reasonable expenses of the Association; and said assessment shall be payable to the Association in regular monthly, quarterly, semi-annual or annual installments as may be determined by the Board of Directors.
- C. Special Assessments for Capital Improvements: In addition to the regular assessments authorized above, the Association may levy, in any assessment year, a special assessment applicable to that year only for the purpose of defraying, in whole or in part, the cost of any construction, reconstruction, repair or replacement of a capital improvement upon the Common Area, including fixtures and personal property related thereto, the Irrigation Water Supply System, or for any of the Association's obligations set forth herein, **provided that** any such assessment shall have the assent of two-thirds (2/3) of the votes of those members who are voting in person or by proxy at a meeting duly called for this purpose. Any such special assessment shall be payable over such a period as the Association shall determine.
- D. Notice and Quorum for Any Action Authorized Under Section 4(C): Written notice of any meeting called for the purpose of taking any action authorized under Section 4(C), above, shall be sent to all members not less than thirty (30) days nor more than sixty (60) days in advance of the meeting. At the first such meeting called, the presence of members or of proxies entitled to cast two-thirds (2/3) of all the votes of each class of membership shall constitute a quorum. If the required quorum is not present, another meeting may be called subject to the same notice requirement, and the required quorum at the subsequent meeting shall be one-half (1/2) of the required quorum at the preceding meeting. No such subsequent meeting shall be held more than sixty (60) days following the preceding meeting.
- E. Uniform Rate of Assessment: Both annual and special assessments must be fixed at a uniform rate for non-exempt Lots.
- F. Date of Commencement of Annual Assessments - Due Dates: The annual assessments provided for herein shall commence as to a Lot sold on the first day following the initial conveyance of the said Lot after a Dwelling Unit has been constructed on the said Lot. The first annual assessment shall be adjusted according to the number of days remaining in the calendar year. The Board of Directors of the Association shall fix the amount of the annual assessment against each Lot at least thirty (30) days in advance of each annual assessment period. Written notice of the annual assessment shall be sent to every Owner subject thereto. The due dates shall be established by the Board of Directors. The Association shall, upon demand, and for a reasonable charge, furnish a certificate signed by an officer of the Association setting forth whether the assessments on a specified Lot have been paid. A properly executed certificate of the Association as to the status of assessments on a Lot is binding upon the Association as of the date of its issuance.

- G. Effect of Nonpayment of Assessments – Remedies of Association: In the event any assessment is not paid within thirty (30) days after the due date, the Owner shall be subject to a late fee in the amount of \$35.00 for each month or part thereof that the assessment shall be delinquent, which said late fee shall be added to and become a part of the assessment provided for in this section. The Association may bring an action at law against the Owner personally obligated to pay the same or foreclose the lien against the property. No Owner may waive or otherwise escape liability for the assessments provided for herein by non-use of the Common Area or abandonment of his Lot.
- H. Subordination of the Lien to Mortgages: The lien of the assessments provided for herein shall be subordinate to the lien of any first mortgage. Sale or transfer of any Lot shall not affect the assessment lien. However, the sale or transfer of any Lot pursuant to mortgage foreclosure or any proceeding in lieu thereof shall extinguish the lien of such assessments as to payments which became due prior to such sale or transfer. No sale or transfer shall relieve such Lot from liability for any assessments thereafter becoming due, or from the lien thereof
- I. Exempt Property: The following property, subject to this Declaration, shall be exempt from the assessments created herein:
1. All property expressly dedicated to and accepted by a local public authority;
 2. The Common Area;
 3. All other Properties owned by Declarants or the Association, including the shared driveway for Lots 1, 2, 3, 4, 6, 7, 8, and 9.
 4. All Lots owned by Declarant, until title is transferred to another, or until occupancy, whichever occurs first.

Section 5. Turnover Meeting: Within ninety (90) days after Declarants have sold and conveyed to a person other than a successor declarant all of the Lots, the Declarants shall call the first meeting of the Owners for the purpose of organizing the Association and to elect members of the Association's board of directors. If a quorum of the Owners is present (as set forth in the Association's bylaws), the Owners shall elect not fewer than one member of the Association's board of directors. Notice of such meeting shall be given to all Owners as provided in Article III, Section 4, Part D of the Declaration. If Declarants fail to call the meeting, the meeting may be called and notice given by any Owner. The expense of giving notice shall be paid or reimbursed by the Association. At the meeting, Declarants shall deliver to the Association such information and documents as may be required by Idaho law. Nothing in this Section shall be construed as preventing the Declarants from calling the organizational and turnover meeting prior to such date, or from calling informal, informational meetings of the Owners.

Section 6. Adoption of Bylaws, Declarants Control of Association: Declarants shall adopt Bylaws for the Association. Declarants specifically reserve the right to control the Association by appointing the interim directors of the Association until the organizational and turnover meeting of the Association has been held and the Owners have elected regular directors as provided in Article III, Section 5 of the Declaration.

ARTICLE IV: EASEMENTS.

Section 1. Future Easements: The Association shall have the future right to provide for such easements across, upon, and under the surface of its Common Area as platted herein as may be reasonably necessary to serve the interests and convenience of the property Owners of this subdivision for public or private ways, any public utilities (including cable television, internet service, etc.), drainage, access, subterranean irrigation lines, and eave and balcony overhangs.

Section 2. Encroachments: In the event that, by reason of the construction, settlement or shifting of the building, any part of any Dwelling Unit or drainage water from any Lot or Dwelling Unit encroaches or shall hereafter encroach upon any part of the Common Area or any adjacent Lot, easements for the maintenance of such encroachment and for such use of the areas encroached upon are hereby established and shall exist for the benefit of said Dwelling Unit, so long as all or any part of the buildings shall remain standing; provided, however, that in no event shall a valid easement for any encroachment or use of the Common Area or adjacent Dwelling Units be created in favor of any Owner of such encroachment or use if it is detrimental to or interferes with the reasonable use and enjoyment of the property by other Owners and if it occurred due to the willful conduct of any Owner.

Section 3. Easement for Maintenance: Declarants and the Association shall have a permanent easement to go upon the privately-owned property of Owners in this subdivision to perform maintenance upon the Properties and the Common Area, including, but not limited to, lawn maintenance, perimeter fence maintenance, utility service maintenance, subterranean irrigation water system maintenance, and drainage system maintenance. This together with all rights of ingress and egress necessary for the full and complete use, occupation and enjoyment of the easements hereby reserved, and all rights and privileges incident thereto, including the right from time to time to cut, trim, and remove trees, brush, overhanging branches, and other obstructions which may injure or interfere with the use, occupation, or enjoyment of the reserved easement and the operation, maintenance, and repair of utility service connections and drainage systems, as well as snow removal for the shared driveway.

Section 4. Shared Driveway: Vehicular access to Lots 1, 2, 3, 4, 6, 7, 8, and 9 shall be provided by a common driveway to be constructed in the locations depicted on the General Site Plan on common lot 5. Each of the said Lots are subject to cross easements providing perpetual and indefeasible access rights for ingress and egress to the Lots encumbered by the easements. It is the intent of the Declarants that the easements so created shall run with the land and not be sold or conveyed separately from the lots taking access over them. No Owner or other person shall place or permit to be placed across the easement premises any obstruction or in any manner otherwise interfere with the use of the easement premises by the Owners of said lots without the mutual consent of all such Owners.

ARTICLE V: PARTY OR CONTIGUOUS WALLS.

Section 1. General Rules of Law Apply: Each wall which is built as a part of the original construction of the units upon the property and placed on the dividing line between the Lots shall constitute a “**Party Wall**” and, to the extent not inconsistent with the provisions of this Article, the general rules of law regarding party walls and liability for property damage due to negligence or willful acts or omissions shall apply thereto.

Section 2. Sharing of Repair and Maintenance: The cost of reasonable repair and maintenance of a Party Wall shall be shared by the owners who make use of the wall and proportioned to such use.

Section 3. Destruction by Fire or Other Casualty: If a Party Wall is destroyed or damaged by fire or other casualty, any owner who has used the wall may restore it, and if the other owners thereafter make use of the wall, they shall contribute to the cost of restoration thereof in proportion to such use, without prejudice however to the right of any such owners to call for a larger contribution from the others under any rule of law regarding liability for negligence or willful acts or omissions.

Section 4. Weatherproofing: Notwithstanding any other provision of this Article, an owner who by his negligent or willful act causes the party wall to be exposed to the elements shall bear the whole cost of furnishing the necessary protection against such elements.

Section 5. Right to Contribution Runs with Land: The right of any owner to contribution from any other owner under this Article shall be appurtenant to the land and shall pass to such owners or successors entitled.

Section 6. Arbitration: In the event of any dispute arising concerning a party wall, or under the provisions of this Article, each party shall choose one arbitrator, and such arbitrator shall choose one additional arbitrator, and the decision shall be by a majority of all the arbitrators.

ARTICLE VI: MAINTENANCE RESPONSIBILITY.

Section 1. By Association: The Association shall provide all reasonably required maintenance and repairs to (a) the Common Area and improvements thereon, (b) the Shared Driveway, (c) the storm water drainage and retention system, (d) the perimeter fencing constructed by Declarant, (e) the asphalted portions of the shared driveway, (f) the sprinkler irrigation system on all lots and common areas, (g) the lawns located in the front and rear yards of each Lot, (h) the landscaping improvements located in the front and rear yards of each Lot, and (i) shall provide snow removal for the shared driveway and the sidewalks along Alworth. In addition, the Association shall maintain and keep in good order and repair the exterior of all Units, including but not limited to the roof thereof, any private decks, fences, and courtyards, all planter areas, trees and shrubs located in the front yard of each Lot and all landscaping improvements located in the rear yard of each Lot. In the event the need for maintenance or repair is caused through the willful or negligent act of an Owner, his/her family, guests or invitees, the costs of such maintenance or repairs shall be added to and become part of the assessment to which such Owner's Lot is subject. The Association reserves an easement for ingress, egress and maintenance as may be reasonably necessary to perform the maintenance duties of the Association.

Section 2: By the Owners: In the event of damage or destruction of a Dwelling Unit by fire or other casualty, the Owner of said Dwelling Unit must complete repair and/or replacement of the Dwelling Unit within ninety (90) days of the damage or destruction.

ARTICLE VII: PROPERTY USE RESTRICTIONS.

The following restrictions shall be applicable to the Properties and shall be for the benefit of and limitations upon all present and future Owners of said property, or of any interest therein:

- A. Lot Use: No Lot, with the exception of the Common Area, shall be used except for single-family residential purposes. No Lot or the Common Area shall be used for the conduct of any trade, business or professional activity, except for such home occupations as may be permitted pursuant to and under the provisions of the ordinances of the Garden City. All Lots and improvements constructed thereon must comply with

all applicable governmental rules, ordinances, laws, statutes, and regulations, as the same may be amended from time to time.

- B. Animals: No animals, livestock, or poultry of any kind shall be raised, bred or kept on any part of said Properties, except that 2 dogs, or 2 cats, or 1 dog & 1 cat, or other household pets may be kept within a Dwelling Unit or within a fenced area as may be approved by the Architectural Control Committee (see Article VIII). Any dog outside a Dwelling Unit or fenced area must be on a leash, and the Owner or custodian of the animal shall be responsible for the immediate cleanup of the animal's droppings. The term "fenced area" as used in this paragraph shall be interpreted to include any electronic pet containment system; provided, however, that the boundary of any such system shall be approved by the Architectural Control Committee and that in no event shall said boundary extend beyond the front plane of the Dwelling Unit constructed on said Lot.
- C. Garbage and Refuse Disposal: No part of said Properties shall be used or maintained as a dumping ground for rubbish, trash or other waste. No garbage, trash or other waste shall be kept or maintained on any part of said Properties except in a sanitary container. Any equipment for the storage or disposal of such material must be kept inside the Owner's garage, except on the regular trash pickup day.
- D. Nuisance: No noxious or offensive or unsightly conditions shall be permitted upon any part of said Properties, nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood. No exposed antennae or satellite dishes shall be erected on the Properties without the prior approval of the location by the Architectural Control Committee. Garage doors shall, to the extent possible, remain closed at all times that the garage is not in active use by the Owner or occupant.
- E. Outbuildings: No trailer, truck camper, tent, garage, barn, shack or other outbuilding shall at any time be used as a residence temporarily or permanently on any part of said Properties.
- F. Parking and Storage of Vehicles and Equipment: Parking of boats, trailers, motorcycles, trucks, truck campers, commercial vehicles, commercial trailers, motorhomes, recreational vehicles, and like equipment, or junk cars or other unsightly vehicles, shall not be allowed on any Lot nor on the Common Area, nor on the Shared Driveway, nor on the street in front homes, except as may be prescribed in writing by, and at the sole discretion of, the Board of Directors of the Homeowners Association, which discretion may not be challenged for having been exercised unreasonably; provided, however, that boats, trailers, campers, motor homes and similar recreational vehicles may be parked on a Lot for a period not to exceed 48 hours while in immediate use by an Owner, being prepared for use, or being prepared for storage after use. All other parking or storage of any other equipment shall be prohibited, except as approved in writing by the Board of Directors of the Homeowners Association. Any vehicle awaiting repair or being repaired shall be removed from the subdivision within 48 hours.
- G. Sight Distance at Intersections: No fence, wall, hedge, or shrub planting shall be placed or permitted to remain on any Lot in violation of the sight obstruction policies of the Ada County Highway District.
- H. Leasing Restrictions: Any lease (as defined below) between an Owner and his tenant shall provide that the terms of the lease shall be subject in all respects to the provisions

contained in this Declaration, the Association's Articles of Incorporation, and its Bylaws, and that any failure by said tenant to comply with the terms of such documents shall be a default under such lease. For the purposes of this Declaration, a "lease" shall mean any agreement for the leasing or rental of a Dwelling Unit (including a month-to-month rental agreement), and all such Leases shall be in writing. Other than the foregoing, there is no restriction on the right of any Owner to lease his/her Dwelling Unit.

- I. Sewer Restrictions: All bathroom, sink and toilet facilities shall be located inside the Dwelling Unit and shall be connected by underground pipe to wet line sewer connection lines which have been provided to each Lot.
- J. Fences: All fences, including fences around dog runs or other uses, must be approved in advance by the Architectural Control Committee as to design, materials, and location. No such fence shall extend beyond the front plane of the Dwelling Unit constructed, or to be constructed, on the Lot.
- K. Parking Rights: Subject to the provisions of paragraph F. above, any automobile or other vehicle used by any owner or guest may be parked in the driveway or garage which is part of the Dwelling Unit.

ARTICLE VIII: ARCHITECTURAL CONTROL.

Section 1. Architectural Control Committee: In order to protect the quality and value of the homes built on the Properties, and for the continued protection of the Owners thereof, an Architectural Control Committee is hereby established consisting of three or more Owners to be appointed by the Board of Directors of the Association. The Board of Directors of the Association shall appoint members to the Architectural Control Committee at each annual meeting of the Board.

Section 2. Approvals Required: No building, fence, wall, patio cover, window awning, or other structure or landscaping improvements of any type, shall be commenced, built, constructed, placed, or maintained upon any Lot, Common Area, Shared Driveway, or other property, nor shall any exterior addition, change or alteration of existing improvements be made until the plans and specifications showing the nature, kind, shape, configuration, height, materials, location, and such other detail as the Architectural Control Committee may require, shall have been submitted to and approved in writing by the Architectural Control Committee as to the harmony of external design and location in relation to surrounding structures and topography, and as to conformity with requirements of this Declaration.

The Architectural Control Committee shall have the right to refuse to approve any design, plan or color for such improvements, construction, or alterations which, in its opinion, are not suitable or desirable for any reason, aesthetic or otherwise. In so passing any such design, the Committee shall have the privilege in the exercise of its discretion to take into consideration the suitability of any proposed alteration. Sheds or play structures are not allowed. The Architectural Control Committee may also consider whether the design of the proposed alteration is in harmony with the surroundings, the effect of the alteration when viewed from adjacent or neighboring property, and any and all other facts which, in the Architectural Control Committee's opinion, shall affect the desirability of such proposed improvement or alteration. Actual alterations shall comply substantially with the plans and specifications approved.

Section 3. Submissions: Requests for approval of the Architectural Control Committee shall consist of such documents and other materials as may be reasonably requested by the Architectural Control Committee.

Section 4. Rules and Regulations: The Architectural Control Committee is hereby authorized to adopt such rules and regulations to govern its procedures and the requirements for making submissions and obtaining approval as the Committee deems appropriate and in keeping with the spirit of due process of law. The Architectural Control Committee is further hereby empowered to adopt such rules and regulations as it shall deem appropriate, to be consistent with the provisions of this Declaration, pertaining to matters of design, materials, colors, and aesthetic interests. Any such rules and regulations may be amended from time to time, at the sole discretion of the Architectural Control Committee. The failure of the Architectural Control Committee to adopt any such rules and regulations shall not form the basis for an attack upon the exercise of the Architectural Control Committee's discretion, it being the intent of this Declaration to provide the Architectural Control Committee with as broad discretion as is permissible under the law.

Section 5. Waiver: The approval of any plans, drawings or specifications for any alteration, or for any matter requiring the approval of the Architectural Control Committee, shall not be deemed a waiver of any right to withhold approval of any similar plan, drawing, specifications, or matters subsequently submitted for approval.

Section 6. Liability: Neither the Architectural Control Committee nor any member thereof shall be liable to the Association, any Owner, or any other party, for any damage suffered or claimed on account of any act, action or lack thereof, or conduct of the Architectural Control Committee or any members thereof, so long as the Architectural Control Committee, or the respective members thereof, acted in good faith on the basis of information they then possessed.

Section 7. Construction and Sales Period Exception: During the course of construction of any permitted structures or improvements and during the initial sales period, the restrictions (including sign restrictions) contained in this Declaration or in any Supplemental Declaration shall be deemed waived to the extent necessary to permit such construction and the sale of all Dwelling Units; provided that, during the course of such construction and sales, nothing shall be done which will result in a violation of these restrictions upon completion of construction and sale. Further, Declarants shall have the right to select and use any individual Dwelling Units owned by it as models for sales purposes.

ARTICLE IX: INSURANCE AND BOND.

Section 1. Required Insurance: The Association shall obtain and keep in full force and effect at all times the following insurance coverages provided by companies duly authorized to do business in Idaho. The provisions of this Article shall not be construed to limit the power or authority of the Association to obtain and maintain insurance coverage in addition to any insurance coverage required hereunder in such amounts and in such forms as the Association may deem appropriate from time to time.

- A. A comprehensive policy of public liability insurance covering all of the common areas, commercial spaces and public ways in the properties. Such insurance policy shall contain a severability of interest endorsement which shall preclude the insurer

from denying the claim of an Owner because of negligent acts of the Association or other Owners. The scope of coverage must include all other coverage in the kinds and amounts required by private institutional mortgage investors for projects similar in construction, location and use.

- B. Workmen's compensation and employer's liability insurance and all other similar insurance with respect to employees of the Association in the amounts and in the forms now or hereafter required by law.

Section 2. Optional Insurance: The Association may obtain and keep in full force and effect at all times the following insurance coverage provided by companies duly authorized to do business in Idaho:

- A. A multi-peril-type policy covering any Common Area improvements, providing as a minimum fire and extended coverage and all other coverage in the kinds and amounts commonly required by private institutional mortgage investors for projects similar in construction, location and use on a replacement cost basis in an amount not less than one hundred percent (100%) of the insurable value (based upon replacement cost).
- B. Liability insurance affording coverage for the acts, errors and omissions of its directors and officers, including members of the Architectural Control Committee and other committees as may be appointed from time to time by the Board of Directors of such association, in such amount as may be reasonable in the premises.
- C. The Association may obtain bonds and insurance against such other risks, of a similar or dissimilar nature, as it shall deem appropriate with respect to the protection of the properties, including any personal property of the Association located thereon, its directors, officers, agents, employees, and association funds.

Section 3. Additional Provisions: The following additional provisions shall apply with respect to insurance:

- A. Insurance secured and maintained by the Association shall not be brought into contribution with insurance held by the individual Owners or their mortgages.
- B. Each policy of insurance obtained by the Association shall, if possible, provide: a waiver of the insurer's subrogation rights with respect to the Association, its officers, the Owners and their respective servants, agents and guests; that it cannot be canceled, suspended or invalidated due to the conduct of any agent, officer or employee of the Association without a prior written demand that the defect be cured; that any "no other insurance" clause therein shall not apply with respect to insurance held individually by the Owners.
- C. All policies shall be written by a company licensed to write insurance in the state of Idaho and all hazard insurance policies shall be written by a hazard insurance carrier holding financial rating by Best's Insurance Reports of Class VI or better.
- D. Notwithstanding anything herein contained to the contrary, insurance coverage must be in such amounts and meet other requirements of the Federal Home Loan Mortgage Corporation.

ARTICLE X: CONDEMNATION.

Section 1. Consequences of Condemnation: If, at any time or times, all or any part of the Common Area shall be taken or condemned by any public authority or sold or otherwise disposed of in lieu of or in avoidance thereof, the following provisions shall apply.

Section 2. Proceeds: All compensation, damages, or other proceeds therefrom, the sum of which is hereinafter called the "condemnation award," shall be payable to the Association owning the condemned Common Area.

Section 3. Apportionment: The condemnation award shall be apportioned among the Owners having an interest in the condemned Common Area equally on a per-Lot basis. The Association shall, as soon as practicable, determine the share of the condemnation award to which each Owner is entitled. Such shares shall be paid into separate accounts, one account for each Lot. Each such account shall remain in the name of the appropriate Association and shall be further identified by Lot number and the name of the Owner thereof. From each separate account, the Association, as attorney-in-fact, shall use and disburse the total amount of such accounts, without contribution from one account to the other, first to Mortgagees and other lienors in the order of priority of their Mortgages and other liens and the balance remaining to each respective Owner.

ARTICLE XI: MORTGAGEE PROTECTION.

Section 1. Notwithstanding anything to the contrary contained in this Declaration or in the Articles or Bylaws of the Association:

- A. The Association shall maintain an adequate reserve fund for the performance of its obligations, including the maintenance, repairs, and replacement of those common elements and improvements thereon, and such reserve shall be funded by at least quarterly assessments.
- B. The holders of First Mortgages shall have the right to examine the books and records of the Association and to require annual reports or other appropriate financial data.
- C. Any management agreement for the Properties or Common Area, or any other contract providing for services of the developer, sponsor or builder, shall be terminable (i) by the contracting Association for cause upon thirty (30) days written notice thereof, and (ii) by either party without cause and without payment of a termination fee on ninety (90) days or less written notice thereof, and the term of any such agreement shall not exceed one (1) year.
- D. Any lien which the Association may have on any Lot or Dwelling Unit for the payment of assessments attributable to such Lot or Dwelling Unit will be subordinate to the lien or equivalent security interest of any Mortgage on the Lot or Dwelling Unit recorded prior to the date notice of such assessment lien is duly recorded.
- E. Unless all institutional holders of First Mortgages have given their prior written approval, no Association shall:
 - 1. By act or omission seek to abandon, partition, subdivide, encumber, sell or transfer the Common Area property owned, directly or indirectly, by such Association for the benefit of the Owners. (The granting of easements for

public utilities or for other public purposes consistent with the intended use of such Common Area property shall not be deemed a transfer within the meaning of this clause.)

2. Change the method of determining the obligations, assessments, dues or other charges which may be levied against an Owner.
3. By act or omission change, waive or abandon any scheme of regulations, or enforcement thereof, pertaining to the architectural design or the exterior appearance of Dwelling Units, the maintenance of the Common Area property, Party Walls, or common fences and driveways, or the upkeep of lawns and plantings in the subdivision.
4. Fail to maintain fire and extended coverage on insurable Common Area property on a current replacement cost basis in an amount not less than one hundred percent (100%) of the insurable value (based on current replacement cost).
5. Use hazard insurance proceeds for losses to any Common Area property for other than the repair, replacement or reconstruction of such Common Area property.
6. Amend materially this Declaration, the Association's Articles of Incorporation, or its Bylaws.

ARTICLE XII: GENERAL PROVISIONS.

Section 1. Enforcement: The Association, or any Owner, or the owner of any recorded mortgage upon any part of said property, shall have the right to enforce, by any proceedings at law or in equity, all restrictions, conditions, covenants, reservations, liens and charges now or hereafter imposed by the provisions of this Declaration. Failure by the Association, or by any Owner to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter. In the event the Association or an Owner is required to initiate any action to enforce the provisions of this Declaration, it shall be entitled to recover from the Owner against whom enforcement is sought, all attorney fees and costs incurred as a consequence thereof, whether or not any lawsuit is actually filed, and any such attorney fees and costs so incurred by the Association shall be added to and become a part of the assessment to which such Owner's Lot is subject.

Section 2. Severability: Invalidation of any one of these Covenants, Conditions, or Restrictions of this Declaration by judgment or court order shall in no way affect any other provisions, which shall remain in full force and effect.

Section 3. Amendment: The Covenants, Conditions and Restrictions of this Declaration shall run with the land and shall inure to the benefit of and be enforceable by the Association or the legal Owner of any Lot subject to this Declaration, their respective legal representatives, heirs, successors, and assigns, for a term of twenty-five (25) years from the date this Declaration is recorded, after which time said covenants shall be automatically extended for successive periods of ten (10) years. Except as otherwise provided herein, any of the covenants and restrictions of this Declaration, except the easements herein granted, may be amended by an instrument signed by members entitled to cast not less than two-thirds (2/3) of the votes of membership. Any amendment to the Covenants, Conditions and Restrictions of this

Declaration shall require, until the last Lot in the Subdivision is sold by the Declarant, in addition to the requisite majority membership vote, written consent of Declarant, its successors, or assigns. Any amendment must be recorded.

Neither the Declarants nor the Owners shall amend any provision of this Declaration that was required by Garden City as a condition of approval for the development of the Properties without the prior written consent of the Garden City's Planning Director.

Section 4. Assignment by Declarant: Any or all rights, powers and reservations of Declarants herein contained may be assigned to the Association or to any other corporation, company, or association which is now organized or which may hereafter be organized and which will assume the duties of Declarants hereunder pertaining to the particular rights, powers and reservations assigned. Upon evidencing its intent in writing to accept such assignment, any such association, company, or corporation shall have the same rights and powers and be subject to the same obligations and duties as are given to and assumed by Declarants herein. All rights of Declarants hereunder reserved or created shall be held and exercised by Declarants alone, so long as it owns any interest in any portion of said property.

Section 5. Dispute Resolution and Governing Law: All Disputes (as defined herein below) arising between the Declarants and the Association (or any member thereof) shall be finally determined by arbitration pursuant to the applicable rules of the American Arbitration Association. Arbitration may be commenced by either party by filing a demand for arbitration with the American Arbitration Association. Judgment upon the award rendered by the arbitrator in any arbitration in which the Declarants and the Association are among the parties, shall be final and binding and may be entered in any court having jurisdiction thereof. As used herein, the term "Disputes" shall include, without limitation, any controversy between the Declarants and the Association (whether or not the controversy includes third parties) arising in any way out of this Declaration or its interpretation; the work of Declarants or Pineview Development, LLC in developing and constructing the subdivision and any improvements therein, including without limitation construction defects; and the formation, operation or control of the Association. Disputes include any cause of action whether arising in tort, contract, statute or otherwise. The exclusive venue for all proceedings conducted under this section shall be in Ada County, Idaho. This Declaration shall be governed by, and construed in accordance with, the laws of the State of Idaho.

IN WITNESS WHEREOF, Declarants have caused their names to be hereunto subscribed on this _____ day of _____, 2021.

Frank D. Page

ACKNOWLEDGMENT

STATE OF IDAHO)
 : ss.
County of _____)

On the ____ day of _____, _____, before me, the undersigned Notary Public, personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that s/he executed the same.

IN WITNESS WHEREOF, I have set my hand and seal the day and year as above written.

Notary Public for Idaho

Residing at _____
Commission Expires: _____

Dicksie L. Page

ACKNOWLEDGMENT

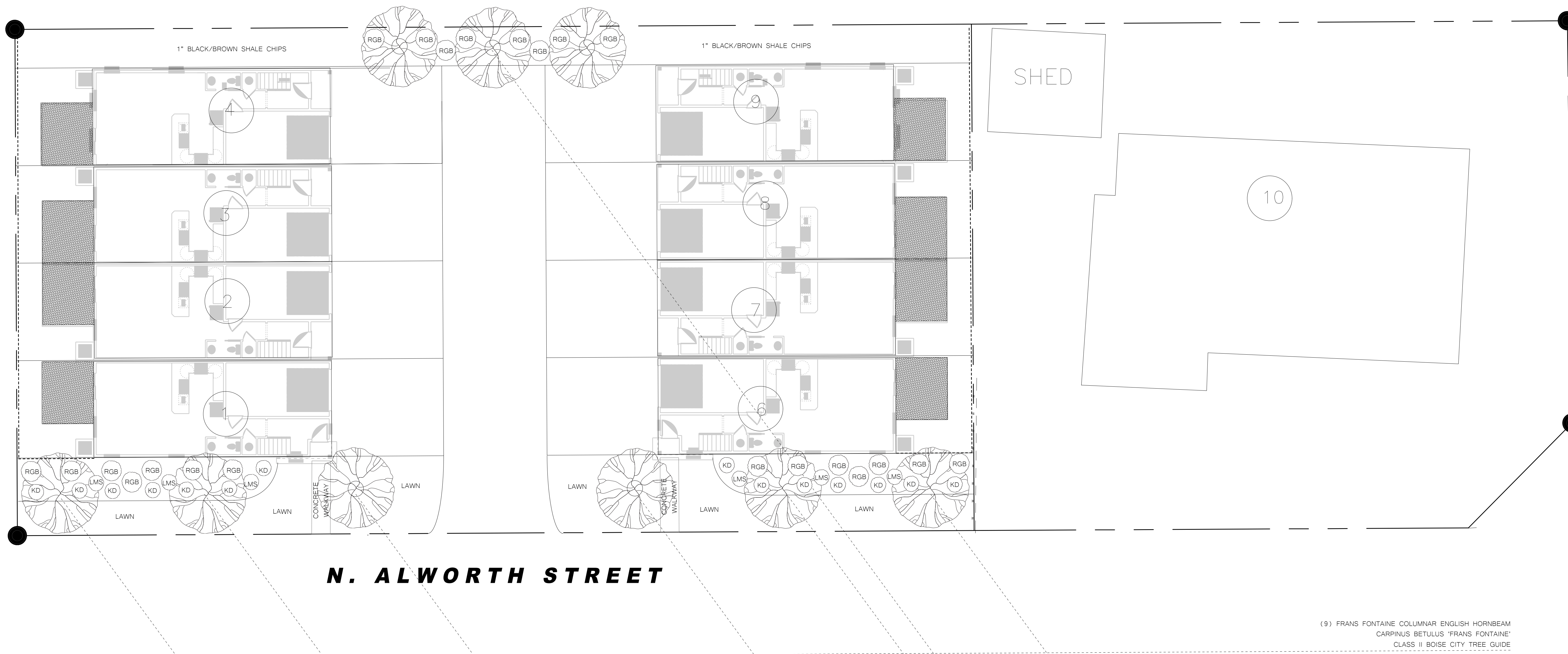
STATE OF IDAHO)
 : ss.
County of _____)

On the ____ day of _____, _____, before me, the undersigned Notary Public, personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that s/he executed the same.

IN WITNESS WHEREOF, I have set my hand and seal the day and year as above written.

Notary Public for Idaho

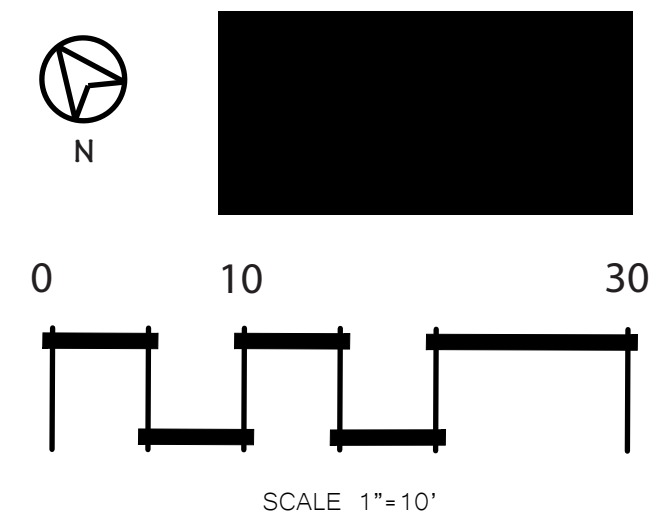
Residing at _____
Commission Expires: _____



----- 6' VINYL FENCE
 PLANTER BEDS COVERED IN 1" BLACK/BROWN SHALE CHIPS

PLANTING KEY:

(14) KD = KELSEY DOGWOOD
 (6) LMS = LIMEMOUND SPIREA
 (20) RGB = ROSE GLOW BARBERRY



DATE:	JULY 26, 2021
CLIENT:	CRAIG KULCHAK
LOCATION:	ALWORTH TOWNHOMES 4900 ALWORTH ST GARDEN CITY, ID 83714
PREPARED BY:	MEGAN BENNETT PRINCIPAL DESIGNER OWYHEE LANDSCAPE DESIGN LLC PO BOX 7097, BOISE, ID 83707 801.358.1620



Robb Vavold
Po Box 972
Caldwell, Idaho 83606
(208) 250-3511

On the corner of 49th Street and Alworth Street is a 0.671-acre lot zoned R-3, commonly known as 4900 Alworth Street. Although the lot is zoned R-3, most of the lot is undeveloped—there is one single-family home built on the eastern most part of the lot. The lot directly to the north has been approved for the development of a subdivision consisting of eight two-story attached single family residential units. Going one lot further north, there is an existing apartment complex.

Like the owner of the lot to the north, the applicants are seeking to develop 4900 Alworth Street into a subdivision consisting of eight two-story attached single family residential units while leaving the existing single-family home unchanged. The proposed subdivision will be in harmony with other nearby development, and will create diversity as well as aiding in the transition from the existing single-family homes that are in close proximity.

The buildings themselves will create visual interest and enhance connectivity, both from vehicular and pedestrian viewpoints—eliminating an idle parcel of land that is highly visible from Alworth Street and from the buildings abutting it. The two-story 4-plex structures will include 3-bedroom dwelling units with single-car ground floor garages with 21.5' driveways. The facades will be composed of various materials such as batten board, cultured stone, and fiber cement siding. Projections and recesses will create further visual interest. Overall, the development will enhance the visual character of the community.

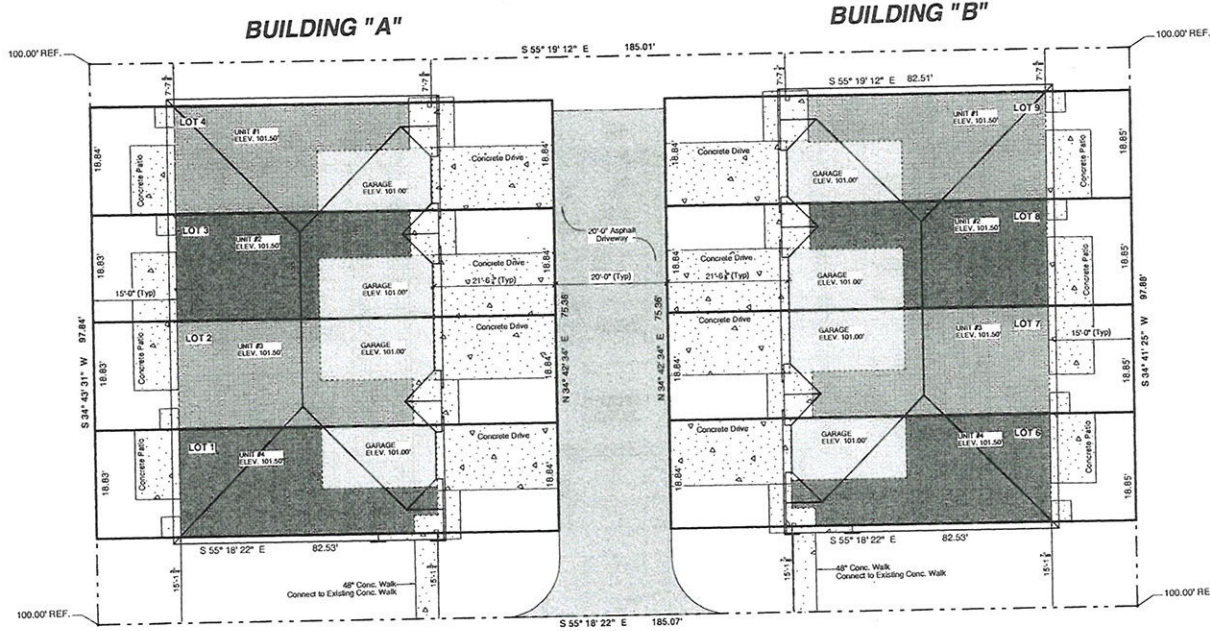
The development will be safe, sustainable and convenient, and enhance the quality of life of its residents. It will be located less than one block from the bus stop at 49th Street and Alworth and in close proximity to the green belt. Thus, the development will promote walkability and a feeling of neighborhood.

We believe the design of the buildings is well within the requirements set forth in the Garden City Municipal Code. Each requirement is specifically addressed below.

1. The materials used on the street facade wrap a minimum of two feet around the facades not facing the street, or terminate at a perpendicular building element.
2. The front entry of the street-facing units is clearly defined and identified by having a direct and permanent pathway connecting the front entry to the public sidewalk and by making the front entry clearly visible in the front elevation.
3. The elevations adjacent to the public street contain windows; have a direct and permanent pathway connecting to the sidewalk and an entrance with decorative posts, a roof, and covered porch; and modulation in the building facade.

Robb L. Vavold

LEGAL DESCRIPTION
 LOTS 1 - 9, RESUBDIVISION OF
 LOT 11 OF BLOCK 3
 RANDALL ACRES SUBDIVISION NO. 5
 SITUATED IN THE NW 1/4 OF THE NE 1/4 SEC. 31, T.4N., R.2 E., B.M
 GARDEN CITY, ADA COUNTY, IDAHO



SLOPE GRADE AWAY FROM DWELLING
 MINIMUM 5% FOR 10' IN EACH DIRECTION,
 THEN 2% THEREAFTER.

N. ALWORTH STREET

DRAWING SHEET INDEX

- A0 SITE PLAN
- BUILDING "A"**
- A1-A FOUNDATION PLAN
 - A2-A MAIN FLOOR PLAN
 - A3-A 2ND FLOOR PLAN
 - A4-A FRONT / REAR ELEVATIONS
 - A5-A SIDE ELEVATIONS
 - A6-A 2nd FLOOR FRAMING PLAN
 - A7-A SECTIONS & DETAILS
 - A8-A ROOF FRAMING PLAN
 - A9-A BRACED WALL PLAN UNIT #1
 - A10-A BRACED WALL PLAN UNIT #2
 - A11-A BRACED WALL PLAN UNIT #3
 - A12-A BRACED WALL PLAN UNIT #4
 - E1-A MAIN FLOOR ELECTRICAL PLAN
 - E2-A 2ND FLOOR ELECTRICAL PLAN

- BUILDING "B"**
- A1-B FOUNDATION PLAN
 - A2-B MAIN FLOOR PLAN
 - A3-B 2ND FLOOR PLAN
 - A4-B FRONT / REAR ELEVATIONS
 - A5-B SIDE ELEVATIONS
 - A6-B 2nd FLOOR FRAMING PLAN
 - A7-B SECTIONS & DETAILS
 - A8-B ROOF FRAMING PLAN
 - A9-B BRACED WALL PLAN UNIT #1
 - A10-B BRACED WALL PLAN UNIT #2
 - A11-B BRACED WALL PLAN UNIT #3
 - A12-B BRACED WALL PLAN UNIT #4
 - E1-B MAIN FLOOR ELECTRICAL PLAN
 - E2-B 2ND FLOOR ELECTRICAL PLAN

Square Footages (Bldg. "A" & "B")

UNIT #1 - 3	
Main Floor	606 Sq. Ft.
Upper Floor	823 Sq. Ft.
Total Living	1429 Sq. Ft.
Garage - Covered Patio	219 Sq. Ft.
	31 Sq. Ft.
UNIT #4	
Main Floor	625 Sq. Ft.
Upper Floor	803 Sq. Ft.
Total Living	1428 Sq. Ft.
Garage - Covered Patio	217 Sq. Ft.
	14 Sq. Ft.

Robb Vavolo
 P.O. Box 972
 Caldwell, Idaho 83619
 (208) 250-3511
 RVAVOLO@GMAIL.COM

YAVOLO DESIGN
 RESIDENTIAL HOME DESIGN & DRAWING

SITE PLAN

Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, ID 83687

REVISIONS	DATE	BY	DESCRIPTION

DRAWN BY: ROBB VAVOLO
 PROJECT: 4P/LEY
 N. ALWORTH ST
 GARDEN CITY, ID.

DATE: August 6, 2021
 SCALE: 1" = 20'-0"
 SHEET: A0

PREScriptive ENERGY COMPLIANCE

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE
 REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE.

IECC TABLE: 402.1.1

CLIMATE ZONE	WINDOW U-FACTOR	OPaque WALL R-VALUE	CEILING R-VALUE	ROOF R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	GLAZING R-VALUE	GLAZING SHGC	SHADING DEVICE	OPaque WALL R-VALUE	
											MINIMUM	MAXIMUM
3	0.25	13	3	15	5	5	5	0.75	0.75	0.50	5	5

GARDEN CITY, ID. DESIGN CRITERIA

Codes: IRC 2018, IECC 2012, IPC 2015, IEC 2015, NEC 2017

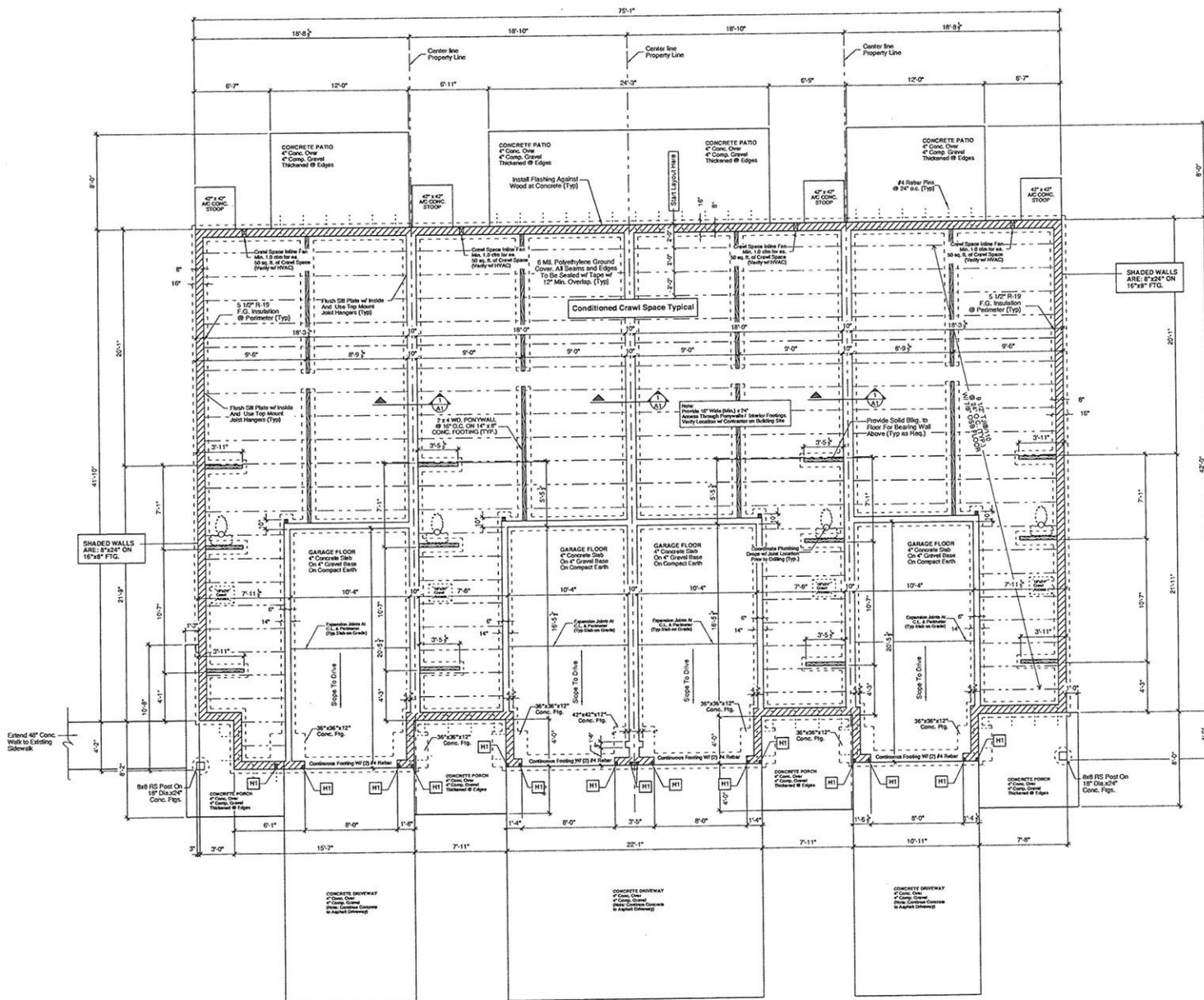
FROST DEPTH: 34"

SEISMIC ZONE: C

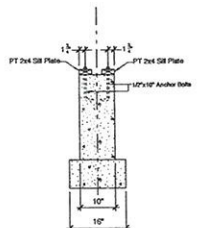
CLIMATE ZONE: 3

BASIC WIND SPEED: 110 MPH

ROOF LOADS:	DEAD LOAD:	12 PSF
	SNOW LOAD:	25 PSF
	TOTAL LOAD:	47 PSF
FLOOR LOADS:	DEAD LOAD:	12 PSF
	LIVE LOAD:	40 PSF
	TOTAL LOAD:	52 PSF



FOUNDATION NOTES:
 1 STORY: 6"x6" CONC. FOUNDATION WALLS ON 14"x8" CONC. FTGS. (TYP)
 2 STORY: 10"x8" CONC. FOUNDATION WALLS ON 18"x8" CONC. FTGS. (TYP)
 2x6 PT SILL PLATE W/ 1/2"x1/2" ANCHOR BOLTS EMBEDDED 7" MIN. @ 7' O.C. MAX. AND WITHIN 12" FROM CORNERS @ PER BOARD MIN.
 ALL CONCRETE FOUNDATION FOOTINGS AND PIERIS TO BE MIN. DEPTH OF 24" BELOW FINISHED GRADE FOR FROST PROTECTION
 4" CONCRETE SLAB ON MIN. 4" COMPACTED STRUCTURAL FILL
 ALL EXPOSED SLAB EDGES TO BE THICKENED 6"
 FOOTINGS HAVE (2) #4 REBAR
 FOUNDATION WALLS TO HAVE #4 REBAR 48" O.C. VERTICALLY
 CONDITIONED CRAWL SPACE



HOLDOWN SCHEDULE

Mark	Strip Type	Strip Fasteners	# of Strips	Anchor Bolt	# of Strips	Fasteners
HT	STDH14	200 164 Strips	2	CR HDUS-S02.5 w/ SSS6824	2	(14) 1/4" x 12" SDS

Robt Wavold
 P.O. Box 372
 Calwell, Idaho 83606
 (208) 250-3511
 RWavold@gmail.com

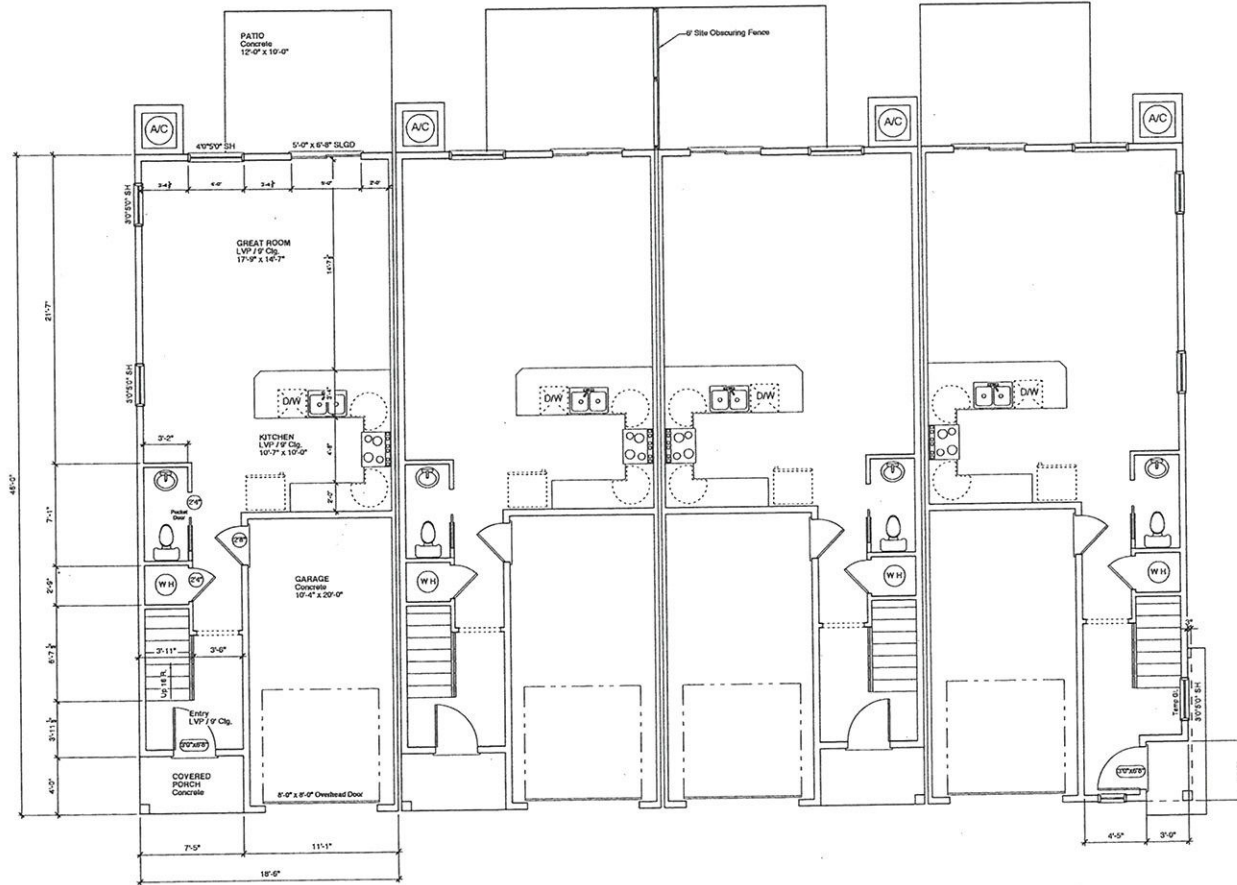
VAVOLD DESIGN
 RESIDENTIAL HOME DESIGN & CONSTRUCTION

**BUILDING "A"
 FOUNDATION
 PLAN**

Pineview Development LLC
 16687 N. Thurgood Loop
 Nampa, Id. 83687

REVISIONS	DATE	BY

DRAWN BY: RWB WAVOLD
 PROJECT:
 4PLEX
 N. A. GARDEN ST.
 GARDEN CITY, ID.
 DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET:
A1-A



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 (Per Unit)
 1st Floor: 602 Sq. Ft.
 2nd Floor: 802 Sq. Ft.
 Total: 1404 Sq. Ft.

Robb Vavold
 Po Box 972
 Caldwell, Idaho 83606
 (208) 459-8711
 RobbV@cabcorp.net

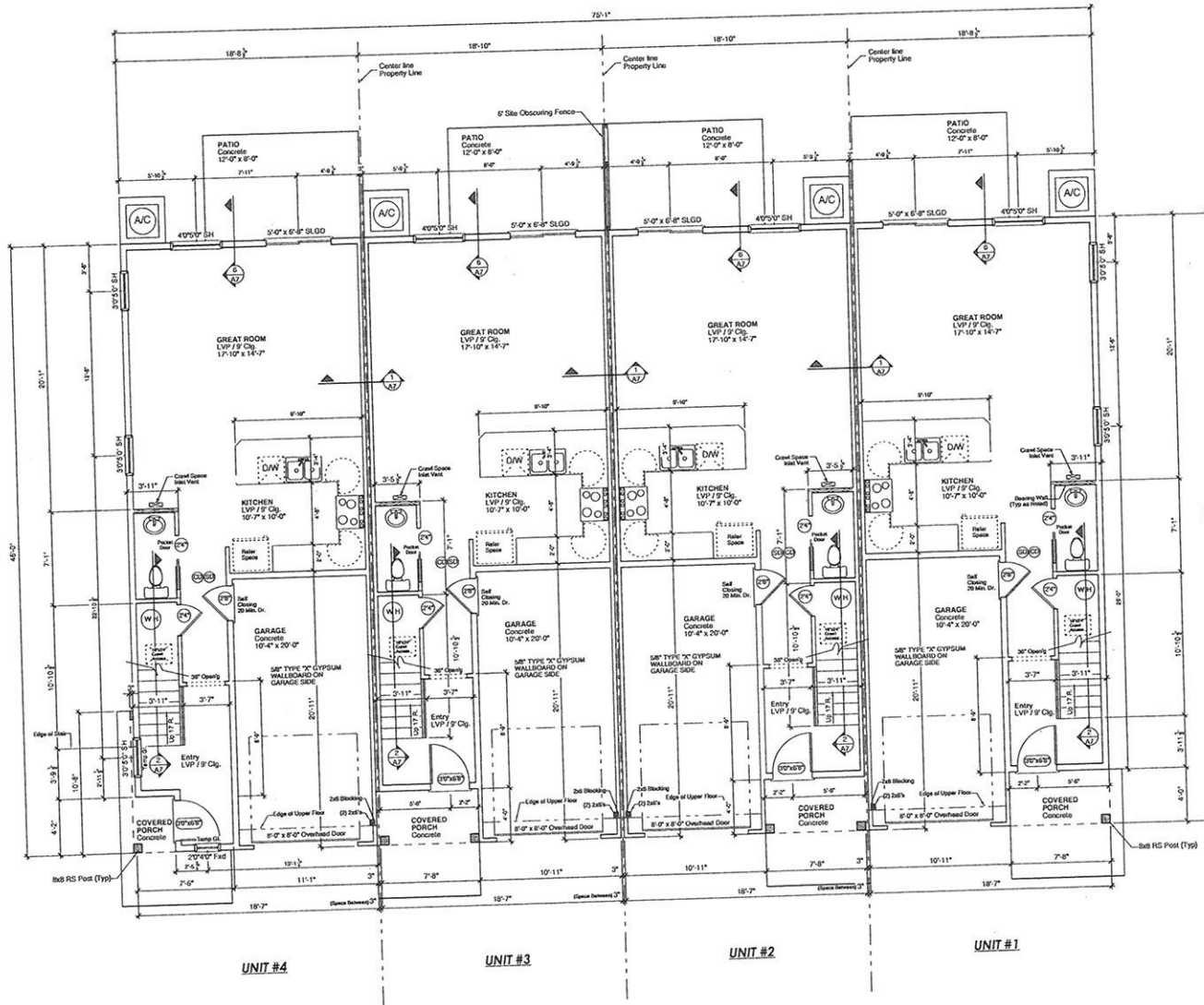
VAVOLD DESIGN
 RESIDENTIAL HOME DESIGN DRAFTING

MAIN FLOOR PLAN

Pipe/flow Development LLC
 16687 N. Thurgood Loop
 Nampa, Id. 83867

NO.	DESCRIPTION	DATE	BY

DRAWN BY: ROBB VAVOLD
 PROJECT: N. ALWORTH ST. GARDEN CITY, ID.
 DATE: June 14, 2021
 SCALE: 1/4" = 1'-0"
 SHEET: **A2**



- ⊕ Smoke Detectors
- ⊕ Carbon Monoxide Detectors

Square Footage:

UNIT #1 - 3	626 Sq. Ft.
Main Floor:	803 Sq. Ft.
Upper Floor:	1409 Sq. Ft.
Total Living:	
Garage -	219 Sq. Ft.
Covered Patio:	31 Sq. Ft.
UNIT #4	625 Sq. Ft.
Main Floor:	803 Sq. Ft.
Upper Floor:	1428 Sq. Ft.
Total Living:	
Garage -	217 Sq. Ft.
Covered Patio:	14 Sq. Ft.

GENERAL NOTES:

2x6 OF STUDS @ 16" O.C. EXTERIOR FRAMING (SEE 100 HOLE DRILLING) AND DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.

2x4 INTERIOR FRAMING (UNLESS NOTED OTHERWISE).

MAIN FLOOR FRAME WALLS @ 8" x 16" UPPER FLOOR FRAME WALLS @ 8" x 16" (UNLESS NOTED OTHERWISE).

4x8 OF HEADERS @ ALL OPENINGS IN BEARING WALLS (UNLESS NOTED OTHERWISE).

ALL STRUCTURAL LUMBER SIZED FOR #2 OR BETTER DOUGLAS FIR LARCH.

7/16" OSB CONTINUOUS SHEATHING.

ALL PARTITION DIMENSIONS ARE TO FACE OF STUD.

ALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.

R-8 IN BLOWN-IN INSULATION @ ALL EXTERIOR WALLS.

WIND DOUBLE GLAZE LOW-E WINDOWS (22" L WALLS OR HIGHER).

ROOF TO BE PRE-ENGINEERED WOOD TRUSS.

ROOF TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT.

DOORS BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING WITH MIN. FIRE RATING OF 20 MINUTES.

5/8" TYPE "X" GYPSUM WALL BOARD IS REQUIRED AT ALL GARAGE DWELLING WALLS AND CEILING. APPLIED TO GARAGE AND WALLS/CEILING AND POSTS SUPPORTING FIRE PROTECTION HOODS/STAIR STRUCTURAL MEMBERS.

FLOOR PLAN NOTES:

- PROVIDE ATTIC ACCESS TO AREAS THAT EXCEED 30,000 FT. ACCESS NOT LESS THAN 2" x 30" AND SHALL BE IN A WALL WITH EASY ACCESSIBLE LOCATION. 30" MIN. UNRESTRICTED HEADROOM IN THE ATTIC SPACE.
- PROVIDE ALL BATHROOM WATER CLOSET CLOSET AND BATHROOM CLOSET CANS. SEAM EXHAUST DUCT DIRECTLY TO THE OUTSIDE OR 25' FT. OF AGGREGATE DRAINING 1/2" OF WHICH MUST BE OPTABLE.
- PROVIDE 30" MIN. WIDTH FOR THE WATER CLOSET AND 24" CLEAR IN FRONT.
- VENT DRYER TO OUTSIDE WITH 4" METAL DUCTING. TERMINATE CAP. MAXIMUM DRYER DUCT SHALL NOT EXCEED 25' FT. FROM DRYER TO WALL. DRYER TERMINATION LENGTH SHALL BE REDUCED 2.5' FT. FOR EACH 90° BEND AND 5' FT. FOR EACH 45° BEND.
- PROVIDE CRAWL SPACE ACCESS 18" x 24" x 24" UNDER FLOOR SPACES.
- APPLIANCE HAVING AN EXHAUST LOUVER SHALL BE BELIEVED TOUGH THAT THE SOURCE OF DRAINAGE IS NOT LESS THAN 18" ABOVE THE FLOOR IN GARAGES.

Fire Rated System Design - UL U305



UL U305

Interior Partitions - Wood Stud (Load-bearing)

Fire Rating	1 hour
STC / Sound Test	System Thickness
33 dB	4-3/4"
Sound Test: RAL-TL11-172	

Detail Description

- Gypsum Board - 5/8" in. thick board applied horizontally or vertically
- Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC
- Gypsum Board - 5/8" in. thick board applied horizontally or vertically

MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

Rubb Vaidell
P.O. Box 972
Caldwell, Idaho 83806
(208) 250-3511
R.Vaidell@pmlt.com

YAYOYAL DESIGN
RESIDENTIAL ARCHITECTURE

**BUILDING "A"
MAIN FLOOR
PLAN**

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

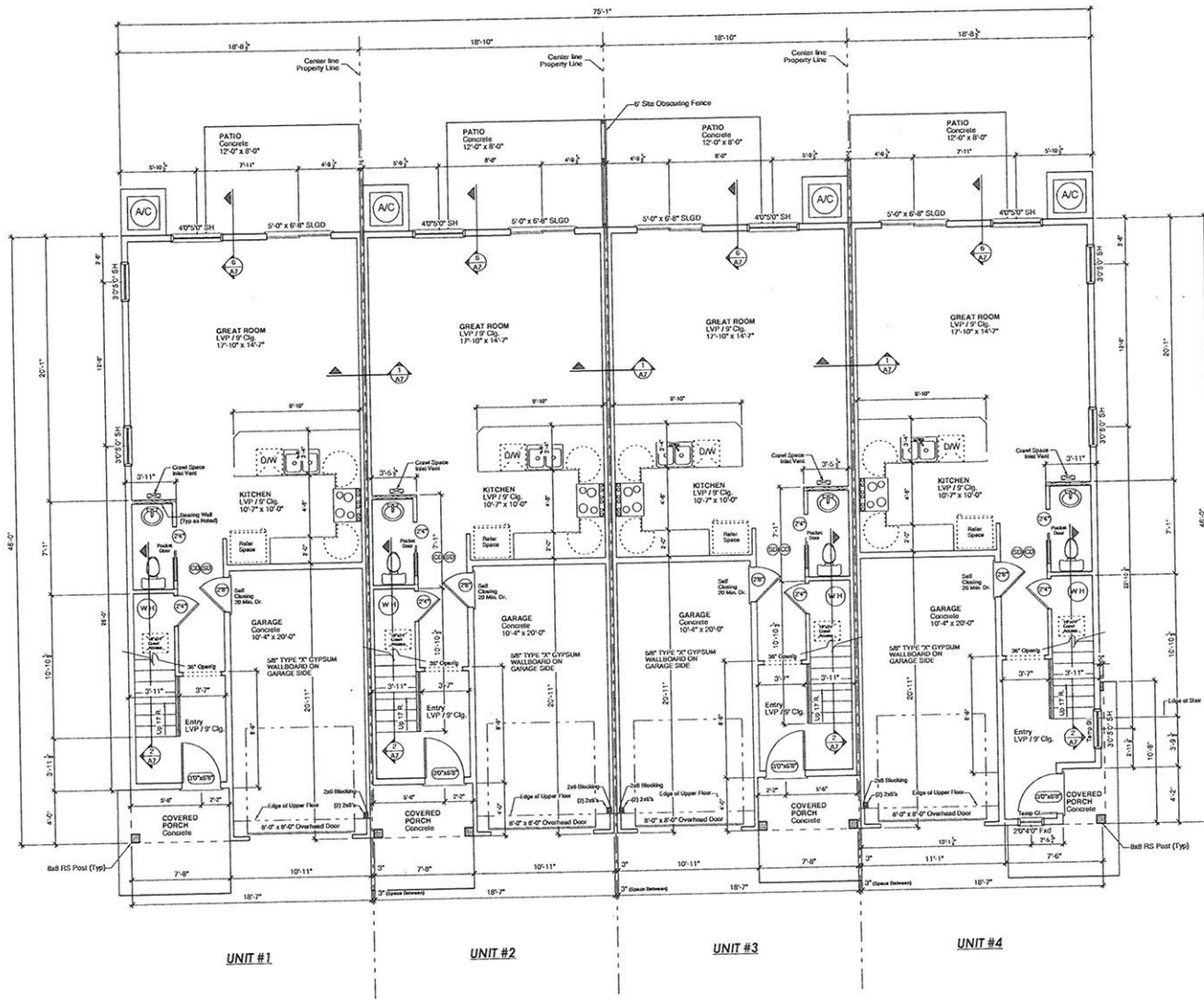
NO.	DATE	DESCRIPTION	REVISIONS

DRAWN BY: JOBB YAYOYAL
PROJECT: 476/ALX
N. ALBERTH ST.
GARDEN CITY, ID.

DATE: August 6, 2021

SCALE: 1/4" = 1'-0"

SHEET: **A2-A**



- Smoke Detectors
- Carbon Monoxide Detectors

Square Footages:

UNIT #1 - 3	
Main Floor	605 Sq. Ft.
Upper Floor	803 Sq. Ft.
Total Living	1407 Sq. Ft.
Garage	219 Sq. Ft.
Covered Patio	31 Sq. Ft.
UNIT #4	
Main Floor	623 Sq. Ft.
Upper Floor	1428 Sq. Ft.
Total Living	2177 Sq. Ft.
Garage	147 Sq. Ft.
Covered Patio	21 Sq. Ft.

GENERAL NOTES:

2x6 OR STUDS @ 16" O.C. EXTERIOR FRAMING. DIMS NOT OTHERWISE INDICATED. TOP PLATE AND SINGLE BOTTOM PLATE.

2x4 INTERIOR FRAMING (UNLESS NOTED OTHERWISE).

MAIN FLOOR FRAME WALLS @ 9" x 12" UPPER FLOOR FRAME WALLS @ 9" x 14" (UNLESS NOTED OTHERWISE).

4x8 OF HEADERS @ ALL OPENINGS IN EXTERIOR WALLS UNLESS NOTED OTHERWISE.

ALL STRUCTURAL LUMBER SIZED FOR #2 OR BETTER DOUGLAS FIR LARCH.

3/4" x 1/8" GORING BRACKETS AT ALL JOINTS.

ALL PARTITION DIMENSIONS ARE TO FACE OF STUD.

ALL ANGLES ARE 45°, UNLESS NOTED OTHERWISE.

R-21 BLOWN-IN INSULATION @ ALL EXTERIOR WALLS.

WIND DOUBLE GLAZE LOW-E WINDOWS (32" U-VALUE OR BETTER).

ROOF TO BE PRE-ENGINEERED W/ GGD TRUSSES.

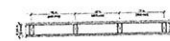
ROOF TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT.

DOORS BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING WITH A MIN. FIRE RATING OF 20 MINUTES.

5/8" TYPE "C" CYPSUM WALL BOARD IS REQUIRED AT ALL GARAGE/DWELLING WALLS AND CEILING. APPLY TO GARAGE AND WALLS AND ROOSTS SUPPORTING LIFE PROTECTION HORIZONTAL STRUCTURAL MEMBERS.

- FLOOR PLAN NOTES:**
- PROVIDE ATTIC ACCESS TO AREAS THAT EXCEED 30 SQ. FT. ACCESS NOT LESS THAN 20" x 30" AND SHALL BE IN A HALLWAY OR EASILY ACCESSIBLE LOCATION. 20" MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE.
 - PROVIDE ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND SHOWER ROOMS (SHOWER PAN) FROM SHOWER DUCT DIRECTLY TO THE OUTSIDE OR 3/8" FT. OF AGGREGATE GRAVEL 1/2" OF WHICH MUST BE OPENABLE.
 - PROVIDE 20" MIN. WIDTH FOR THE WATER CLOSET AND 21" CLEAR IN FRONT.
 - VENT DRYER TO OUTSIDE WITH 4" METAL DUCTING. TERMINATION POINT AND MINIMUM LENGTH SHALL NOT EXCEED 25 FT. FROM DRYER TO WALL ON ROOF. TERMINATION LENGTH SHALL BE REQUIRED 2 1/2" FT. FOR EACH 45° BEND AND 5 FT. FOR EACH 90° BEND.
 - PROVIDE 20" MIN. CLEARANCE 18" x 24" TO ALL UNDER FLOOR SPACES.
 - IF APPLICABLE, MARK AN EXISTING SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF EXISTENCE IS NOT LESS THAN 18" ABOVE THE FLOOR IN GARAGES.

Fire Rated System Design - UL U305



UL U305
Interior Partitions - Wood Stud (Load-bearing)

Fire Rating: 1 hour

STC / Sound Test: System Thickness: 4-3/4"

Sound Test: RAL TL1-172

Detail Description:

- Gypsum Board - 5/8" in. thick board applied horizontally or vertically
- Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC
- Gypsum Board - 5/8" in. thick board applied horizontally or vertically

MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

Robb Vavod
Cabinet, Idaho 83605
(208) 250-9511
RVavod@gmail.com

VAVOLD DESIGN
RESIDENTIAL INTERIOR DESIGN & DRAWINGS

BUILDING "B" MAIN FLOOR PLAN

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, ID 83857

DATE	BY	REVISIONS	DESCRIPTION

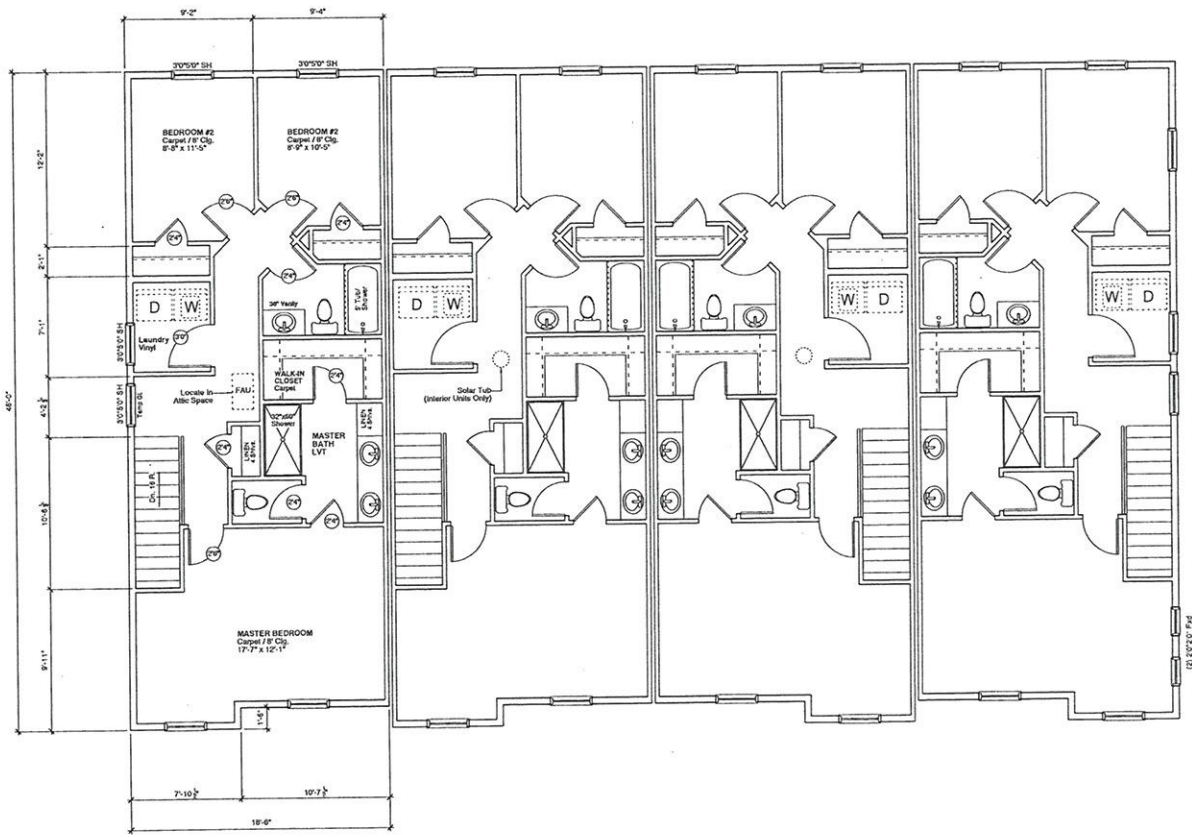
DRAWN BY: ROBB VAVOD
PROJECT: APLEX
N. ALWORTH ST
GARDEN CITY, ID.

DATE: August 6, 2021

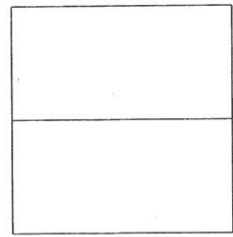
SCALE: 1/4" = 1'-0"

SHEET:

A2-B



2nd FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 (Per Unit)
 1st Floor: 602 Sq. Ft.
 2nd Floor: 802 Sq. Ft.
 Total: 1404 Sq. Ft.



Robb Vavold
 Caldwell, Idaho 83608
 (208) 458-8711
 RobbV@CableOne.net



2nd FLOOR PLAN

Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, Id. 83687

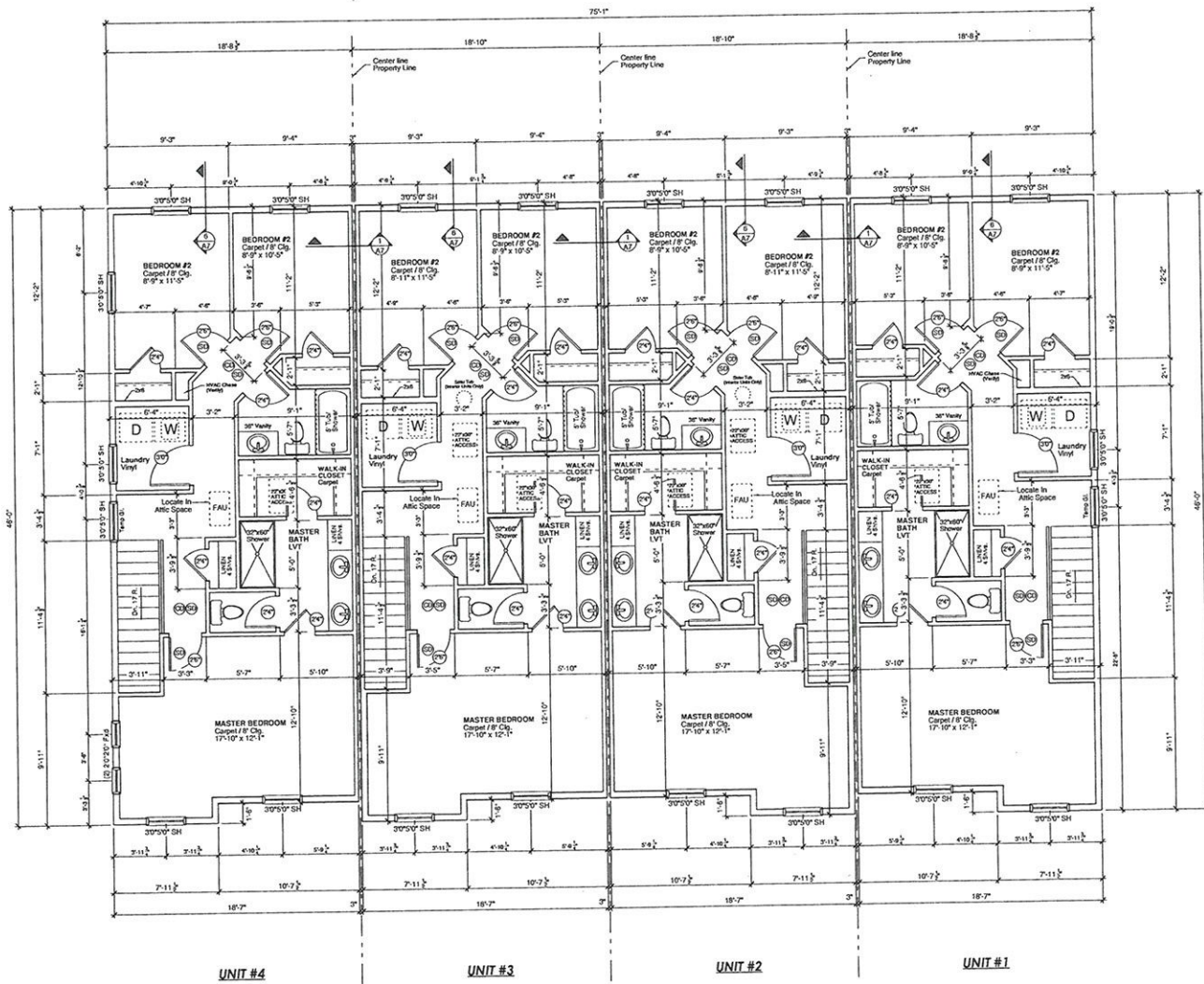
NO.	REVISIONS DESCRIPTION	DATE	BY

DRAWN BY: ROBB VAVOLD
 PROJECT:
 N. ALWORTH ST.
 GARDEN CITY, ID.

DATE: June 14, 2021

SCALE: 1/4" = 1'-0"

SHEET:
A3



- ☉ Smoke Detectors
- ☉ Carbon Monoxide Detectors

Square Footages:	
UNIT #1 - 3	
Main Floor:	696 Sq. Ft.
Upper Floor:	803 Sq. Ft.
Total Living:	1499 Sq. Ft.
Garage - Covered Patio:	219 Sq. Ft.
Total Living:	31 Sq. Ft.
UNIT #4	
Main Floor:	625 Sq. Ft.
Upper Floor:	803 Sq. Ft.
Total Living:	1428 Sq. Ft.
Garage - Covered Patio:	217 Sq. Ft.
Total Living:	14 Sq. Ft.

GENERAL NOTES:

2x6 OF STUDIOS @ 16" O.C. EXTERIOR FRAMING UNLESS NOTED OTHERWISE. 1x6 DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.

2x4 INTERIOR FRAMING UNLESS NOTED OTHERWISE.

MAIN FLOOR FRAME WALLS @ 8" x 16" UPPER FLOOR FRAME WALLS @ 8" x 14" (UNLESS NOTED OTHERWISE).

4x8 OF HEADERS @ ALL OPENINGS IN BEARING WALLS UNLESS NOTED OTHERWISE.

ALL STRUCTURAL LAMBER GRADE FOR #2 OR BETTER DOUGLAS FIR LARCH.

7/16" OSB CONTINUOUS SHEATHING.

ALL PARTITION DIMENSIONS ARE TO FACE OF STUD.

ALL ANGLES ARE 45°, UNLESS NOTED OTHERWISE.

R-21 BLOWN IN INSULATION @ ALL EXTERIOR WALLS.

VINYL DOUBLE GLAZE LOW E WINDOWS (32 U VALUE OR BETTER).

ROOF TO BE PRE-ENGINEERED MFG WOOD TRUSSES.

ROOF TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT.

DOORS BETWEEN GARAGE AND DWELLING TO BE SELF CLOSING WITH A MIN. FIRE RATING OF 20 MINUTES.

1/2" TYPE "X" GYPSUM WALL BOARD IS REQUIRED AT ALL GARAGE/DEWELLING WALLS AND POSTS SUPPORTING THE PROTECTION HORIZONTAL STRUCTURAL MEMBERS.

FLOOR PLAN NOTES:

1. PROVIDE ATTIC ACCESS TO AREA THAT ENDS 30.0" E. ACCESS AND LESS THAN 5" x 30" AND SHALL BE IN A HALLWAY OR EARLY ACCESSIBLE LOCATION. 20" MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE.
2. PROVIDE ALL BATHROOM, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS EXHAUST FANS. EXHAUST FAN DUCTS SHALL EXTEND TO THE OUTSIDE, OR 3.0 FT. OF AGGREGATE GLAZING 1/2 OF WHICH MUST BE OPERABLE.
3. PROVIDE 20" MIN. WIDTH FOR THE WATER CLOSET AND 27" CLEAR IN FRONT.
4. VIEW DRIVER TO OUTSIDE WITH 4" METAL DUCTING, TERMINATION CAP. MAXIMUM LENGTH SHALL NOT EXCEED 20 FT. FROM DRIVER TO WALL ON ROOF. TERMINATION LENGTH SHALL BE REDUCED 2.5 FT. FOR EACH 45° BEND AND 1 FT. FOR EACH 90° BEND.
5. PROVIDE GARAGE SPACE ACCESS 18" x 24" TO ALL UNDER FLOOR SPACES.
6. APPLIANCES HAVING AN IGNITION SOURCE SHALL BE CLEARANCE SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18" ABOVE THE FLOOR IN GARAGES.

Fire Rated System Design - UL U205



UL U205
Interior Partitions - Wood Stud (6' ead bearing)

Fire Rating	1 hour
STC / Sound Test	33 dB
Sound Test: RAL-TL11-172	4-3/4"

Detail Description

- Gypsum Board - 5/8" ts, thick board applied horizontally or vertically
- Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC
- Gypsum Board - 5/8" ts, thick board applied horizontally or vertically

2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

Robb Vawod
 Architect
 10308 250.9511
 RVawod@gmail.com

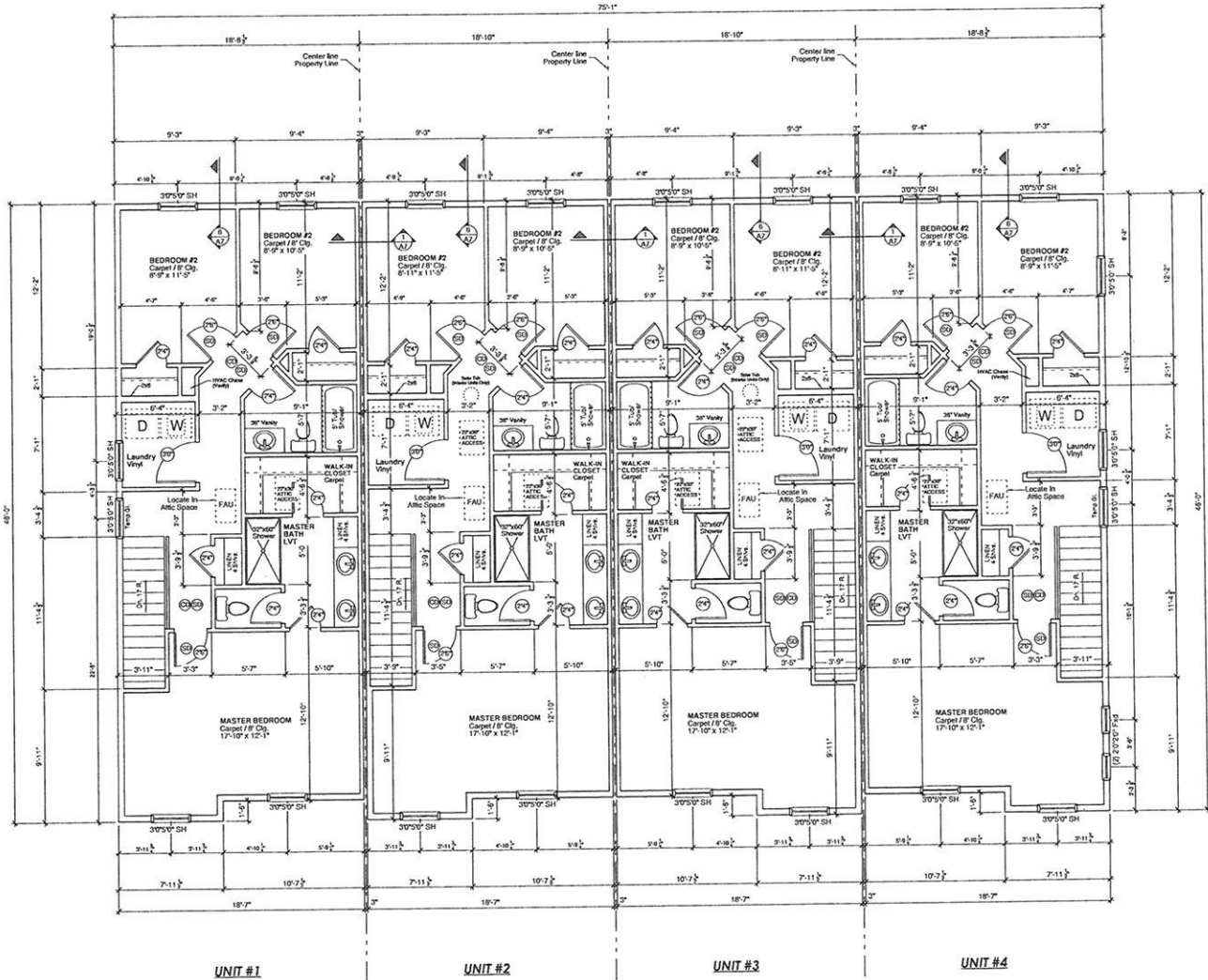
YAVOLD DESIGN
 RESIDENTIAL HOME DESIGN & DRAFTING

BUILDING "A"
2nd FLOOR PLAN

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

NO.	REVISIONS	DATE	BY

DRAWN BY: ROBB VAWOD
 PROJECT: 4B1EX
 N. ALWORTH ST
 GARDEN CITY, ID.
 DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET: **A3-A**



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

- ☉ Smoke Detectors
- ☉ Carbon Monoxide Detectors

Square Footages:	
UNIT #1 - 3	
Main Floor:	606 Sq. Ft.
Upper Floor:	803 Sq. Ft.
Total Living:	1409 Sq. Ft.
Garage - Covered Patio:	219 Sq. Ft.
	31 Sq. Ft.
UNIT #4	
Main Floor:	625 Sq. Ft.
Upper Floor:	803 Sq. Ft.
Total Living:	1428 Sq. Ft.
Garage - Covered Patio:	217 Sq. Ft.
	14 Sq. Ft.

GENERAL NOTES:

2x6 OF STUDS @ 16" O.C. EXTERIOR FRAMING (UNLESS NOTED OTHERWISE) w/ DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE

2x4 INTERIOR FRAMING (UNLESS NOTED OTHERWISE)

MAIN FLOOR FRAME WALLS @ #1 1/2" SPLIT FLOOR FRAME WALLS @ #1 1/2" (UNLESS NOTED OTHERWISE)

4x8 OF HEADERS @ ALL OPENINGS IN BEARING WALLS UNLESS NOTED OTHERWISE

ALL STRUCTURAL LUMBER SIZES FOR 2X FOR BETTER DOUGLAS FIR LARCH

3/4" OSB CONTINUOUS SHEATHING

ALL PARTITION DIMENSIONS ARE TO FACE OF STUD

ALL ANGLES ARE 45°, UNLESS NOTED OTHERWISE

#16 BROWN IRON ROD @ ALL EXTERIOR WALLS

W/WR DOUBLE GLAZE LOW E WINDOWS (2" W/ WALK OR BETTER)

ROOF TO BE FIRE-ENGINEERED W/ GWO WOOD TRUSSES

ROOF TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT

DOORS BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING WITH A MIN. FIRE RATING OF 20 MINUTES

5/8" TYPE "X" GYPSUM WALL BOARD IS REQUIRED AT ALL GARAGE EXTERIOR WALLS AND POSTS APPLIED TO GARAGE AND WALLS AND POSTS STRUCTURAL MEMBERS.

FLOOR PLAN NOTES:

- PROVIDE ATTIC ACCESS TO AREA THAT FINISHED 36 SQ. FT. ACCESS SHALL BE 24" x 30" AND LOCATED IN ATTIC SPACE
- PROVIDE ALL BATHROOM, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS EXHAUST FANS. FANS SHALL BE EXHAUSTED TO THE OUTSIDE. ON 3/8" DI. OF AGGREGATE GRADING 12" OF WHICH MUST BE CONCRETE.
- PROVIDE 30" MIN. WIDTH FOR THE WATER CLOSET AND 37" CLEAR IN FRONT.
- VENT DRYER TO OUTSIDE WITH 4" METAL DUCTING. TERMINATION CAP. MAXIMUM LENGTH SHALL NOT EXCEED 25 FT. FROM DRYER TO WALL ON ROOF. TERMINATION LENGTH SHALL BE REDUCED 2.5 FT. FOR EACH 45° BEND AND 1 FT. FOR EACH 90° BEND.
- PROVIDE CROWN MOULDING 1/2" x 2 1/2" TO ALL UNDER FLOOR SPACES.
- APPLIANTS HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18" ABOVE THE FLOOR IN GARAGES.

Fire Rated System Design - UK L305

UL L305
Interior Partitions - Wood Stud (Load bearing)

Fire Rating: 1 hour

STC / Sound Test: 33 dB

Sound Test: RAL-7L11-172

System Thickness: 4-3/4"

Detail Description:

- Gypsum Board - 5/8 in. thick board applied horizontally or vertically
- Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC
- Gypsum Board - 5/8 in. thick board applied horizontally or vertically

Robb Vayold
P.O. Box 972
Caldwell, Idaho 83806
(208) 350-3571
RVayold@gmail.com

VAYOLD DESIGN
RESIDENTIAL HOME DESIGN & DRAFTING

BUILDING "B" 2nd FLOOR PLAN

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

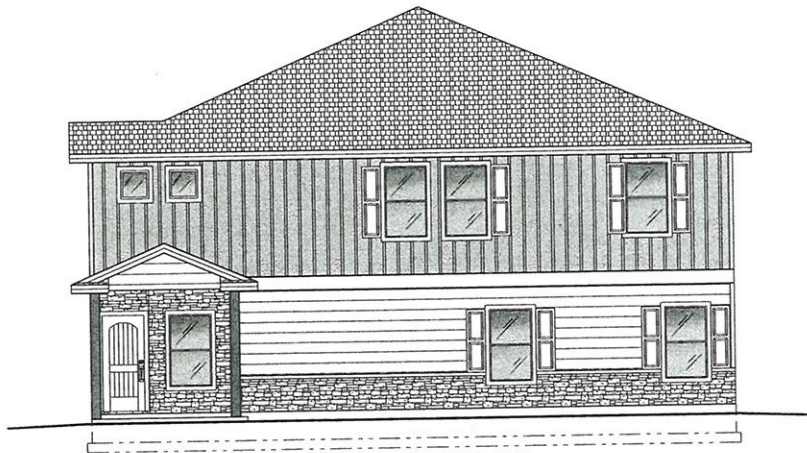
NO.	REVISIONS	DATE	BY

DRAWN BY: ROBB VAYOLD
PROJECT: **ARLEY**
N. ALWORTH ST
GARDEN CITY, ID.

DATE: August 6, 2021
SCALE: 1/4" = 1'-0"
SHEET: **A3-B**



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Robb Vavolo
Architect
Caldwell, Idaho 83406
(208) 459-8711
RobbV@cabone.net



EXTERIOR ELEVATIONS

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

REVISION	DATE	BY

DRAWN BY: ROBB VAVOLO
PROJECT: N. ALWORTH ST GARDEN CITY, ID.

DATE: June 14, 2021

SCALE: Noted

SHEET: A4



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ATTIC VENTILATION NOTES:
The total net free ventilation area shall not be less than 1/150 of the area of the space ventilated except that the total area is permitted to be reduced to 1/200 provided at least 50 percent and not more than 60 percent of the required ventilation area is provided by ventilators located in the upper portion of the space to be ventilated.
Enclosed attics and enclosed rafter spaces formed where callings are applied directly to the underside of the roof rafters shall have cross ventilation for each separate space by ventilation openings protected against the entrance of rain or snow.

WINDOW NOTES:
The minimum net clear opening height shall be 24".
The minimum net clear opening width shall be 20".
All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 Square feet minimum. Grade floor openings shall have a minimum net clear opening of 5 square feet.
All habitable rooms shall be provided with aggregate glazing area of not less than 8% of the floor area of such rooms.
Windows with bottom edge less than 18" above the floor to be of tempered glass.

EXTERIOR NOTES:

1. 1" x 4" SQUARE SOFFIT VENTS @ 8" O.C. AT ALL SOFFITS.
2. PLUMBING VENTS SHALL BE GROUPED AND LOCATED ON SIDE OF ROOF OPPOSITE STREET.
3. HORIZONTAL R/R @ ROOF VENTS OR LOUVE @ 8" O.C. (TYPICAL PLACES AT REAR) @ 30" IN 10'1" AREA EACH.
4. PROVIDE RAIN DUTTERS OVER CONCRETE AREAS.



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Robb Vavold
Architect
Caldwell, Idaho 83608
(208) 250-3811
RVavold@gmail.com



**BUILDING "A"
FRONT/REAR
ELEVATIONS**

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, ID 83687

NO.	DATE	BY	REVISIONS

DRAWN BY: ROBB VAVOLD
PROJECT: 4RILEX
N. ALWORTH ST
GARDEN CITY, ID.
DATE: August 6, 2021
SCALE:
SHEET: A4-A



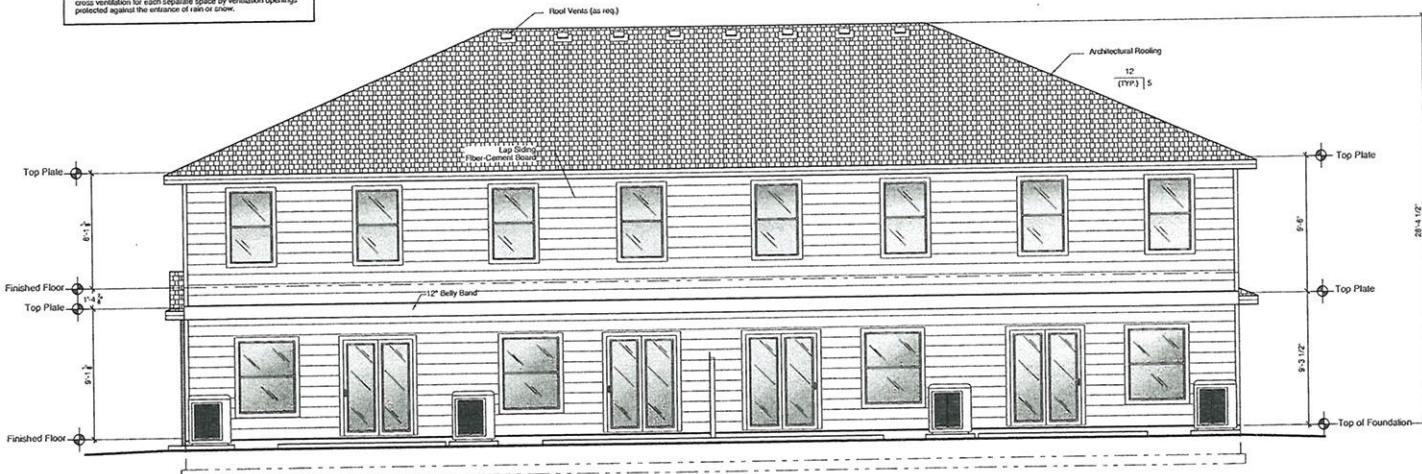
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ATTIC VENTRATION NOTES:
The total net free ventilation area shall not be less than 1/150 of the area of the space ventilated except that the total area is permitted to be reduced to 1/200 provided at least 50 percent and not more than 90 percent of the required ventilation area is provided by ventilators located in the upper portion of the space to be ventilated.
Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of the roof rafters shall have cross ventilation for each separate space by ventilation openings protected against the entrance of rain or snow.

EXTERIOR NOTES:

1. 1/2" x 4" SCREENED SOFFIT VENTS @ 24" O.C. AT ALL SOFFITS
2. PLUMBING VENTS SHALL BE GROUPED AND LOCATED ON SIDE OF ROOF OPPOSITE STREET.
3. HOME SDO BY 4" ROOF VENTS OR EQUAL @ 24" O.C. (TYPICAL PLACED AT REAR) MUST BE INSTALLED.
4. PROVIDE RAINGUTTERS OVER CONCRETE AREAS.

WINDOW NOTES:
The minimum net clear opening height shall be 24".
The minimum net clear opening width shall be 20".
All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet. Exception: Grade floor openings shall have a minimum net clear opening of 5.7 square feet.
All habitable rooms shall be provided with aggregate glazing area of not less than 8% of the floor area of such rooms.
Windows with bottom edge less than 18" above the floor to be of tempered glass.



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Robb Vavolo
Professional Engineer
California, License 83606
(209) 260-8311
RVAVOLO@gmail.com



**BUILDING "B"
FRONT/REAR
ELEVATIONS**

Pipeview Development LLC
16687 N. The Wood Loop
Nampa, ID 83687

NO.	REVISIONS	DATE	BY
	DESCRIPTION		

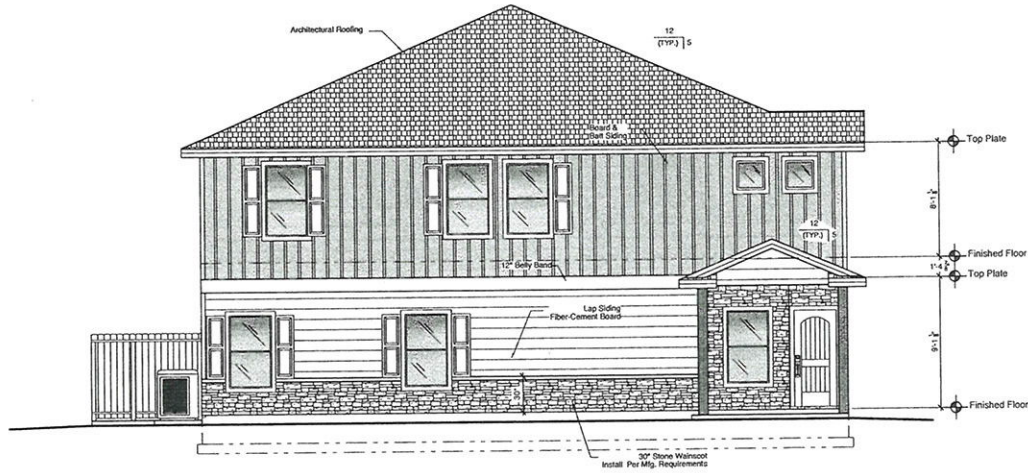
DRAWN BY: ROBB VAVOLO
PROJECT: 4PLEX
N. ALWORTH ST
GARDEN CITY, ID.

DATE: August 6, 2021

SCALE:

SHEET:

A4-B



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR NOTES:**
1. 1/2" x 1/2" SCREENED SOFFIT VENTS @ 8" O.C. AT ALL SOFFITS.
 2. FLASHING VENTS SHALL BE GROUPED AND LOCATED ON SIDE OF ROOF OPPOSITE GUTTER.
 3. ROOFSCOOBY 48" ROOF VENTS OR EQUAL @ 8" O.C. (TYPICAL PLACED AT REAR) 48" SQ. IN. VENT AREA EACH.
 4. PROVIDE RAIN GUTTERS OVER CONCRETE AREAS.

ATTIC VENTILATION NOTES:

The total net free ventilation area shall not be less than 1/150 of the area of the space ventilated except that the total area is permitted to be reduced to 1/200 provided at least 50 percent and not more than 80 percent of the required ventilation area is provided by ventilators located in the upper portion of the space to be ventilated.

Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of the roof rafters shall have cross ventilation for each separate space by ventilation openings protected against the entrance of rain or snow.

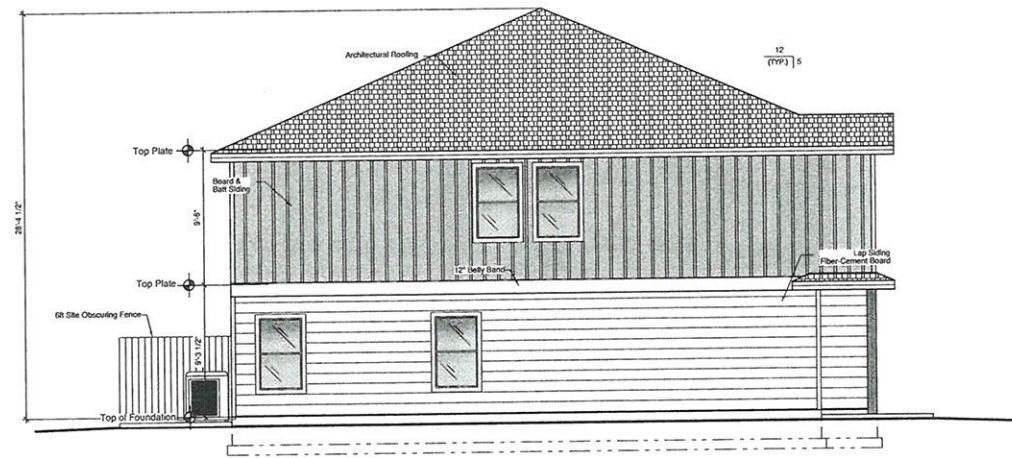
WINDOW NOTES:

The minimum net clear opening height shall be 24".
The minimum net clear opening width shall be 20".

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet. Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet.

All habitable rooms shall be provided with aggregate glazing area of not less than 8% of the floor area of such rooms.

Windows with bottom edge less than 18" above the floor to be of tempered glass.



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Robb Vavold
Po Box 972
Caldwell, Idaho 83606
(208) 250-3511
RVavold@gmail.com

VAVOLD DESIGN
RESIDENTIAL HOME DESIGN & DRAFTING

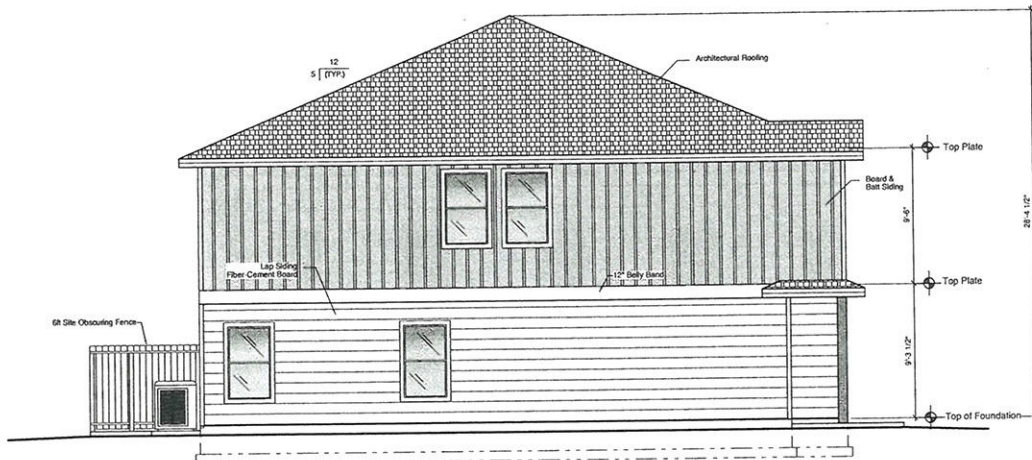
**BUILDING "A"
SIDE
ELEVATIONS**

Pineview Development LLC
16687 N. Thurgood Loop
Nampa, Id. 83687

NO.	REVISIONS	DATE	BY	DESCRIPTION

DRAWN BY: ROBB VAVOLD
PROJECT: **ARLEY
N. ALWORTH ST
GARDEN CITY, ID.**

DATE: August 6, 2021
SCALE: Noted
SHEET: **A5-A**



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR NOTES:**
1. EAVE SCREWED SOFFIT VENTS @ 6" O.C. AT ALL SOFFITS.
 2. FLASHING VENTS SHALL BE GROUPED AND LOCATED ON END OF ROOF OPPOSITE SIDE LT.
 3. HOMESICCO RV @ ROOF VENTS ON EQUAL @ 6" O.C. TYPICAL PLACED AT 9'-0" TO 24'-0" FROM EACH.
 4. PROVIDE RAIN GUTTERS OVER CONCRETE AREAS.

ATTIC VENTILATION NOTES:

The total net free ventilation area shall not be less than 1/150 of the area of the space ventilated except that the total area is permitted to be reduced to 1/200 provided at least 50 percent and not more than 80 percent of the required ventilation area is provided by ventilators located in the upper portion of the space to be ventilated.

Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of the roof rafters shall have cross ventilation for each separate space by ventilation openings protected against the entrance of rain or snow.

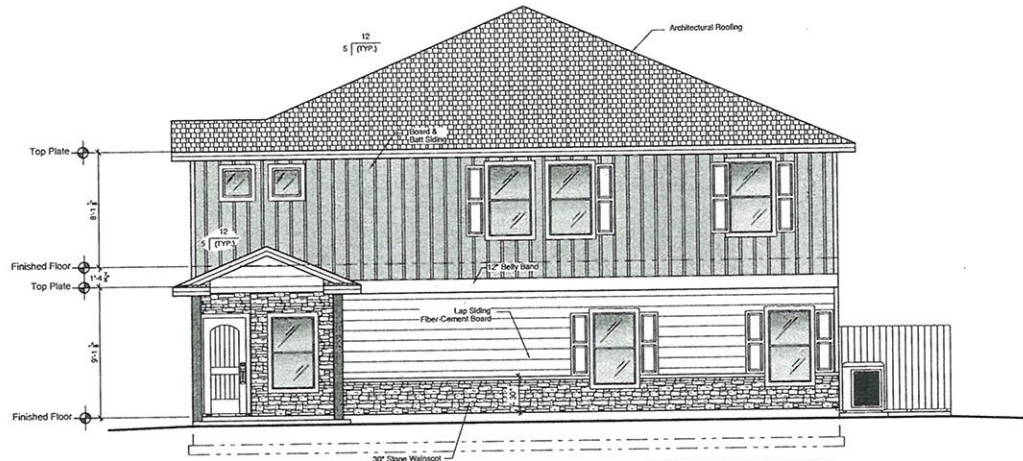
WINDOW NOTES:

The minimum net clear opening height shall be 24".
The minimum net clear opening width shall be 20".

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 Square feet (Exception: Grade floor openings shall have a minimum net clear opening of 5.7 square feet).

All habitable rooms shall be provided with aggregate glazing area of not less than 8% of the floor area of such rooms.

Windows with bottom edge less than 18" above the floor to be of tempered glass.



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Robb Vavold
Architect
Coeville, Idaho 83306
(208) 250-3511
RVavold@gmail.com

VAVOLD DESIGN
RESIDENTIAL ROOF DESIGN DRAFTING

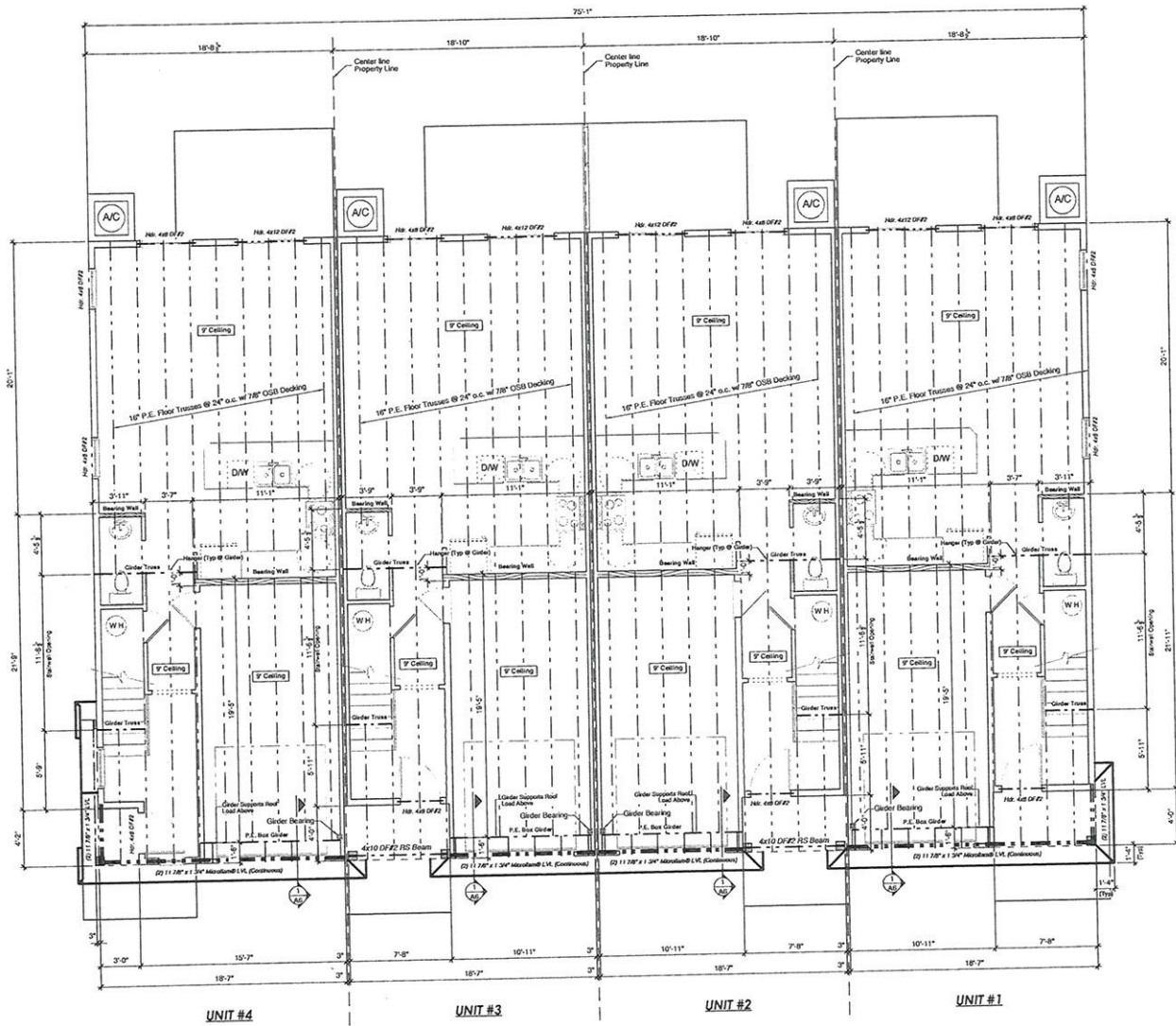
**BUILDING "B"
SIDE
ELEVATIONS**

Pineview Development LLC
16687 N. Thurgood Loop
Nampa, ID. 83687

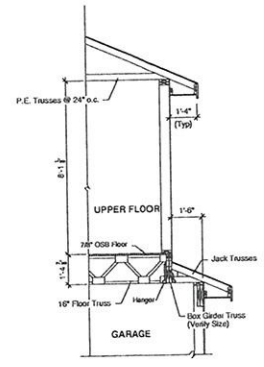
NO.	REVISIONS	DATE	BY
	DESCRIPTION		

DRAWN BY: ROBB VAVOLD
PROJECT: 4PLEX
N. ALWORTH ST.
GARDEN CITY, ID.

DATE: August 6, 2021
SCALE: Noted
SHEET: A5-B



- GENERAL NOTES:**
- 2x6 STUDS @ 16" O.C. EXTERIOR FRAMING (UNLESS NOTED OTHERWISE) W/ DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE
 - 2x4 INTERIOR FRAMING (UNLESS NOTED OTHERWISE)
 - MAIN FLOOR FRAME WALLS @ 8" x 12" SPLIT FLOOR FRAME WALLS @ 8" x 12" (UNLESS NOTED OTHERWISE)
 - 4x8 OF HEADERS @ ALL OPENINGS IN BEARING WALLS UNLESS NOTED OTHERWISE
 - ALL STRUCTURAL LUMBER SIZED FOR #2 OR BETTER DOUGLAS FIR LARCH
 - 11/2" OSB CONTINUOUS SHEATHING ALL PARTITION DIMENSIONS ARE TO FACE OF STUD
 - ALL ANGLES ARE 45°, UNLESS NOTED OTHERWISE
 - R21 BLOWN-IN INSULATION @ ALL EXTERIOR WALLS
 - WALL DOUBLE GLAZE LOW-E WINDOWS (2x MIN VALUE OR BETTER)
 - ROOF TO BE PRE-ENGINEERED W/ CD WOOD TRUSSES
 - FLOOR TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT
 - DOORS BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING WITH A MIN. FIRE RATING OF 20 MINUTES
 - 1/2" TYPE "C" CYCLUM WALL BOARD IS REQUIRED AT ALL GARAGE/WALLING WALLS AND IS TO BE APPLIED TO GARAGE AND WALLING AND POSTS SUPPORTING EFC PROTECT FROM HORIZONTAL STRUCTURAL MEMBERS.



BOX GIRDER CROSS SECTION
Scale: 3/8" = 1'-0"

REVOLUTIONS

NO.	DESCRIPTION	DATE	BY

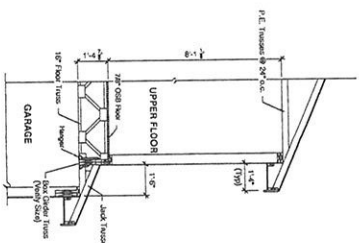
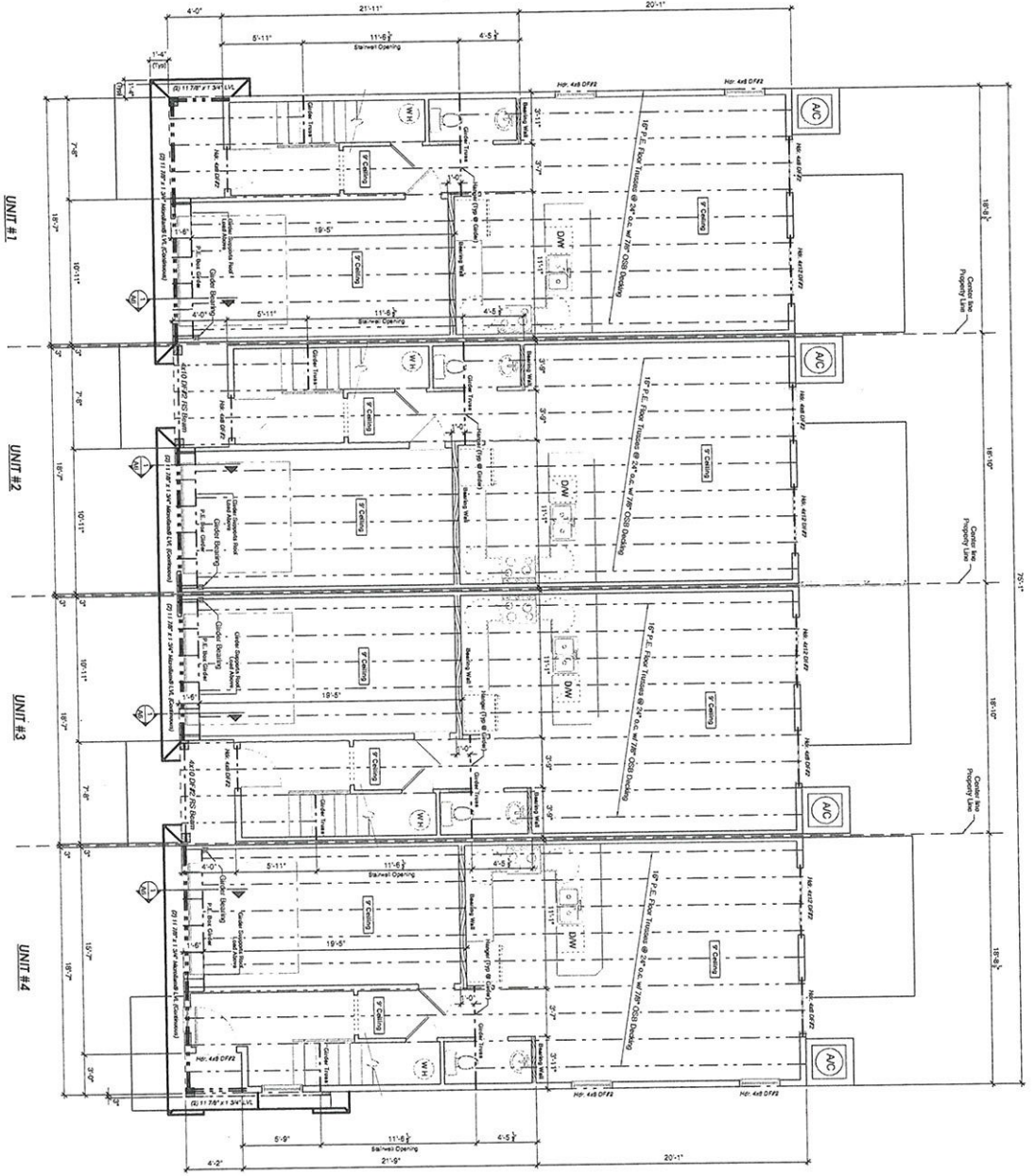
DRAWN BY: ROBB VAVOUD
 PROJECT: 4PLEX 16887 N. THURGOOD LOOP NAMPSPA, ID. 83667
 DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET: A6-A



**BUILDING "A"
2nd FLOOR
FRAMING PLAN**

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83667

Robb Vavoud
Caldwell, Idaho 83606
(208) 250-3511
Rvavoud@gmail.com



GENERAL NOTES:

- 1. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 2. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 3. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 4. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 5. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 6. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 7. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 8. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 9. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.
- 10. ALL FRAMING TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES.

REVISIONS			
NO.	DESCRIPTION	DATE	BY

DRAWN BY: ROBB VAVOLD
 PROJECT: 4PLEX N. ALWORTH ST GARDEN CITY, ID.
 DATE: August 6, 2021
 SCALE: 1/8" = 1'-0"
 SHEET: A6-B

Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, Id. 83687

**BUILDING "B"
 2nd FLOOR
 FRAMING
 PLAN**



Robb Vavold
 Po Box 972
 Caldwell, Idaho 83606
 (208) 250-3511
 Rvavold@gmail.com

Robb Vavolo
 P.O. Box 974 (also 88606)
 (888) 865-0511
 RV@vavoldesign.com

VAVOLD DESIGN
 RESIDENTIAL HOME DESIGN DRAFTING



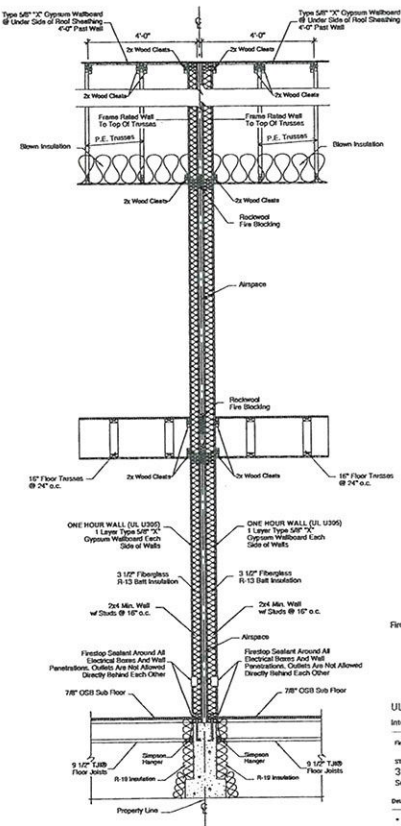
**BUILDING "A"
 SECTIONS &
 DETAILS**

Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, Id. 83687

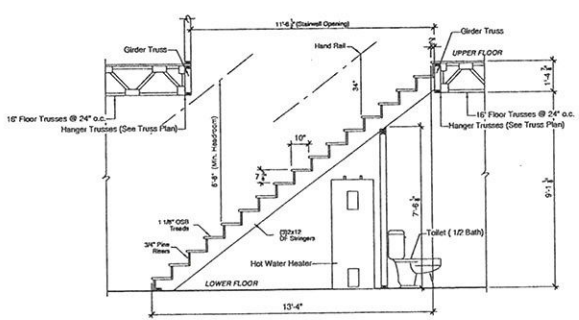
REV'S	NO.	DATE	DESCRIPTION

DRAWN BY: ROBB VAVOLO
 PROJECT: 4PLEX
 N. ALWORTH ST.
 GARDEN CITY, ID.
 DATE: August 6, 2021
 SCALE: Noted
 SHEET:

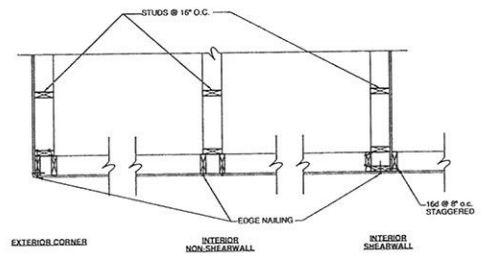
A7-A



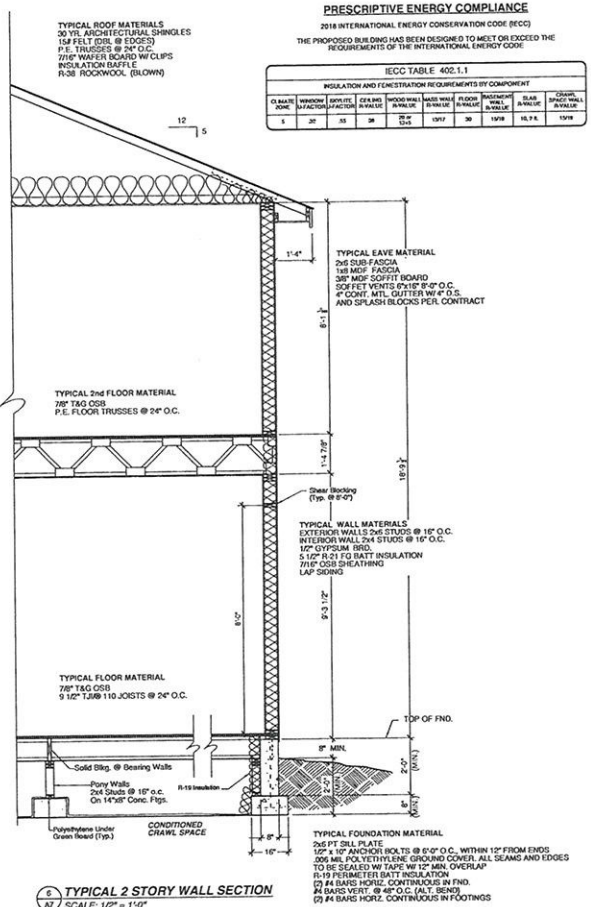
1 FIRE RATED WALL CROSS SECTION
 Scale: 1/2" = 1'-0"



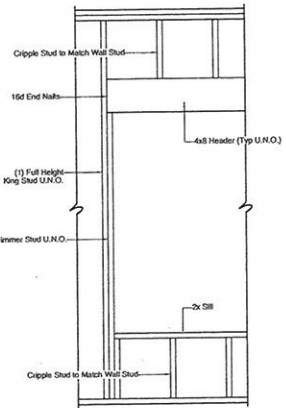
2 STAIR CROSS SECTION
 Scale: 3/8" = 1'-0"



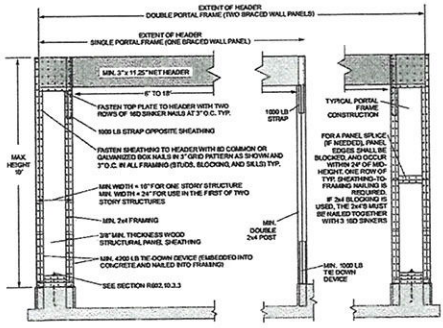
3 STUD WALL INTERSECTIONS
 Scale: 3/4" = 1'-0"



4 TYPICAL 2 STORY WALL SECTION
 SCALE: 1/2" = 1'-0"



5 TYPICAL HEADER DETAIL
 Scale: 3/4" = 1'-0"



Method PFH: Portal Frame w/ Hold-downs
 Scale: NTS

PREScriptive ENERGY COMPLIANCE

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE

IECC TABLE 402.1.1											
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT											
CLIMATE ZONE	WINDOW U-FACTOR	SHADE FACTOR	GLASS SHADING COEFFICIENT	GLASS SOLAR HEAT GAIN COEFFICIENT	ROOF U-FACTOR	CEILING U-FACTOR	FLOOR U-FACTOR	INSULATION R-VALUE	GLASS AREA	SHADE	COOLING LOAD EFFECTIVE FACTOR
1	0.25	0.15	0.70	0.75	0.04	0.04	0.04	R-15	10%	0.15	0.15

NO.	REVISIONS	DATE	BY
	DESCRIPTION		

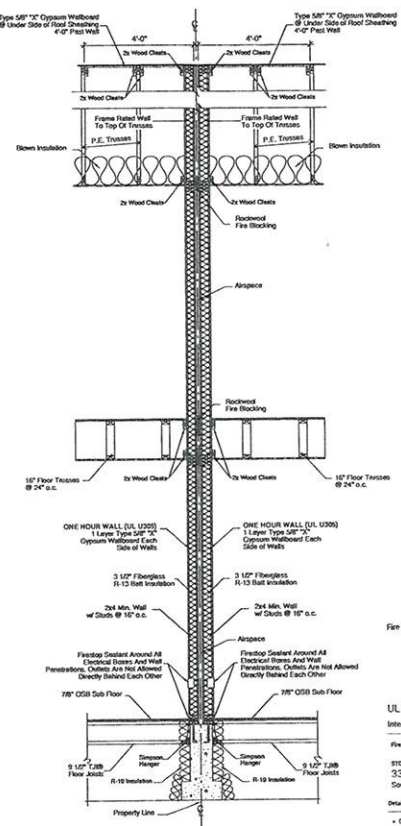
PROJECT:
**4PLEX
 N. ALWORTH ST.
 GARDEN CITY, ID.**

DATE: August 6, 2021

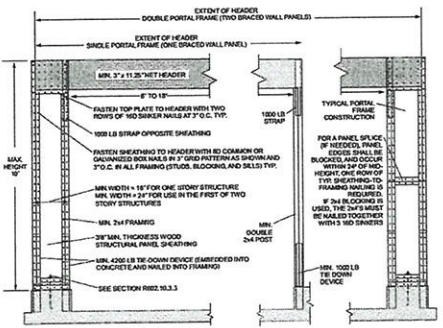
SCALE: Noted

SHEET:

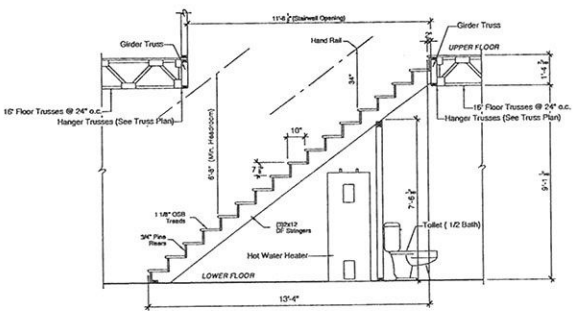
A7-B



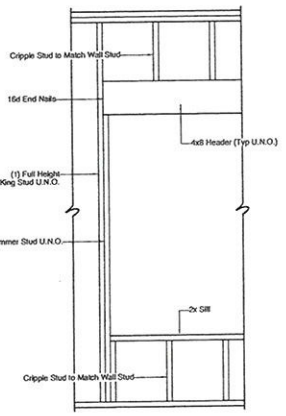
1 FIRE RATED WALL CROSS SECTION
 Scale: 1/2" = 1'-0"



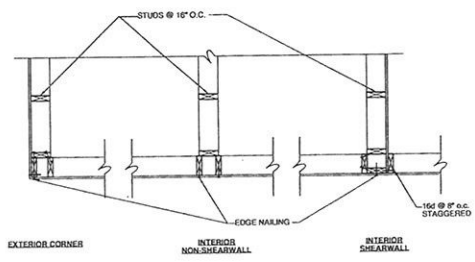
2 Method PFH: Portal Frame w/ Hold-downs
 Scale: NTS



3 STAIR CROSS SECTION
 Scale: 3/8" = 1'-0"



4 TYPICAL HEADER DETAIL
 Scale: 3/4" = 1'-0"

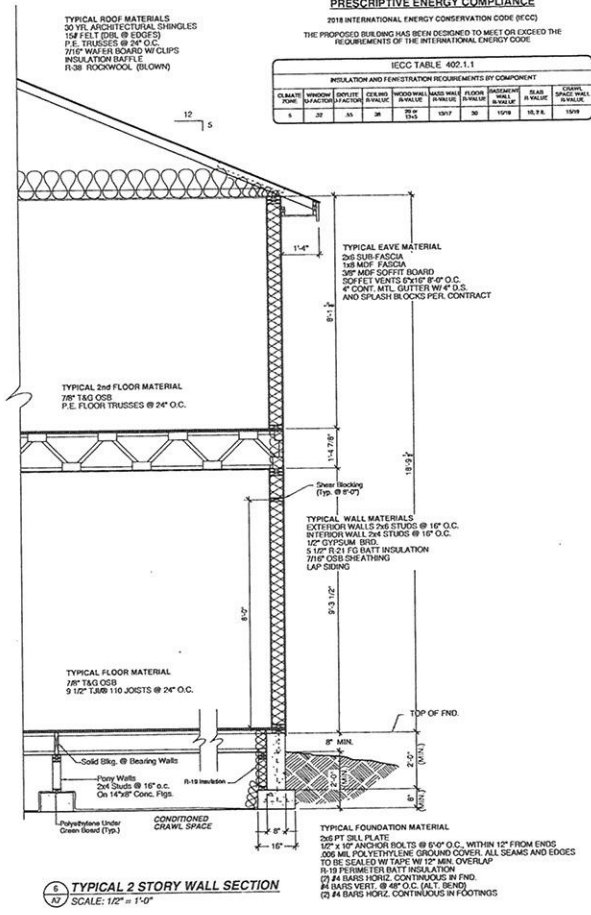


5 STUD WALL INTERSECTIONS
 Scale: 3/4" = 1'-0"

PRESCRIPTIVE ENERGY COMPLIANCE

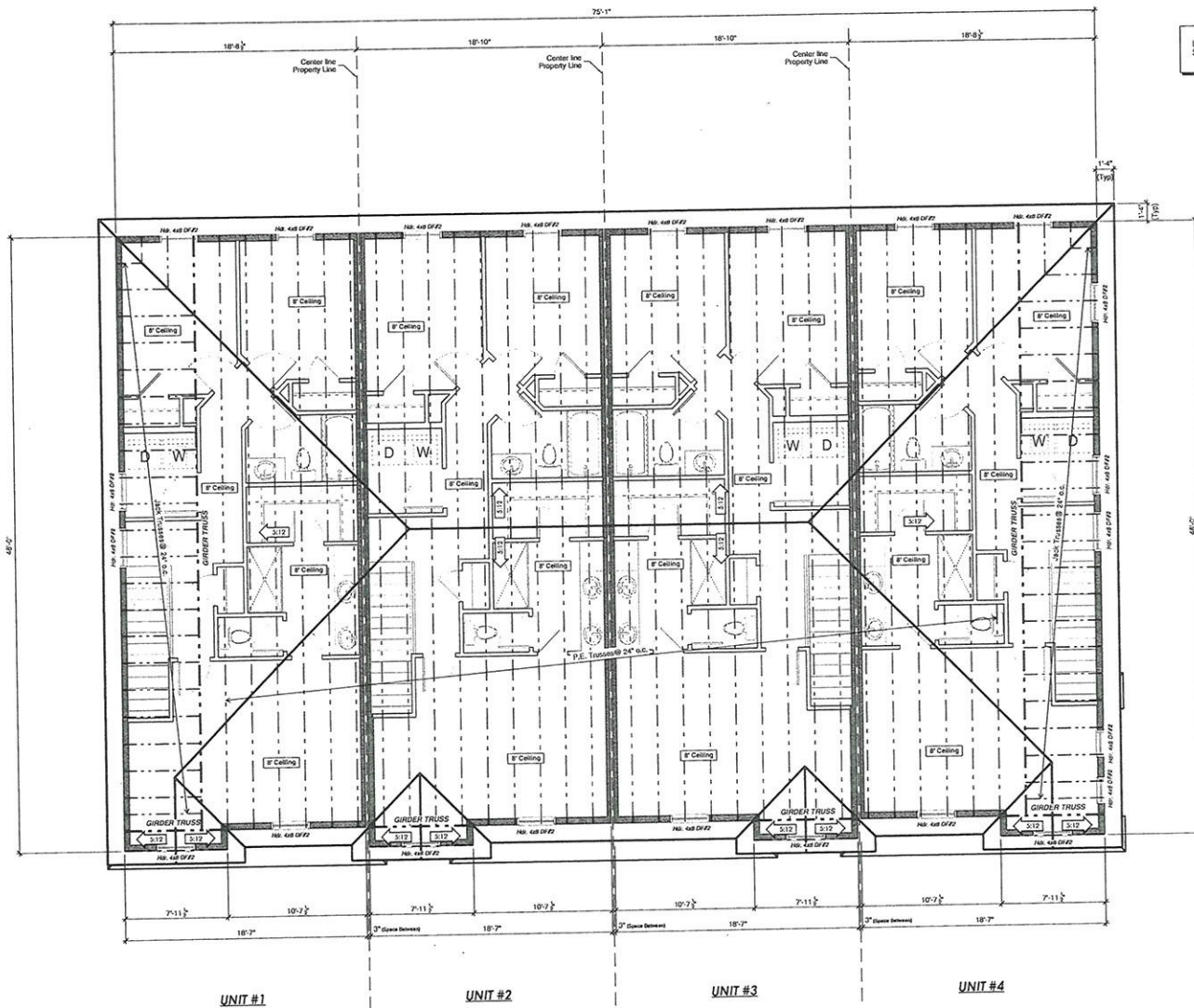
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE.

IECC TABLE 402.1.1										
INSULATION AND ENERGY REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	WINDOW U-FACTOR	OPaque CEILING R-VALUE	CEILING R-VALUE	ROOFWALL R-VALUE	BASE WALL R-VALUE	FLOOR R-VALUE	FOUNDATION WALL R-VALUE	SLAB R-VALUE	CEILING ATTIC WALL R-VALUE	CEILING ATTIC FLOOR R-VALUE
1	0.25	15	38	15	15	15	15	15	15	15



6 TYPICAL 2 STORY WALL SECTION
 Scale: 1/2" = 1'-0"

Method PFH: Portal Frame w/ Hold-downs
 Scale: NTS



Layout is for Reference Only. Final Truss Layout Should be Taken From Truss MFG Stamped Drawings

- GENERAL NOTES:**
- 2x4 DF STUDS @ 16" O.C. EXTERIOR FRAMING UNLESS NOTED OTHERWISE BY DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE
 - 2x4 INTERIOR FRAMING (UNLESS NOTED OTHERWISE)
 - MAIN FLOOR FRAME WALLS @ 5'-1 1/2" UPPER FLOOR FRAME WALLS @ 8'-1 1/2" (UNLESS NOTED OTHERWISE)
 - 4x8 DF HEADERS @ ALL OPENINGS IN BEARING WALLS UNLESS NOTED OTHERWISE
 - ALL STRUCTURAL LUMBER SIZED FOR FC OR BILTHER DOUGLAS FIR LARCH
 - 2x4" OSB CONTINUOUS SHEATHING
 - ALL PARTITION DIMENSIONS ARE TO FACE OF STUD
 - ALL ANGLES ARE 45°, UNLESS NOTED OTHERWISE
 - R-21 INSULATION @ ALL EXTERIOR WALLS
 - VINYL DOUBLE GLAZ LOW-E WINDOWS (32 U-VALUE OR BETTER)
 - ROOF TO BE PRE-ENGINEERED MFG WOOD TRUSSES
 - ROOF TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT
 - DOORS BETWEEN GARAGE AND DWELLING TO BE SELF CLOSING WITH A MIN. FIRE RATING OF 20 MINUTES
 - 5/8" TYPE "X" GYPSUM WALL BOARD IS REQUIRED AT ALL CORNER/JUNCTION WALLS AND CEILING APPLIED TO GARAGE AND WALLS/BEAMS AND POSTS SUPPLYING FIRE PROTECTION HORIZONTAL STRUCTURAL MEMBERS.

Robb Alvord
P.O. Box 3702
Catalaw, Idaho 83609
(208) 250-3511
Rvavold@gmail.com



BUILDING 'B' ROOF FRAMING

Pineview Development LLC
18687 N. Thurgood Loop
Nampa, Id. 83867

NO.	REVISIONS	DESCRIPTION	DATE	BY

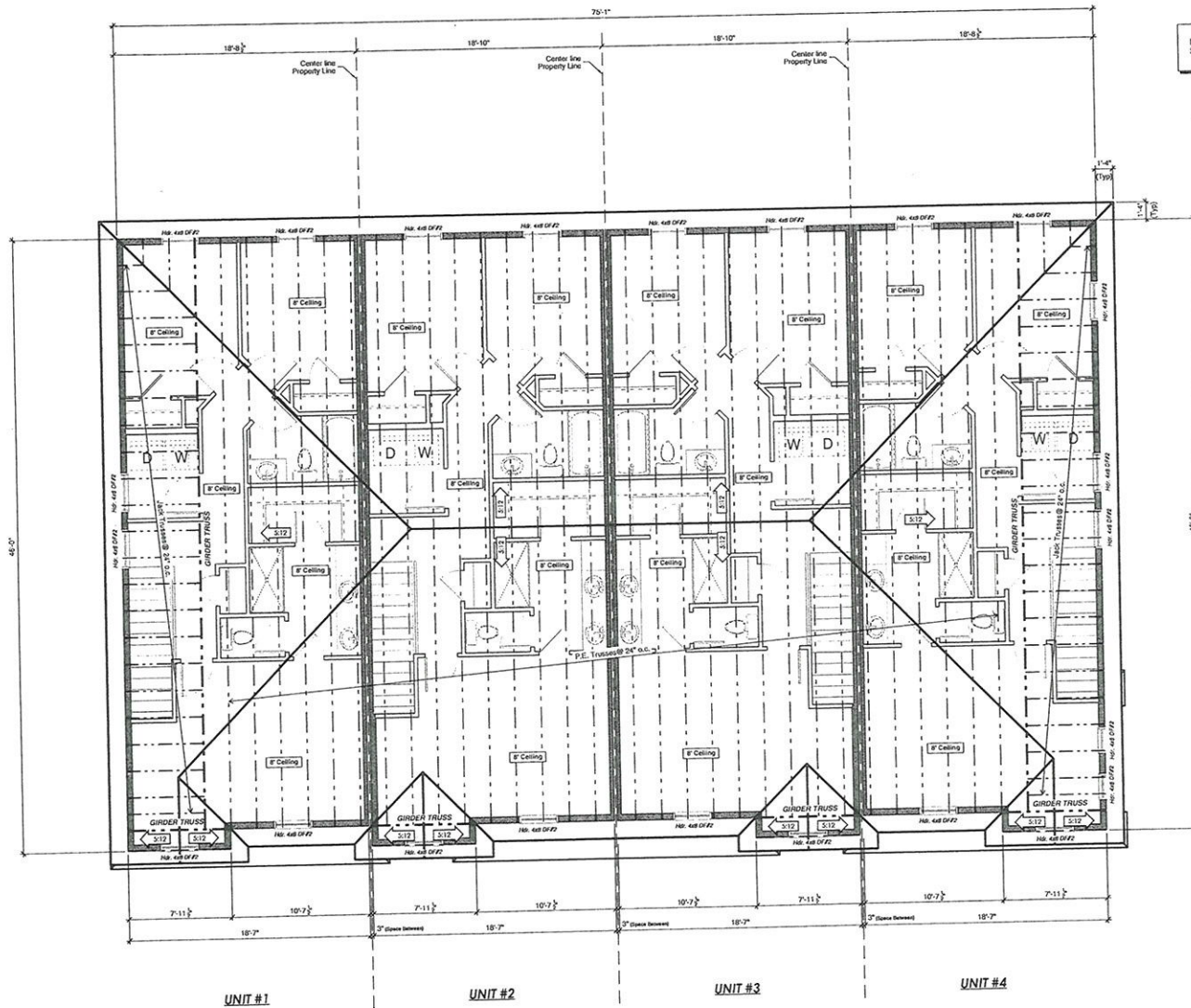
DRAWN BY: ROBB ALVORD
PROJECT: 4PLEX N. ALWORTH ST. GARDEN CITY, ID.

DATE: August 6, 2021

SCALE: 1/4" = 1'-0"

SHEET:

A8-B



Layout is for Reference Only. Final Truss Layout Should be Taken From Truss MFG Stamped Drawings

- GENERAL NOTES:**
- 2x6 STUDS @ 16" O.C. EXTERIOR FRAMING UNLESS NOTED OTHERWISE. 1/2" DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.
 - 2x4 INTERIOR FRAMING UNLESS NOTED OTHERWISE.
 - MAIN FLOOR FRAME WALLS @ 9" x 12" UPPIER FLOOR FRAME WALLS @ 8" x 12" UNLESS NOTED OTHERWISE.
 - 4x8 DF HEADERS @ ALL SPACINGS IN BEARING WALLS UNLESS NOTED OTHERWISE.
 - ALL STRUCTURAL LUMBER SELECTED FOR #2 OR BETTER DOUGLAS FIR LARDY.
 - 3/4" CDX CONTINUOUS SHEATHING.
 - ALL PARTITION DIMENSIONS ARE TO FACE OF STUD. ALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.
 - R-11 BLOW-IN INSULATION @ ALL EXTERIOR WALLS.
 - VINYL DOUBLE GLAZE LOW-E WINDOWS 1/2" U-VALUE OR BETTER.
 - ROOF TO BE PRE-ENGINEERED W/CGD WOOD TRUSSES.
 - ROOF TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT.
 - DOORS BETWEEN GARAGE AND DWELLING TO BE SELF-CLOSING WITH A MIN. FIRE RATING OF 20 MINUTES.
 - 5/8" TYPE "C" CYPRESS WALL BOARD IS REQUIRED AT ALL GARAGE DWELLING WALLS AND CEILING. APPLIED TO GARAGE AND WALL/Ceiling AND POSTS SUPPORTING FIRE PROTECTION HORIZONTAL STRUCTURAL MEMBERS.

Robb Vavold
 P.O. Box 192
 Caldwell, Idaho 83608
 (208) 263-3511
 RVavold@gmail.com



**BUILDING "B"
 ROOF
 FRAMING**

**Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, Id. 83687**

NO.	REVISIONS	DATE	BY
	DESCRIPTION		

DRAWN BY: ROBB VAVOLD
 PROJECT: 4RLEY
 N. ALWORTH ST
 GARDEN CITY, ID.

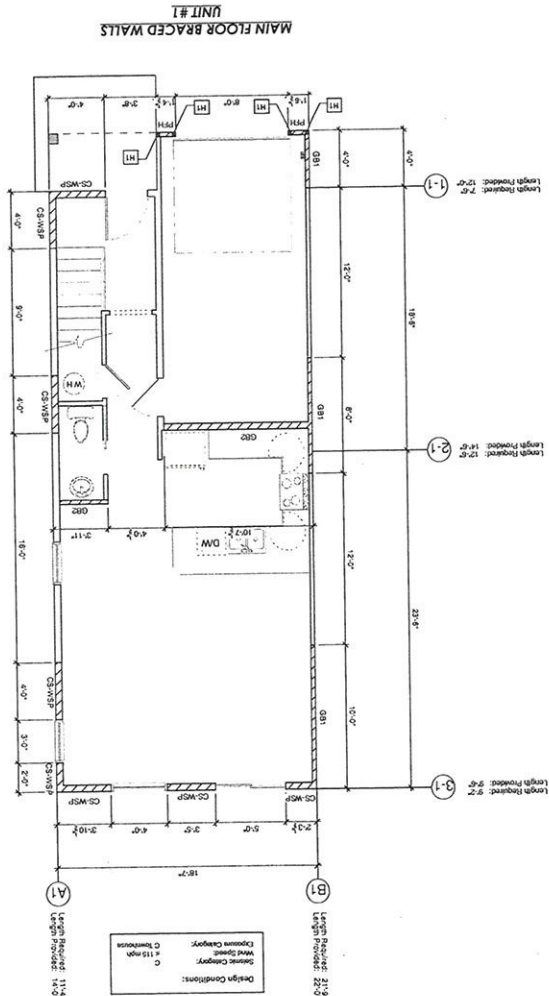
DATE: August 6, 2021

SCALE: 1/4" = 1'-0"

SHEET:

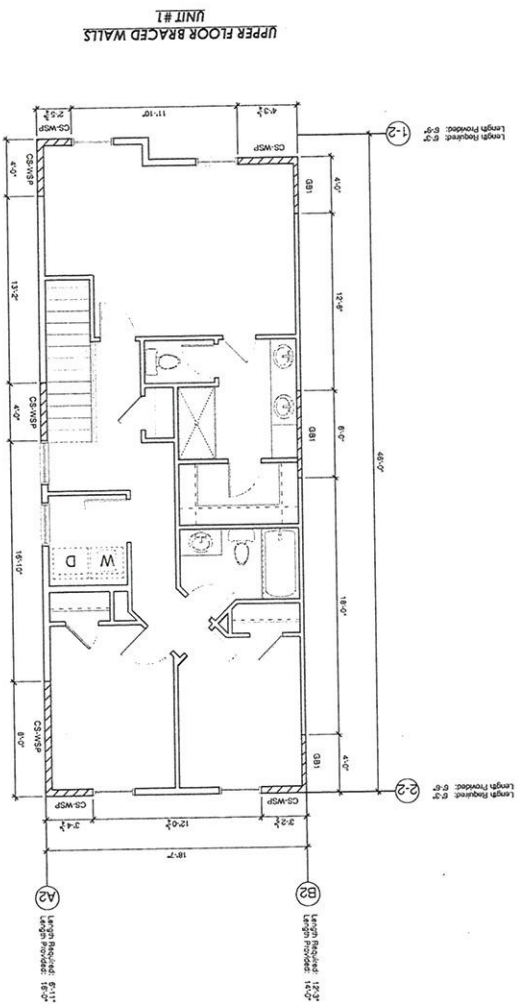
A8-B

MARK	SHOP TYPE	QUANTITY	UNIT PRICE	TOTAL
1	STEEL	2	114.00	228.00
2	WOOD	2	114.00	228.00
TOTAL				



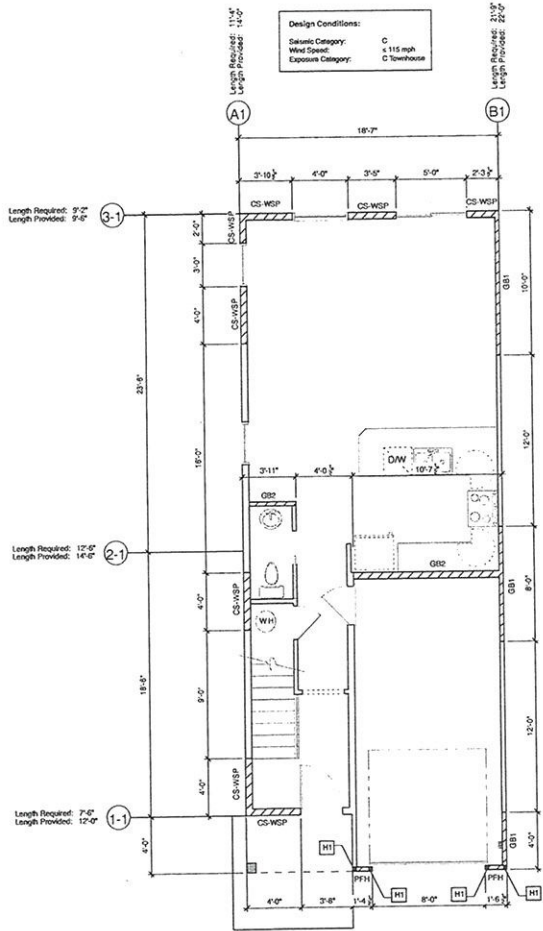
MARK	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	STEEL	1	114.00	114.00	114.00
2	WOOD	1	114.00	114.00	114.00
... (Additional rows for other wall types and materials) ...					

MARK	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	STEEL	1	114.00	114.00	114.00
2	WOOD	1	114.00	114.00	114.00
... (Additional rows for other wall types and materials) ...					



MARK	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	STEEL	1	114.00	114.00	114.00
2	WOOD	1	114.00	114.00	114.00
... (Additional rows for other wall types and materials) ...					

AV-9-A
 SHEET: 14" x 11"
 DATE: August 5, 2021
 PROJECT: 406X N ALWORTH ST GARDEN CITY, ID
 DESIGNER: PINEVIEW DEVELOPMENT LLC 16887 N. THURGOOD LOOP NAPPAA, ID 83687
 BUILDING: "A" UNIT #1 BRACE WALL PLAN
 DESIGNER: YAYOLD DESIGN RESIDENTIAL HOME DESIGN DIVISION
 ROSS YAYOLD, CALDWELL, IDAHO 83606 (208) 250-2511, RYAYOLD@YAYOLD.COM



**MAIN FLOOR BRACED WALLS
UNIT #1**

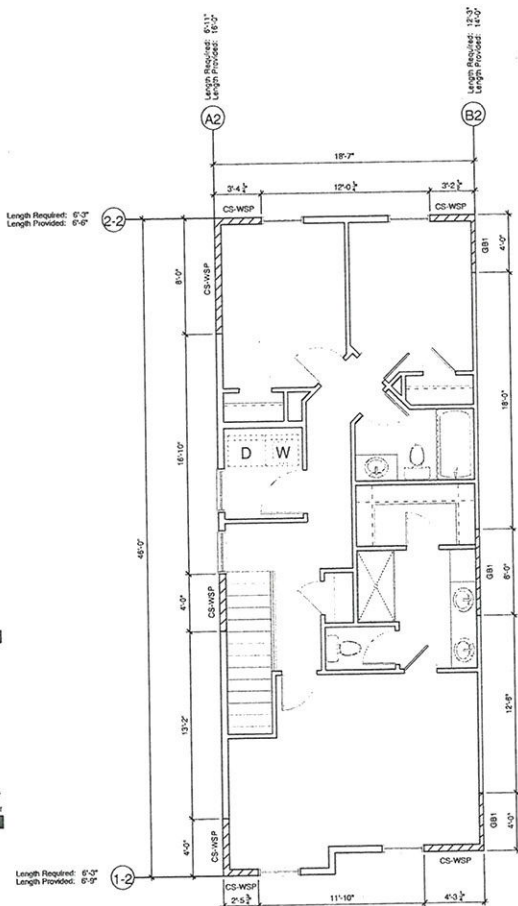
HOLDOWN SCHEDULE					
Mark	Strip Type	Strip Fasteners	# of Strips	Anchey Bolt	# of Strips
H1	STD14	CS-10F	2	OK	1/4" x 2 1/2" SDS

Front to Back Walls Descriptions

	Wall Line A-1	Wall Line B-1
Braced Wall Line Location	End of 2-story	End of 2-story
Eave to Ridge Height	30.0	30.0
Braced Wall Line Spacing	18.28 ft	18.28 ft
Braced Wall Line Length	43.09 ft	46.09 ft
Wall Height	9 ft	9 ft
Bracing Method	CS-WSP	CS
GB Construction Type	N/A	GB Double Sided (Over Horizontal)
Cypress Wall Board on Inside	Yes	N/A
Horizontal Joins Blocked	Yes	Yes
Holdown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	6.21 ft	11.71 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.95	0.95
Number of SWL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Wind GB Construction Factor	1	1
Required Wind Bracing Amount	3.79 ft	11.32 ft
Tabulated Seismic Bracing Amount	30.72 ft	30.7 ft
Seismic Wall Height Factor	1	1
SWL Spacing Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Seismic GB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.05	1.05
Weyer Factor	1	1
Required Seismic Bracing Amount	11.36 ft	21.74 ft
Length of Wall Bracing Required	11.36 ft	21.74 ft

Side to Side Walls Descriptions

	Wall Line 1-1	Wall Line 3-1	Wall Line 3-2
Braced Wall Line Location	End of 2-story	End of 2-story	End of 2-story
Eave to Ridge Height	30.0	30.0	30.0
Braced Wall Line Spacing	18.28 ft	22.50 ft	22.50 ft
Braced Wall Line Length	18.28 ft	18.28 ft	18.28 ft
Wall Height	9 ft	9 ft	9 ft
Bracing Method	CS-WSP	CS	CS-WSP
GB Construction Type	N/A	GB Double Sided * O-C Framing	N/A
Cypress Wall Board on Inside	Yes	N/A	Yes
Horizontal Joins Blocked	Yes	Yes	Yes
Holdown Device Used	No	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	6.0 ft	14.42 ft	7.35 ft
Exposure Height Factor	1	1	1
Eave-to-Ridge Height Factor	1	1	1
Wind Wall Height Factor	0.95	0.95	0.95
Number of SWL Factor	1.3	1.3	1.3
Holdown Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Wind GB Construction Factor	1	0.7	1
Required Wind Bracing Amount	3.47 ft	12.47 ft	6.11 ft
Tabulated Seismic Bracing Amount	4.745 ft	8.36 ft	4.745 ft
Seismic Wall Height Factor	1	1	1
SWL Spacing Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Seismic GB Construction Factor	1	1	1
Wall Dead Load Factor	1	1	1
Roof Dead Load Factor	1.05	1.05	1.05
Weyer Factor	1	1	1
Required Seismic Bracing Amount	4.98 ft	8.78 ft	4.98 ft
Length of Wall Bracing Required	3.47 ft	12.47 ft	6.11 ft



**UPPER FLOOR BRACED WALLS
UNIT #1**

Shear Wall Schedule	
Mark	Notes
CS-WSP	7/16" OSB One Side of Wall Perimeter Nailing: 6d Common Nails @ 6" o.c. Intermediate Nailing: 6d Common Nails @ 12" o.c. (Blocked) Or 15 G3-1-3/4" Staples @ 4" o.c. (Perimeter), 6" o.c. (Intermediate) Fasten To Headers w/ 6d Nails in a 3" Grid Pattern
GB1	1/2" GYPSUM BOARD Both Sides of Wall Horizontal Use 5d Cooler Nails or Screws @ 7" o.c. All Studs (unblocked)
GB2	1/2" GYPSUM BOARD Both Sides of Wall Horizontal Use 5d Cooler Nails or Screws @ 7" o.c. All Studs (unblocked)
PPH	7/16" OSB One Side of Wall See PPH - Portal Frame Hold Down Detail Sheet

Front to Back Walls Descriptions

	Wall Line A-2	Wall Line B-2
Braced Wall Line Location	End of 2-story	End of 2-story
Eave to Ridge Height	30.0	30.0
Braced Wall Line Spacing	18.28 ft	18.28 ft
Braced Wall Line Length	46.00 ft	44.50 ft
Wall Height	8 ft	8 ft
Bracing Method	CS-WSP	CS
GB Construction Type	N/A	GB Double Sided (Over Horizontal)
Cypress Wall Board on Inside	Yes	N/A
Horizontal Joins Blocked	Yes	Yes
Holdown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	3.287 ft	6.074 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of SWL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Wind GB Construction Factor	1	1
Required Wind Bracing Amount	3.96 ft	5.47 ft
Tabulated Seismic Bracing Amount	6.24 ft	11.25 ft
Seismic Wall Height Factor	1	1
SWL Spacing Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Seismic GB Construction Factor	1	1
Wall Dead Load Factor	1.1	1.1
Roof Dead Load Factor	1.1	1.1
Weyer Factor	1	1
Required Seismic Bracing Amount	6.86 ft	12.74 ft
Length of Wall Bracing Required	6.86 ft	12.74 ft

Side to Side Walls Descriptions

	Wall Line 1-2	Wall Line 3-2
Braced Wall Line Location	End of 2-story	End of 2-story
Eave to Ridge Height	30.0	30.0
Braced Wall Line Spacing	46.00 ft	46.00 ft
Braced Wall Line Length	18.28 ft	18.28 ft
Wall Height	8 ft	8 ft
Bracing Method	CS-WSP	CS-WSP
GB Construction Type	N/A	N/A
Cypress Wall Board on Inside	Yes	Yes
Horizontal Joins Blocked	Yes	Yes
Holdown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	6.9 ft	6.9 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of SWL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Wind GB Construction Factor	1	1
Required Wind Bracing Amount	6.21 ft	6.21 ft
Tabulated Seismic Bracing Amount	2.5154 ft	2.5154 ft
Seismic Wall Height Factor	1	1
SWL Spacing Factor	1.32	1.32
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Seismic GB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.1	1.1
Weyer Factor	1	1
Required Seismic Bracing Amount	3.65 ft	3.65 ft
Length of Wall Bracing Required	6.21 ft	6.21 ft

Robb Vavold
Civil Engineer
California, License 85806
RYAVOLD@GMAIL.COM
RYAVOLD@GMAIL.COM



**BUILDING #1
UNIT #1
BRACE WALL
PLAN**

**Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83867**

NO.	REVISIONS	DATE	BY

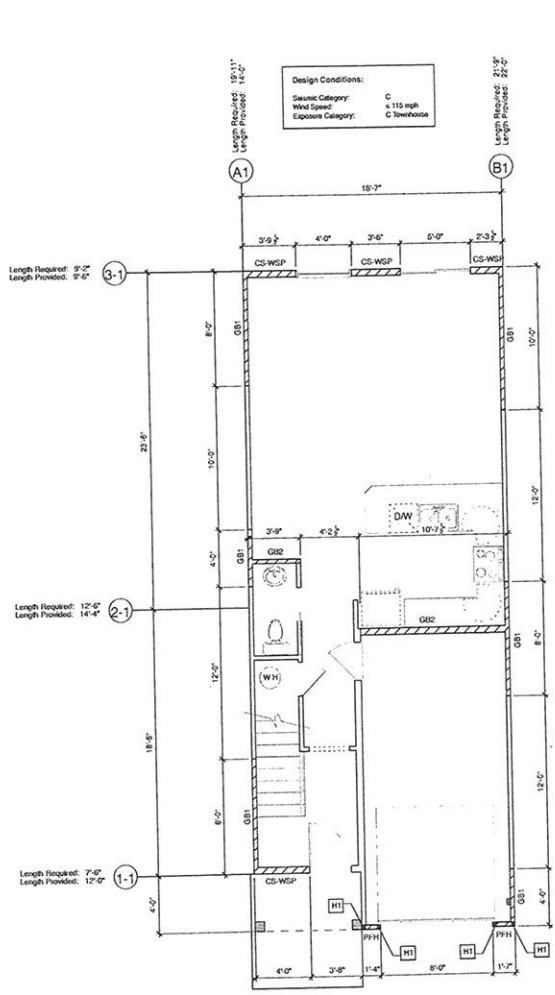
DRAWN BY: ROBB VAVOLD
PROJECT:
**4PLEX
N. ALWORTH ST.
GARDEN CITY, ID.**

DATE: August 6, 2021

SCALE: 1/4" = 1'-0"

SHEET:

A9-B



**MAIN FLOOR BRACED WALLS
UNIT #2**

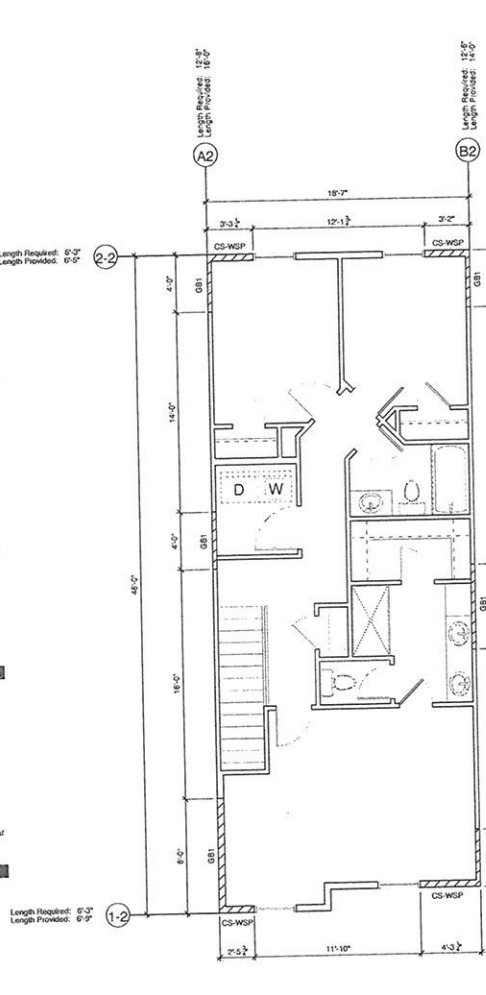
HOLDOWN SCHEDULE						
Mark	Shap Type	Shap Fasteners	# of Studs	Anchor Bolt	# of Studs	Fasteners
[H1]	STHD14	CSG 16d Sclers	2	HDU-SD2.5 w/ SRS/Bx24	2	(14) 1/4" x 2 1/2" SDS

Front to Back Walls Descriptions

	Wall Line A-1	Wall Line B-1
Braced-Wall Line Location	1st of 2-story	1st of 2-story
Eave-to-Ridge Height	10 ft	10 ft
Braced-Wall Line Spacing	18.28 ft	18.28 ft
Braced-Wall Line Length	42.00 ft	46.00 ft
Wall Height	9 ft	9 ft
Bracing Method	CB	CB
CB Construction Type	CB Double Sided (Prest Horizontal)	CB Double Sided (Prest Horizontal)
Cypress Wall Board on Inside	N/A	N/A
Horizontal Joist Blocked	N/A	N/A
Holddown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Chick Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	11.79 ft	11.79 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.95	0.95
Number of B/WL Factor	1	1
Holddown Factor	1	1
Blocked Joint Factor	N/A	N/A
Cypress on Inside Factor	1	1
Wood CB Construction Factor	1	1
Required Wind Bracing Amount	11.33 ft	11.33 ft
Tabulated Seismic Bracing Amount	18.9 ft	20.7 ft
Seismic Wall Height Factor	1	1
B/WL Spacing Factor	1	1
Blocked Joint Factor	N/A	N/A
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.05	1.05
Venue Factor	1	1
Required Seismic Bracing Amount	19.85 ft	21.74 ft
Length of Wall Bracing Required	19.85 ft	21.74 ft

Side to Side Walls Descriptions

	Wall Line 1-1	Wall Line 2-1
Braced-Wall Line Location	1st of 2-story	1st of 2-story
Eave-to-Ridge Height	10 ft	10 ft
Braced-Wall Line Spacing	18.28 ft	23.50 ft
Braced-Wall Line Length	18.28 ft	18.28 ft
Wall Height	9 ft	9 ft
Bracing Method	CS-WSP	CB
CB Construction Type	N/A	CB Double Sided 4" O.C. Framing
Cypress Wall Board on Inside	Yes	N/A
Horizontal Joist Blocked	Yes	Yes
Holddown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Chick Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	6.0 ft	14.42 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.95	0.95
Number of B/WL Factor	1.3	1.3
Holddown Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Wood CB Construction Factor	1	0.7
Required Wind Bracing Amount	7.43 ft	12.47 ft
Tabulated Seismic Bracing Amount	4.245 ft	8.261 ft
Seismic Wall Height Factor	1	1
B/WL Spacing Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.05	1.05
Venue Factor	1	1
Required Seismic Bracing Amount	4.98 ft	8.79 ft
Length of Wall Bracing Required	7.43 ft	12.47 ft



**UPPER FLOOR BRACED WALLS
UNIT #2**

Mark	Notes
CS-WSP	7/16" CSB One Side Of Wall Prestressed Nailing: Set Common Nails @ 6" o.c. Intermediate Nailing: Set Common Nails @ 12" o.c. (Blocked) Or 15 Cx1-2/4" Slats @ 4" o.c. (Prestressed), 8" o.c. (Intermediate) Fasten To Members w/ 8d Nails in 3" Grid Path
GB1	1/2" (min.) GYPSUM BOARD Both Sides Of Wall Horizontal Use Set Screws Nails or Screws @ 7" o.c. At Studs (unblocked)
GB2	1/2" (min.) GYPSUM BOARD Both Sides Of Wall Horizontal Use Set Screws Nails or Screws @ 4" o.c. At Studs (unblocked)
PPH	7/16" CSB One Side of Wall See PPH - Portal Frame Hold Down Detail Sheet

Front to Back Walls Descriptions

	Wall Line A-2	Wall Line B-2
Braced-Wall Line Location	2nd of 2-story	2nd of 2-story
Eave-to-Ridge Height	10 ft	10 ft
Braced-Wall Line Spacing	18.28 ft	18.28 ft
Braced-Wall Line Length	46.00 ft	41.00 ft
Wall Height	8 ft	8 ft
Bracing Method	CB	CB
CB Construction Type	CB Double Sided (Prest Horizontal)	CB Double Sided (Prest Horizontal)
Cypress Wall Board on Inside	N/A	N/A
Horizontal Joist Blocked	N/A	N/A
Holddown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Chick Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	6.0 ft	6.0 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of B/WL Factor	1	1
Holddown Factor	1	1
Blocked Joint Factor	N/A	N/A
Cypress on Inside Factor	1	1
Wood CB Construction Factor	1	1
Required Wind Bracing Amount	5.47 ft	5.47 ft
Tabulated Seismic Bracing Amount	11.3 ft	11.25 ft
Seismic Wall Height Factor	1	1
B/WL Spacing Factor	1	1
Blocked Joint Factor	N/A	N/A
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.1	1.1
Venue Factor	1	1
Required Seismic Bracing Amount	12.65 ft	12.24 ft
Length of Wall Bracing Required	12.65 ft	12.24 ft

Side to Side Walls Descriptions

	Wall Line 1-2	Wall Line 2-2
Braced-Wall Line Location	2nd of 2-story	2nd of 2-story
Eave-to-Ridge Height	10 ft	10 ft
Braced-Wall Line Spacing	46.00 ft	18.28 ft
Braced-Wall Line Length	18.28 ft	18.28 ft
Wall Height	8 ft	8 ft
Bracing Method	CS-WSP	CS-WSP
CB Construction Type	N/A	N/A
Cypress Wall Board on Inside	Yes	Yes
Horizontal Joist Blocked	Yes	Yes
Holddown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Chick Dead Load	> 15 psf & < 30 psf	> 15 psf & < 30 psf
Tabulated Wind Bracing Amount	6.9 ft	6.9 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of B/WL Factor	1	1
Holddown Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Wood CB Construction Factor	1	1
Required Wind Bracing Amount	6.21 ft	6.21 ft
Tabulated Seismic Bracing Amount	3.514 ft	3.514 ft
Seismic Wall Height Factor	1	1
B/WL Spacing Factor	1.33	1.33
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.1	1.1
Venue Factor	1	1
Required Seismic Bracing Amount	3.65 ft	3.65 ft
Length of Wall Bracing Required	6.21 ft	6.21 ft

RAESH VAVOLD
 PO Box 972
 Caldwell, Idaho 83606
 (208) 250-3511
 Rvavold@gmail.com

VAVOLD DESIGN
 RESIDENTIAL HOME DESIGN & DRAFTING

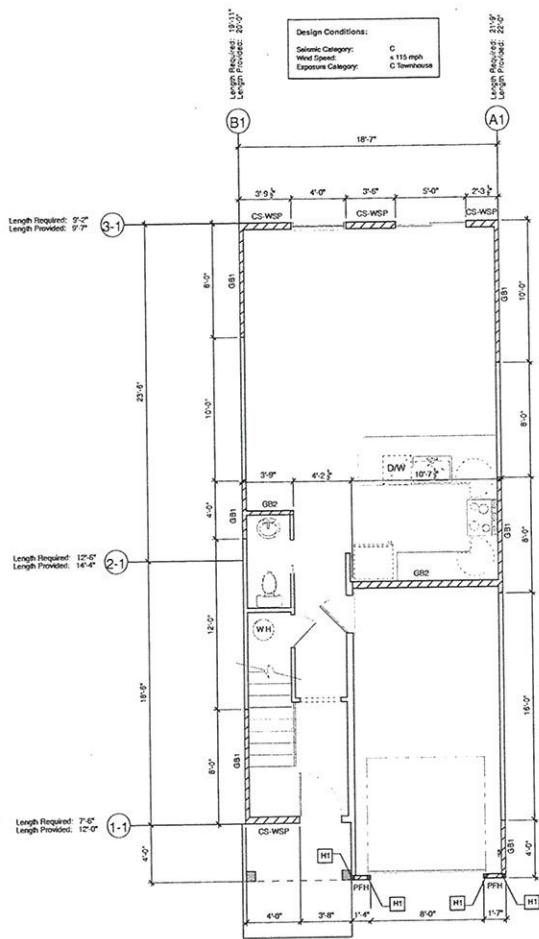
BUILDING "B"
 UNIT #2
 BRACE WALL
 PLAN

Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, ID, 83687

NO.	DATE	BY	DESCRIPTION

DRAWN BY: ROBB VAVOLD
 PROJECT: 4PLEX
 N. ALWORTH ST.
 GARDEN CITY, ID.

DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET: A10-B



**MAIN FLOOR BRACED WALLS
UNIT #3**

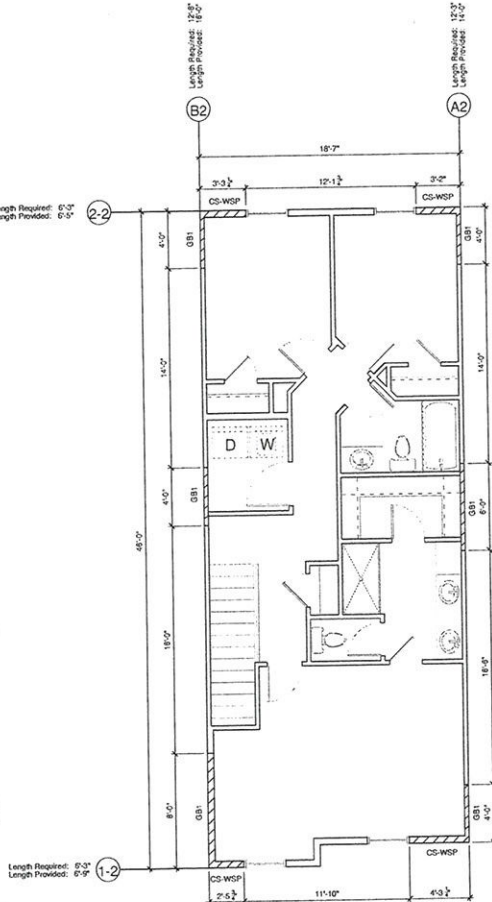
HOLDOWN SCHEDULE					
Mark	Strip Type	Strap Fasteners	# of Studs	Anchor Bolt	# of Studs Fasteners
HT	STD14	Ø3/8 186 Straps	2	HDUS-S02.5 w/ SRS/BR24	2 (14) MFC 2 1/2" SIDE

Front to Back Walls Descriptions

	Wall Line A-1	Wall Line B-1
GENERAL		
Braced Wall Line Location	1st of 3-story	1st of 3-story
Eave-to-Ridge Height	10.0 R	10.0 R
Braced Wall Line Spacing	18.38 R	18.38 R
Braced Wall Line Length	46.00 R	42.00 R
Wall Height	9.8 R	9.8 R
Bracing Method	CS	CS
CB Construction Type	CS Double Sided (Front Horizontal)	CS Double Sided (Front Horizontal)
Cypress Wall Based on Inside	NA	NA
Horizontal Joints Blocked	NA	NA
Holdown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Rooftop/Deck Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf
WIND		
Tabulated Wind Bracing Amount	11.219 R	11.219 R
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.95	0.95
Number of B/WL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Wind CB Construction Factor	1	1
Required Wind Bracing Amount	11.83 R	11.13 R
SEISMIC		
Tabulated Seismic Bracing Amount	20.7 R	18.9 R
Seismic Wall Height Factor	1	1
B/WL Spacing Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Rooftop/Deck Dead Load Factor	1.05	1.05
Veener Factor	1	1
Required Seismic Bracing Amount	19.24 R	19.85 R
REMARKS		
Length of Wall Bracing Required	31.24 R	19.85 R

Side to Side Walls Descriptions

	Wall Line 1-1	Wall Line 2-1	Wall Line 3-1
GENERAL			
Braced Wall Line Location	1st of 3-story	1st of 3-story	1st of 3-story
Eave-to-Ridge Height	10.0 R	10.0 R	10.0 R
Braced Wall Line Spacing	18.38 R	33.50 R	33.50 R
Braced Wall Line Length	18.38 R	18.38 R	18.38 R
Wall Height	9.8 R	9.8 R	9.8 R
Bracing Method	CS-WSP	CS	CS-WSP
CB Construction Type	NA	CS Double Sided 4" O.C. Perimeter	NA
Cypress Wall Based on Inside	Yes	NA	Yes
Horizontal Joints Blocked	Yes	Yes	Yes
Holdown Device Used	No	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Rooftop/Deck Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf	> 15 psf & < 20 psf
WIND			
Tabulated Wind Bracing Amount	6.65 R	14.425 R	7.275 R
Exposure Height Factor	1	1	1
Eave-to-Ridge Height Factor	1	1	1
Wind Wall Height Factor	0.95	0.95	0.95
Number of B/WL Factor	1.3	1.3	1.3
Holdown Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Wind CB Construction Factor	1	1	1
Required Wind Bracing Amount	7.47 R	15.47 R	9.11 R
SEISMIC			
Tabulated Seismic Bracing Amount	4.345 R	8.361 R	4.345 R
Seismic Wall Height Factor	1	1	1
B/WL Spacing Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Seismic CB Construction Factor	1	1	1
Wall Dead Load Factor	1	1	1
Rooftop/Deck Dead Load Factor	1.05	1.05	1.05
Veener Factor	1	1	1
Required Seismic Bracing Amount	4.98 R	8.78 R	4.98 R
REMARKS			
Length of Wall Bracing Required	7.47 R	15.47 R	9.11 R



**UPPER FLOOR BRACED WALLS
UNIT #3**

Shear Wall Schedule	
Mark	Notes
CG-WSP	7/16" CSB One Side of Wall Perimeter Nailing: 6d Common Nails @ 6" o.c. (Blocked) Intermediate Nailing: 6d Common Nails @ 12" o.c. (Blocked) Or 15 GA 1/2" STRIP STRIPS @ 4" o.c. (Perimeter), 16" o.c. (Intermediate) Fasten to Headers w/ 8d Nails in a 3" Grid Pattern
GB1	1/2" GYPSUM BOARD Both Sides of Wall Horizontal Use 6d Cooler Nails or Screws @ 7" o.c. All Studs (unblocked)
GB2	1/2" GYPSUM BOARD Both Sides of Wall Horizontal Use 6d Cooler Nails or Screws @ 7" o.c. All Studs (unblocked)
PFH	7/16" CSB One Side of Wall See PFH - Portal Frame Hold Down Detail Sheet

Front to Back Walls Descriptions

	Wall Line A-2	Wall Line B-2
GENERAL		
Braced Wall Line Location	2nd of 3-story	2nd of 3-story
Eave-to-Ridge Height	10.0 R	10.0 R
Braced Wall Line Spacing	18.38 R	18.38 R
Braced Wall Line Length	44.50 R	44.00 R
Wall Height	8.8 R	8.8 R
Bracing Method	CS	CS
CB Construction Type	CS Double Sided (Front Horizontal)	CS Double Sided (Front Horizontal)
Cypress Wall Based on Inside	NA	NA
Horizontal Joints Blocked	NA	NA
Holdown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Rooftop/Deck Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf
WIND		
Tabulated Wind Bracing Amount	6.024 R	6.024 R
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of B/WL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Wind CB Construction Factor	1	1
Required Wind Bracing Amount	5.47 R	5.47 R
SEISMIC		
Tabulated Seismic Bracing Amount	11.225 R	11.5 R
Seismic Wall Height Factor	1	1
B/WL Spacing Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Rooftop/Deck Dead Load Factor	1.1	1.1
Veener Factor	1	1
Required Seismic Bracing Amount	12.24 R	12.65 R
REMARKS		
Length of Wall Bracing Required	12.24 R	12.65 R

Side to Side Walls Descriptions

	Wall Line 1-2	Wall Line 2-2
GENERAL		
Braced Wall Line Location	2nd of 3-story	2nd of 3-story
Eave-to-Ridge Height	10.0 R	10.0 R
Braced Wall Line Spacing	46.00 R	46.00 R
Braced Wall Line Length	18.38 R	18.38 R
Wall Height	8.8 R	8.8 R
Bracing Method	CS-WSP	CS-WSP
CB Construction Type	NA	NA
Cypress Wall Based on Inside	Yes	Yes
Horizontal Joints Blocked	Yes	Yes
Holdown Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Rooftop/Deck Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf
WIND		
Tabulated Wind Bracing Amount	6.9 R	6.9 R
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of B/WL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Wind CB Construction Factor	1	1
Required Wind Bracing Amount	6.21 R	6.21 R
SEISMIC		
Tabulated Seismic Bracing Amount	2.514 R	2.514 R
Seismic Wall Height Factor	1	1
B/WL Spacing Factor	1.32	1.32
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Rooftop/Deck Dead Load Factor	1.1	1.1
Veener Factor	1	1
Required Seismic Bracing Amount	3.65 R	3.65 R
REMARKS		
Length of Wall Bracing Required	6.21 R	6.21 R

Robb Vavold
 Project Manager
 16087 N. Thurgood Loop
 Nampa, ID 83687
 (208) 250-3511
 RVavold@gmail.com

YAVOLD DESIGN
 RESIDENTIAL HOME DESIGN SERVICES

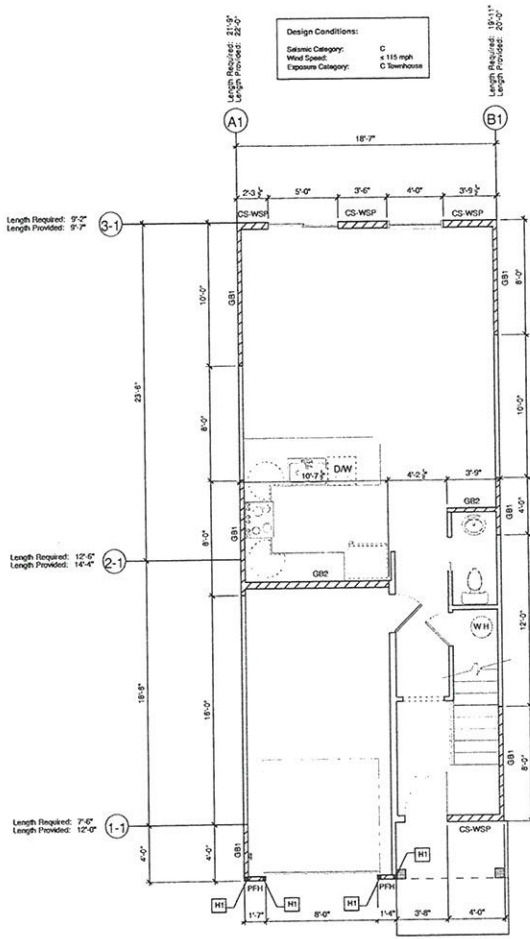
**BUILDING "A"
 UNIT #3
 BRACE WALL
 PLAN**

**Pipeview Development LLC
 16087 N. Thurgood Loop
 Nampa, ID 83687**

NO.	REVISIONS	DATE	BY
	DESCRIPTION		

DRAWN BY: ROBB VAVOLD
 PROJECT:
**4PLEX
 N. ALWORTH ST.
 GARDEN CITY, ID.**

DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET:
A11-A



**MAIN FLOOR BRACED WALLS
UNIT #3**

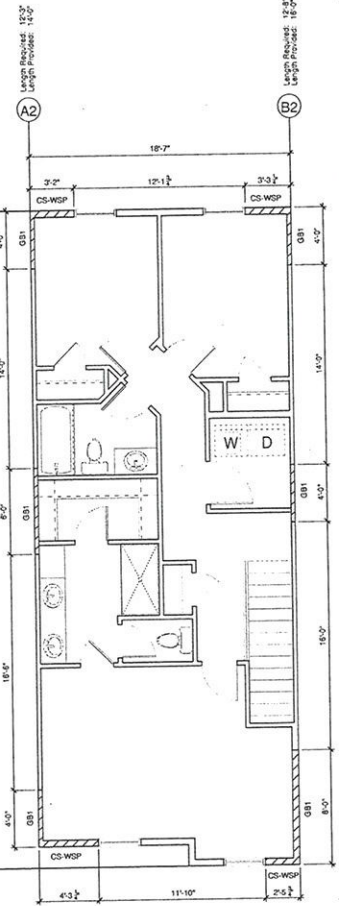
HOLD-DOWN SCHEDULE					
Mark	Shop Type	Strip Fasteners	# of Studs	Anchor Bolt	# of Studs
[HI]	STH-14	120 1/8 Screws	2	HDUS-002.5 w/ SBS/BrN	2 (14) 1/4" x 12" SDS

Front to Back Walls Descriptions

	Wall Line A-1	Wall Line B-1
Braced Wall-Line Location	1st of 3-story	1st of 3-story
Eave-to-Ridge Height	10.0	10.0
Braced Wall-Line Spacing	18.58 ft	18.58 ft
Braced Wall-Line Length	46.00 ft	47.00 ft
Wall Height	9 ft	9 ft
Bracing Method	CS-WSP	CS
CB Construction Type	CS Double Sided (Panel Horizontal)	CS Double Sided (Panel Horizontal)
Cypress Wall Based on Inside	NA	NA
Horizontal Joints Bracked	NA	NA
Holloway Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf
Tabulated Wind Bracing Amount	11,319 ft	11,319 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.95	0.95
Number of BWL Factor	1	1
Holloway Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Wind CB Construction Factor	1	1
Required Wind Bracing Amount	11,133 ft	11,133 ft
Tabulated Seismic Bracing Amount	207 ft	18.9 ft
Seismic Wall Height Factor	1	1
BWL Spacing Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1.05	1.05
Roof Dead Load Factor	1	1
Venue Factor	1	1
Required Seismic Bracing Amount	13.34 ft	19.85 ft
Length of Wall Bracing Required	21.34 ft	19.85 ft

Side to Side Walls Descriptions

	Wall Line 1-1	Wall Line 2-1	Wall Line 3-1
Braced Wall-Line Location	1st of 3-story	1st of 3-story	1st of 3-story
Eave-to-Ridge Height	10.0	10.0	10.0
Braced Wall-Line Spacing	18.58 ft	18.58 ft	18.58 ft
Braced Wall-Line Length	18.58 ft	18.58 ft	18.58 ft
Wall Height	9 ft	9 ft	9 ft
Bracing Method	CS-WSP	CS	CS-WSP
CB Construction Type	NA	CS Double Sided 4" O.C. Framing	NA
Cypress Wall Based on Inside	Yes	NA	Yes
Horizontal Joints Bracked	Yes	Yes	Yes
Holloway Device Used	No	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf	> 15 psf & < 20 psf
Tabulated Wind Bracing Amount	626 ft	14,425 ft	7,375 ft
Exposure Height Factor	1	1	1
Eave-to-Ridge Height Factor	1	1	1
Wind Wall Height Factor	0.95	0.95	0.95
Number of BWL Factor	1.3	1.3	1.3
Holloway Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Cypress on Outside Factor	1	1	1
Wind CB Construction Factor	1	0.7	1
Required Wind Bracing Amount	747 ft	12,478 ft	9,111 ft
Tabulated Seismic Bracing Amount	4,345 ft	8,361 ft	4,345 ft
Seismic Wall Height Factor	1	1	1
BWL Spacing Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Seismic CB Construction Factor	1	1	1
Wall Dead Load Factor	1	1	1
Roof Dead Load Factor	1.05	1.05	1.05
Venue Factor	1	1	1
Required Seismic Bracing Amount	4.98 ft	8.78 ft	4.98 ft
Length of Wall Bracing Required	7.47 ft	12.47 ft	9.11 ft



**UPPER FLOOR BRACED WALLS
UNIT #3**

Mark	Notes
CS-WSP	7/16" CSB One Side of Wall Perimeter Nailing: 6d Common Nails @ 6" o.c. (Blocking) Intermediate Nailing: 6d Common Nails @ 12" o.c. (Blocking) Or 15 GA-1 3/4" Straps @ 4" o.c. (Perimeter), 6" o.c. (Intermediate) Fasten To Headers w/ 5d Nails in a 3" Grid Pattern
GB1	1/2" GYPSUM BOARD Both Sides of Wall Horizontal Use 5d Cooler Nails or Screws @ 7" o.c. All Studs (unblocked)
GB2	1/2" GYPSUM BOARD Both Sides of Wall Horizontal Use 5d Cooler Nails or Screws @ 4" o.c. All Studs (unblocked)
PFH	7/16" CSB One Side of Wall See PFH - Portal Frame Hold Down Detail Sheet

Front to Back Walls Descriptions

	Wall Line A-2	Wall Line B-2
Braced Wall-Line Location	1st of 3-story	1st of 3-story
Eave-to-Ridge Height	10.0	10.0
Braced Wall-Line Spacing	18.58 ft	18.58 ft
Braced Wall-Line Length	41.50 ft	46.00 ft
Wall Height	8 ft	8 ft
Bracing Method	CS	CS
CB Construction Type	CS Double Sided (Panel Horizontal)	CS Double Sided (Panel Horizontal)
Cypress Wall Based on Inside	NA	NA
Horizontal Joints Bracked	NA	NA
Holloway Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf
Tabulated Wind Bracing Amount	6,074 ft	6,074 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of BWL Factor	1	1
Holloway Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Wind CB Construction Factor	1	1
Required Wind Bracing Amount	5,478 ft	5,478 ft
Tabulated Seismic Bracing Amount	11,135 ft	115.8 ft
Seismic Wall Height Factor	1	1
BWL Spacing Factor	1	1
Blocked Joint Factor	NA	NA
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.1	1.1
Venue Factor	1	1
Required Seismic Bracing Amount	12.24 ft	12.65 ft
Length of Wall Bracing Required	12.24 ft	12.65 ft

Side to Side Walls Descriptions

	Wall Line 1-2	Wall Line 2-2
Braced Wall-Line Location	1st of 3-story	1st of 3-story
Eave-to-Ridge Height	10.0	10.0
Braced Wall-Line Spacing	46.00 ft	46.00 ft
Braced Wall-Line Length	18.58 ft	18.58 ft
Wall Height	8 ft	8 ft
Bracing Method	CS-WSP	CS-WSP
CB Construction Type	NA	NA
Cypress Wall Based on Inside	Yes	Yes
Horizontal Joints Bracked	Yes	Yes
Holloway Device Used	No	No
Wall Dead Load	> 8 psf & < 15 psf	> 8 psf & < 15 psf
Roof/Ceiling Dead Load	> 15 psf & < 20 psf	> 15 psf & < 20 psf
Tabulated Wind Bracing Amount	678 ft	678 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1	1
Wind Wall Height Factor	0.9	0.9
Number of BWL Factor	1	1
Holloway Factor	1	1
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Cypress on Outside Factor	1	1
Wind CB Construction Factor	1	1
Required Wind Bracing Amount	621 ft	621 ft
Tabulated Seismic Bracing Amount	2,514 ft	2,514 ft
Seismic Wall Height Factor	1	1
BWL Spacing Factor	1.32	1.32
Blocked Joint Factor	1	1
Cypress on Inside Factor	1	1
Seismic CB Construction Factor	1	1
Wall Dead Load Factor	1	1
Roof Dead Load Factor	1.1	1.1
Venue Factor	1	1
Required Seismic Bracing Amount	3.65 ft	3.65 ft
Length of Wall Bracing Required	6.21 ft	6.21 ft

YAYOLD DESIGN
RESIDENTIAL HOME DESIGN DRAFTING

BUILDING "B" UNIT #3 BRACE WALL PLAN

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

NO.	REVISION'S	DATE	BY

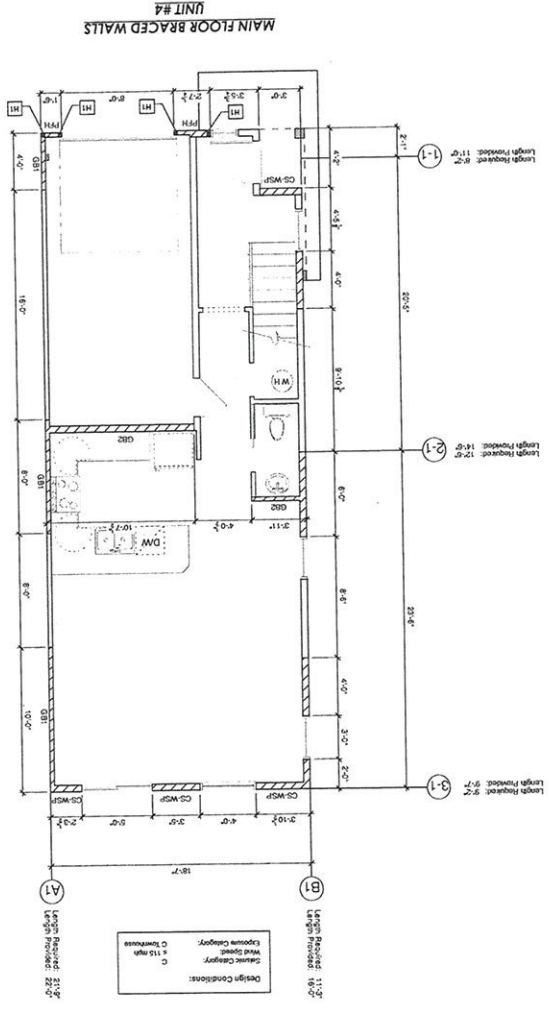
DATE: August 6, 2021

SCALE: 1/4" = 1'-0"

SHEET: **A11-B**

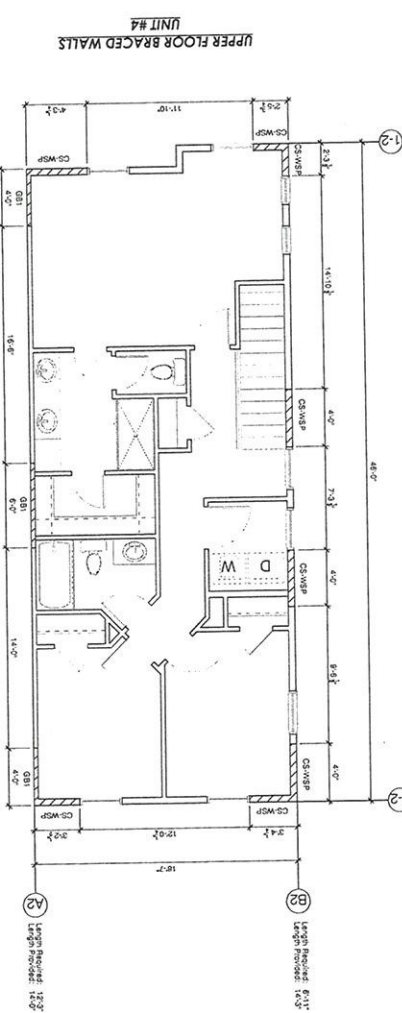
DRAWN BY: ROSS WAILOO
PROJECT: 1418 BK
N. ALICE ST
GARDEN CITY, ID.

Mark	Shop Type	Shop # of Fasteners	Anchor Bolt	Anchor Bolt Spacing	OH	OH Spacing w/ Spacers	2	2	2	2
HT1	SH10314	CS-164	Fasteners	2	OH	OH	OH	OH	OH	OH



MARK	DESCRIPTION	LENGTH	MARK	DESCRIPTION	LENGTH
HT1	SH10314	CS-164	Fasteners	2	OH

MARK	DESCRIPTION	LENGTH
HT1	SH10314	CS-164



MARK	DESCRIPTION	LENGTH	MARK	DESCRIPTION	LENGTH
HT1	SH10314	CS-164	Fasteners	2	OH

UNIT #4

BRACE WALL PLAN

PHIVIEW DEVELOPMENT LLC
16887 N. THURGOOD LOOP
NANPA, ID. 83687

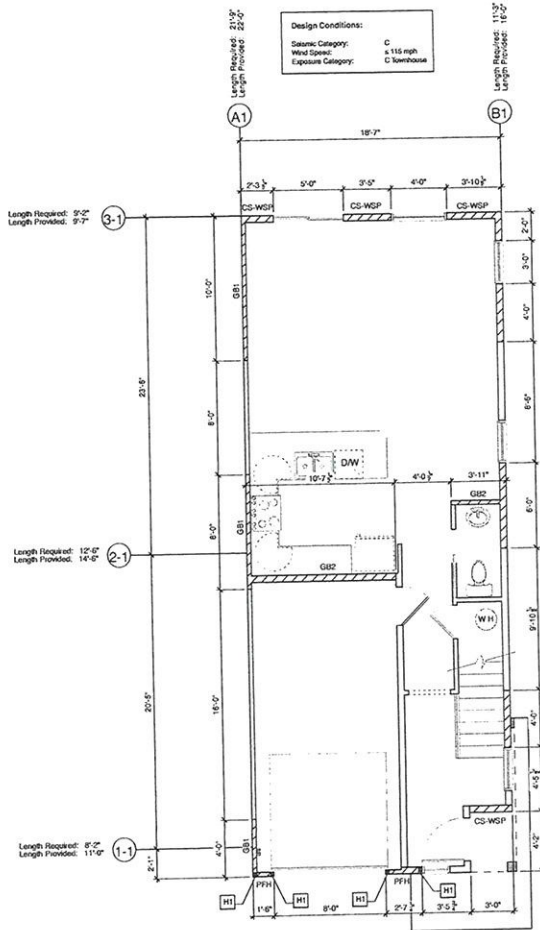
YAVOLD DESIGN
RESIDENTIAL HOME DESIGN & CONSTRUCTION
RIVINGTON, ID. 83450

PHIVIEW DEVELOPMENT LLC
16887 N. THURGOOD LOOP
NANPA, ID. 83687

YAVOLD DESIGN
RESIDENTIAL HOME DESIGN & CONSTRUCTION
RIVINGTON, ID. 83450

PHIVIEW DEVELOPMENT LLC
16887 N. THURGOOD LOOP
NANPA, ID. 83687

YAVOLD DESIGN
RESIDENTIAL HOME DESIGN & CONSTRUCTION
RIVINGTON, ID. 83450



**MAIN FLOOR BRACED WALLS
UNIT #4**

HOLDOWN SCHEDULE					
Mark	Strap Type	Strap Fasteners	# of Studs	Anchor Bolt	# of Studs
[H1]	SHD14	E90 16d Straps	2	HDUS-S02.5 w/ S05M24	2
					(14) 1x4's @ 2' 10" S/S

Design Conditions:
 Seismic Category: C
 Wind Speed: ≤ 115 mph
 Exposure Category: C, Nonresidential

Front to Back Walls Descriptions

Wall Line A-1		Wall Line B-1	
Braced-Wall-Line Location	1st of 2-story	1st of 2-story	
Eave to Ridge Height	10 ft	10 ft	
Braced-Wall-Line Spacing	18.58 ft	18.58 ft	
Braced-Wall-Line Length	46.00 ft	41.35 ft	
Wall Height	9 ft	9 ft	
Bracing Method	CS-WSP	GB	CS-WSP
GB Construction Type	GB Double Sided (Purlin Horizontal)	N/A	
Cypress Wall Based on Inside	N/A	Yes	
Horizontal Joints Blocked	N/A	Yes	
Holddown Device Used	No	No	
Wall Dead Load	> 8 psf & ≤ 15 psf	> 8 psf & ≤ 15 psf	
Roof/Ceiling Dead Load	> 15 psf & ≤ 20 psf	> 15 psf & ≤ 20 psf	
Tabulated Wind Bracing Amount	11,319 ft	6,074 ft	
Exposure Height Factor	1	1	
Eave-to-Ridge Height Factor	1	1	
Wind Wall Height Factor	0.95	0.95	
Number of BWL Factor	1	1	
Holddown Factor	1	1	
Blocked Joint Factor	N/A	1	
Cypress on Inside Factor	1	1	
Seismic GB Construction Factor	1	1	
Wall Dead Load Factor	1	1	
Roof Dead Load Factor	1.05	1.05	
Venue Factor	1	1	
Required Seismic Bracing Amount	11,313 ft	5,77 ft	
Tabulated Seismic Bracing Amount	30.7 ft	10,618 ft	
Seismic Wall Height Factor	1	1	
BWL Spacing Factor	1	1	
Blocked Joint Factor	N/A	1	
Cypress on Inside Factor	1	1	
Seismic GB Construction Factor	1	1	
Wall Dead Load Factor	1	1	
Roof Dead Load Factor	1.05	1.05	
Venue Factor	1	1	
Required Seismic Bracing Amount	31.24 ft	11,21 ft	
Length of Wall Bracing Required	21.34 ft	11.21 ft	

Side to Side Walls Descriptions

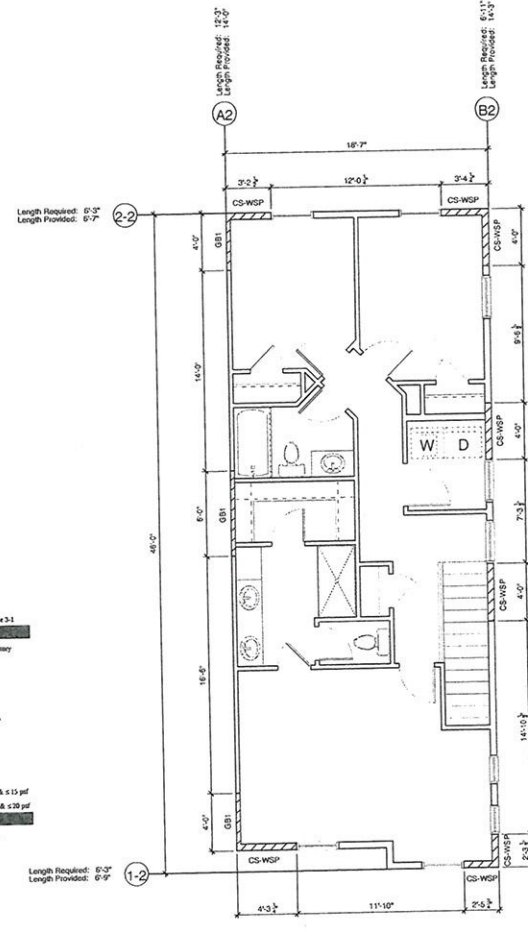
Wall Line 1-1		Wall Line 2-1	
Braced-Wall-Line Location	1st of 2-story	1st of 2-story	1st of 2-story
Eave to Ridge Height	10 ft	10 ft	10 ft
Braced-Wall-Line Spacing	30.42 ft	23.50 ft	23.50 ft
Braced-Wall-Line Length	18.58 ft	18.58 ft	18.58 ft
Wall Height	9 ft	9 ft	9 ft
Bracing Method	CS-WSP	GB	CS-WSP
GB Construction Type	N/A	GB Double Sided 4" OC Framing	N/A
Cypress Wall Based on Inside	Yes	N/A	Yes
Horizontal Joints Blocked	Yes	Yes	No
Holddown Device Used	No	No	No
Wall Dead Load	> 8 psf & ≤ 15 psf	> 8 psf & ≤ 15 psf	> 8 psf & ≤ 15 psf
Roof/Ceiling Dead Load	> 15 psf & ≤ 20 psf	> 15 psf & ≤ 20 psf	> 15 psf & ≤ 20 psf
Tabulated Wind Bracing Amount	6,605 ft	14,425 ft	3,235 ft
Exposure Height Factor	1	1	1
Eave-to-Ridge Height Factor	1	1	1
Wind Wall Height Factor	0.95	0.95	0.95
Number of BWL Factor	1.3	1.3	1.3
Holddown Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Seismic GB Construction Factor	1	1	1
Wall Dead Load Factor	1	1	1
Roof Dead Load Factor	1.05	1.05	1.05
Venue Factor	1	1	1
Required Seismic Bracing Amount	836 ft	12,471 ft	498 ft
Tabulated Seismic Bracing Amount	4,245 ft	8,361 ft	4,345 ft
Seismic Wall Height Factor	1	1	1
BWL Spacing Factor	1	1	1
Blocked Joint Factor	1	1	1
Cypress on Inside Factor	1	1	1
Seismic GB Construction Factor	1	1	1
Wall Dead Load Factor	1	1	1
Roof Dead Load Factor	1.05	1.05	1.05
Venue Factor	1	1	1
Required Seismic Bracing Amount	438 ft	838 ft	498 ft
Length of Wall Bracing Required	83.6 ft	12,471 ft	931 ft

Front to Back Walls Descriptions

Wall Line A-2		Wall Line B-2	
Braced-Wall-Line Location	2nd of 2-story	2nd of 2-story	
Eave to Ridge Height	10 ft	10 ft	
Braced-Wall-Line Spacing	18.58 ft	18.58 ft	
Braced-Wall-Line Length	44.30 ft	46.00 ft	
Wall Height	8 ft	8 ft	
Bracing Method	GB	CS-WSP	
GB Construction Type	GB Double Sided (Purlin Horizontal)	N/A	
Cypress Wall Based on Inside	N/A	Yes	
Horizontal Joints Blocked	N/A	Yes	
Holddown Device Used	No	No	
Wall Dead Load	> 8 psf & ≤ 15 psf	> 8 psf & ≤ 15 psf	
Roof/Ceiling Dead Load	> 15 psf & ≤ 20 psf	> 15 psf & ≤ 20 psf	
Tabulated Wind Bracing Amount	6,074 ft	3,227 ft	
Exposure Height Factor	1	1	
Eave-to-Ridge Height Factor	1	1	
Wind Wall Height Factor	0.9	0.9	
Number of BWL Factor	1	1	
Holddown Factor	1	1	
Blocked Joint Factor	N/A	1	
Cypress on Inside Factor	1	1	
Seismic GB Construction Factor	1	1	
Wall Dead Load Factor	1	1	
Roof Dead Load Factor	1.1	1.1	
Venue Factor	1	1	
Required Seismic Bracing Amount	347 ft	236 ft	
Tabulated Seismic Bracing Amount	11,125 ft	4,224 ft	
Seismic Wall Height Factor	1	1	
BWL Spacing Factor	1	1	
Blocked Joint Factor	N/A	1	
Cypress on Inside Factor	1	1	
Seismic GB Construction Factor	1	1	
Wall Dead Load Factor	1	1	
Roof Dead Load Factor	1.1	1.1	
Venue Factor	1	1	
Required Seismic Bracing Amount	1324 ft	688 ft	
Length of Wall Bracing Required	12.24 ft	6.88 ft	

Side to Side Walls Descriptions

Wall Line 1-2		Wall Line 2-2	
Braced-Wall-Line Location	2nd of 2-story	2nd of 2-story	
Eave to Ridge Height	10 ft	10 ft	
Braced-Wall-Line Spacing	46.00 ft	46.00 ft	
Braced-Wall-Line Length	18.58 ft	18.58 ft	
Wall Height	8 ft	8 ft	
Bracing Method	CS-WSP	CS-WSP	
GB Construction Type	N/A	N/A	
Cypress Wall Based on Inside	Yes	Yes	
Horizontal Joints Blocked	Yes	Yes	
Holddown Device Used	No	No	
Wall Dead Load	> 8 psf & ≤ 15 psf	> 8 psf & ≤ 15 psf	
Roof/Ceiling Dead Load	> 15 psf & ≤ 20 psf	> 15 psf & ≤ 20 psf	
Tabulated Wind Bracing Amount	6.9 ft	6.9 ft	
Exposure Height Factor	1	1	
Eave-to-Ridge Height Factor	1	1	
Wind Wall Height Factor	0.9	0.9	
Number of BWL Factor	1	1	
Holddown Factor	1	1	
Blocked Joint Factor	1	1	
Cypress on Inside Factor	1	1	
Seismic GB Construction Factor	1	1	
Wall Dead Load Factor	1	1	
Roof Dead Load Factor	1.1	1.1	
Venue Factor	1	1	
Required Seismic Bracing Amount	3.65 ft	3.65 ft	
Tabulated Seismic Bracing Amount	2,514 ft	2,514 ft	
Seismic Wall Height Factor	1	1	
BWL Spacing Factor	1.32	1.32	
Blocked Joint Factor	1	1	
Cypress on Inside Factor	1	1	
Seismic GB Construction Factor	1	1	
Wall Dead Load Factor	1	1	
Roof Dead Load Factor	1.1	1.1	
Venue Factor	1	1	
Required Seismic Bracing Amount	3.65 ft	3.65 ft	
Length of Wall Bracing Required	6.21 ft	6.21 ft	



**UPPER FLOOR BRACED WALLS
UNIT #4**

Shear Wall Schedule	
Mark	Notes
CS-WSP	7/16" OSB One Side Of Wall Purlin Nailing: 6d Common Nails @ 8" o.c. Intermediate Nailing: 6d Common Nails @ 12" o.c. (Blocked) Or 16 Ga x1-3/8" Staples @ 4" o.c. (Unbraced), 8" o.c. (Intermediate) Fasten To Headers w/ 8d Nails @ 12" O.C. Pattern
GB1	1/2" CYPRESS BOARD Both Sides Of Wall Horizontal Use 6d Cooler Nails or Screws @ 7" o.c. All Studs (unblocked)
GB2	1/2" CYPRESS BOARD Both Sides Of Wall Horizontal Use 6d Cooler Nails or Screws @ 7" o.c. All Studs (unblocked)
PFH	7/16" OSB One Side of Wall See PFH - Portal Frame Hold Down Detail Sheet

Robb Vavold
 PO Box 972
 Caldwell, Idaho 83608
 (208) 250-3511
 RVAVOLD@gmail.com

YAVOLD DESIGN
 RESIDENTIAL DESIGN & DRAFTING

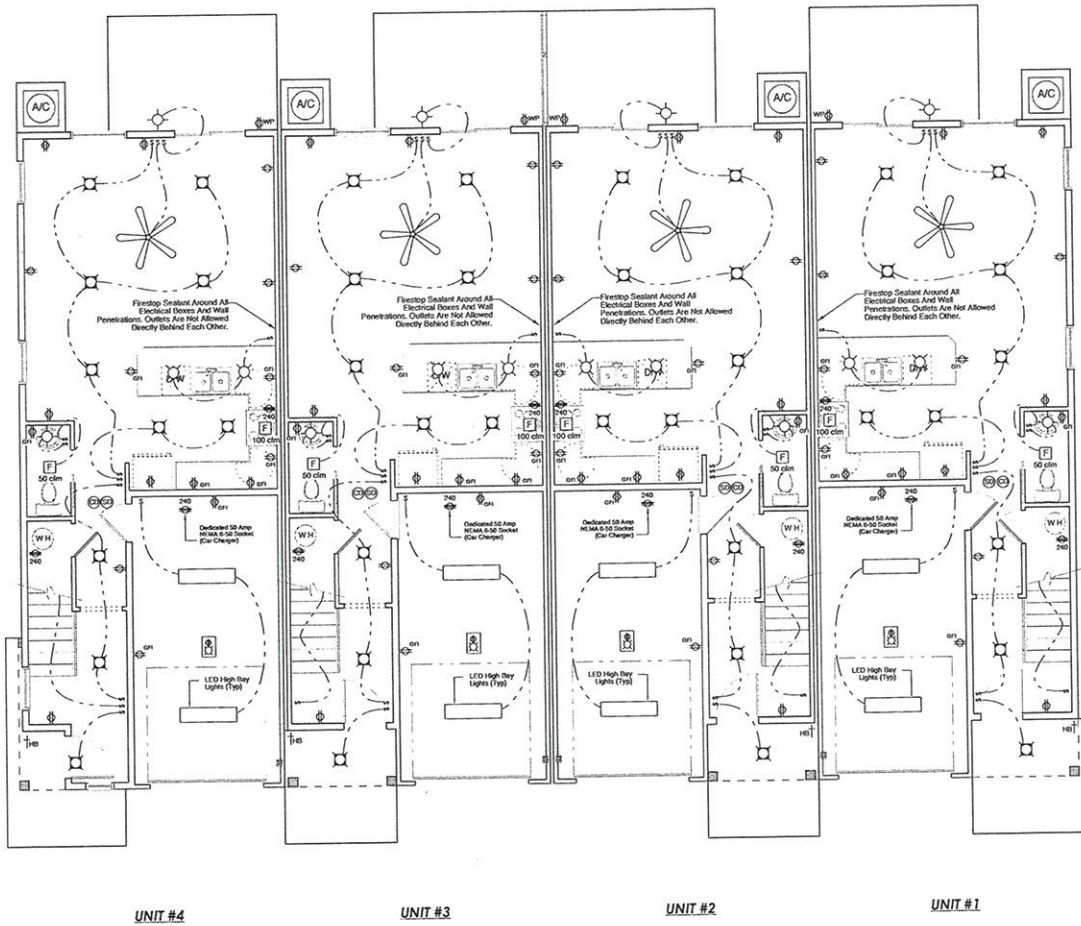
**BUILDING "B"
 UNIT #4
 BRACE WALL
 PLAN**

Pineview Development LLC
 18687 N. Thurgood Loop
 Nampa, ID 83687

NO.	REVISIONS	DATE	BY

DRAWN BY: ROBB VAVOLD
 PROJECT: 4PLEX
 N. ALWORTH ST
 GARDEN CITY, ID.

DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET:
A12-B



ELECT. NOTES

SWITCHES UP 45"
 RECEPTS UP 14"
 RECEPT SWITCHES @ KITCHEN COUNTERTOPS UP 42"
 BATH RECEPTS UP 45"
 GARAGE RECEPTS UP 42"

ALL MECHANICAL VENTILATION EQUIPMENT TO BE VENTED TO EXTERIOR

SMOKE DETECTORS INTER-COORD W/ BATTERY BACKUPS

WATER HEATER PRESSURE RELIEF VALVE TO BE FLUMED TO EXTERIOR W/ 90° ELBOW @ END

Electrical Symbol Legend

	Wall Light
	Ceiling Light
	Recessed Ceiling Light
	Vent Fan
	Smoke Detector
	Carbon Monoxide Detector
	110V Recept.
	110V GFCI Recept.
	110V Water Protected Recept.
	240V Recept.
	Switch
	Garage Door Opener

Robb Vayold
 P.O. Box 918
 401 E. Main St.
 83605
 KTVB-TV@gmail.com

YAYOLD DESIGN
 RESIDENTIAL HOME DESIGN DRAFTING

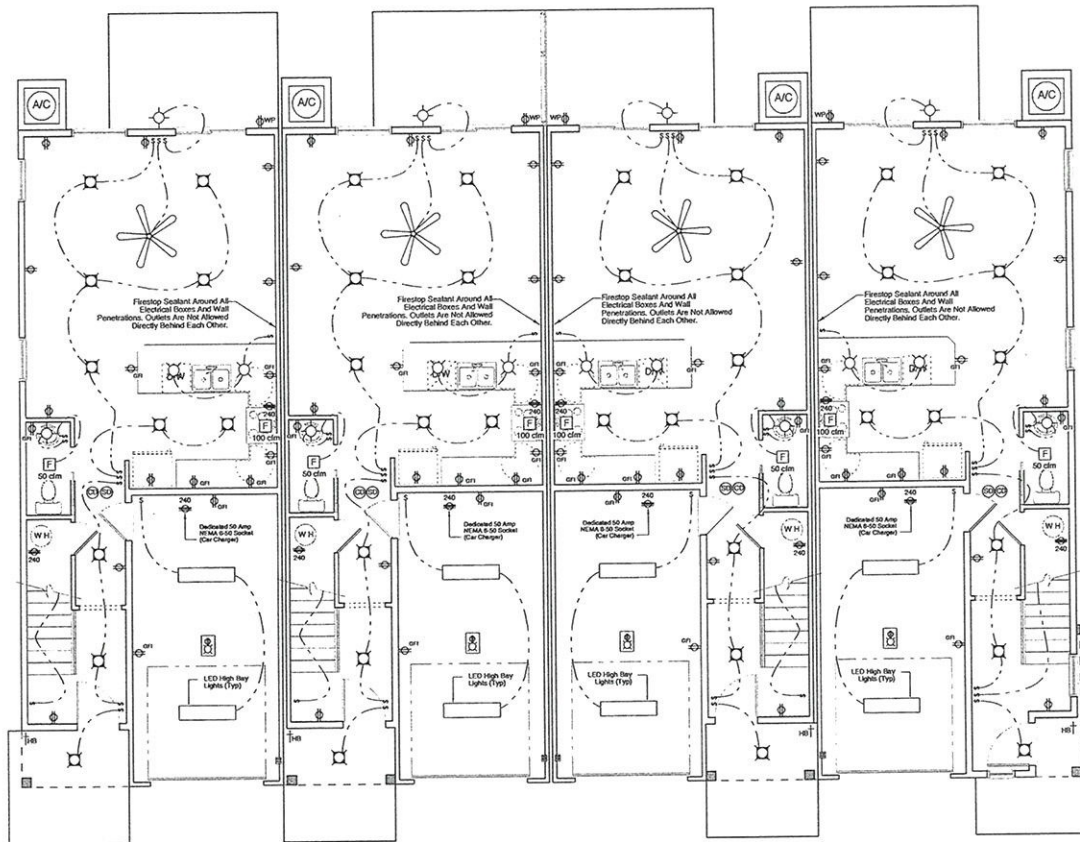
**BUILDING "A"
 MAIN FLOOR
 ELECTRICAL
 PLAN**

Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, Id. 83687

NO.	REVISIONS	DATE	BY

OWNER: ROBBS VAYOLD
 PROJECT: 401 EY
 N. ALWORTH ST
 GARDEN CITY, ID.

DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET: **F1-A**



UNIT #1

UNIT #2

UNIT #3

UNIT #4

ELECT. NOTES
 SWITCHES UP 4"
 RECEPTS UP 14"
 RECEPT SWITCHES @ KITCHEN COUNTERS UP 42"
 BATH RECEPTS UP 42"
 GARAGE RECEPTS UP 42"
 ALL MECHANICAL VENTILATION EQUIPMENT TO BE VENTED TO EXTERIOR
 SMOKE DETECTORS INTER-CONN W/ BATTERY BACKUPS
 WATER HEATER PRESSURE RELIEF VALVE TO BE PLUMBED TO EXTERIOR W/ 90° ELBOW @ END

Electrical Symbol Legend

	Wall Light
	Ceiling Light
	Recessed Ceiling Light
	Vent Fan
	Smoke Detector
	Carbon Monoxide Detector
	110V Recept.
	110V GFCI Recept.
	110V Water Protected Recept.
	240V Recept.
	Switch
	Garage Door Opener

Robb Vavolo
 P.O. Box 9748
 Tampa, FL 33606
 (813) 836-5811
 RVAVOLO@gmail.com

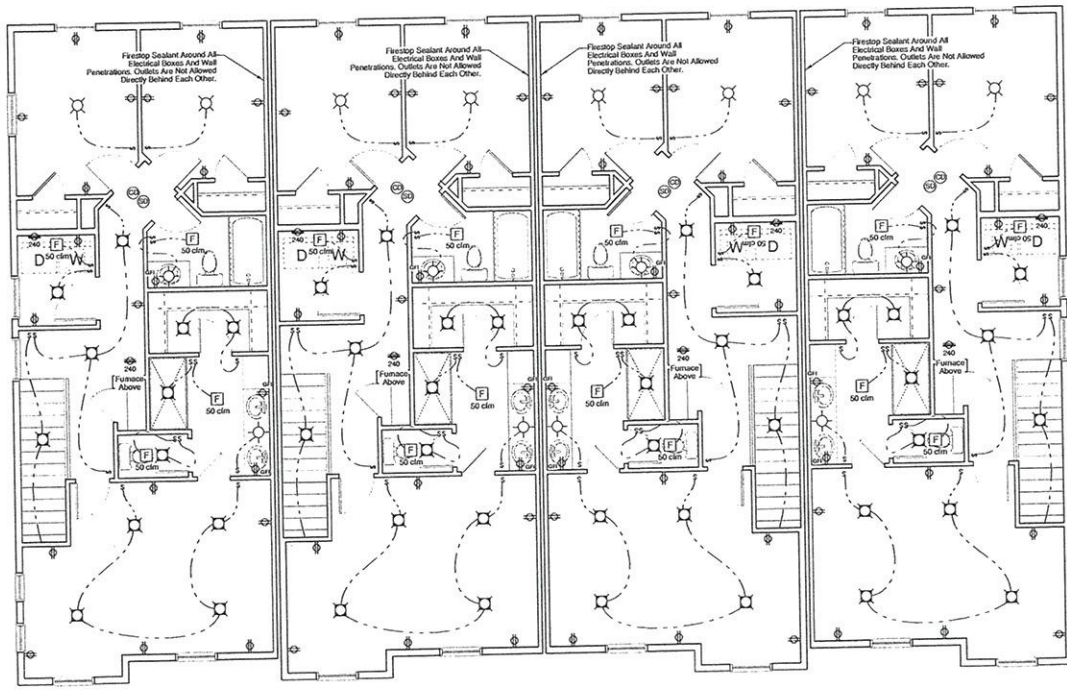
YAVOLO DESIGN
 RESIDENTIAL HOME DESIGN & DRAFTING

**BUILDING "B"
 MAIN FLOOR
 ELECTRICAL
 PLAN**

Pipeview Development LLC
 16887 N. Thurgood Loop
 Nampa, Id. 83687

NO.	REVISIONS	DATE	BY

DRAWN BY: ROBB VAVOLO
 PROJECT: 4PLEX
 N. ALWORTH ST.
 GARDEN CITY, ID.
 DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET: **F1-B**



UNIT #4

UNIT #3

UNIT #2

UNIT #1

ELECT. NOTES
 SWITCHES UP 42"
 RECEPTS UP 14"
 RECEPT SWITCHES @ KITCHEN COUNTERTOPS UP 42"
 BATH RECEPTS UP 42"
 GARAGE RECEPTS UP 42"
 ALL MECHANICAL VENTILATION EQUIPMENT
 TO BE VENTED TO EXTERIOR
 SMOKE DETECTORS INTER-COMM W/
 BATTERY BACKUPS
 WATER HEATER PRESSURE RELIEF VALVE TO
 BE PLUMBED TO EXTERIOR W/ 3" ELBOW @ END

Electrical Symbol Legend

	Wall Light
	Ceiling Light
	Recessed Ceiling Light
	Vent Fan
	Smoke Detector
	Carbon Monoxide Detector
	110V Floorcp.
	110V GFCI Floorcp.
	110V Water Protected Floorcp.
	240V Floorcp.
	Switch
	Garage Door Opener

Robb Vavod
 Colson # ID: 83606
 (888) 250-3811
 RVAVOD@gmail.com



**BUILDING "A"
 2nd FLOOR
 ELECTRICAL
 PLAN**

**Pineview Development LLC
 16887 N. Thurgood Loop
 Nampa, Id. 83687**

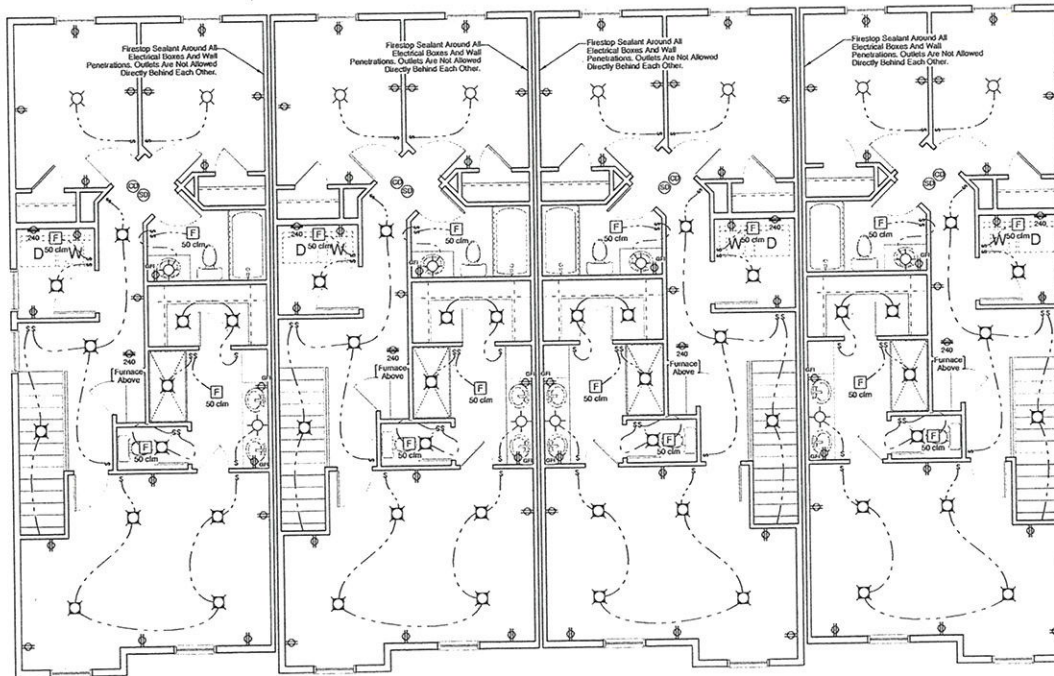
REVISIONS	DATE	BY

DRAWN BY: ROBB VAVOLD
 PROJECT: APT. COMPLEX
 N. ALWORTH ST
 GARDEN CITY, ID.

DATE: August 6, 2021

SCALE: 1/4" = 1'-0"

SHEET:
E2-A



UNIT #1

UNIT #2

UNIT #3

UNIT #4

ELECT. NOTES
 SWITCHES UP 4"
 RECEPTS UP 1"
 RECEPT SWITCHES @ KITCHEN COUNTERS UP 42"
 BATH RECEPTS UP 42"
 GARAGE RECEPTS UP 42"
 ALL MECHANICAL VENTILATION EQUIPMENT
 TO BE VENTED TO EXTERIOR
 SMOKE DETECTORS INTER CONN W/
 BATTERY BACKUPS
 WATER HEATER PRESSURE RELIEF VALVE TO
 BE PLUMBED TO EXTERIOR W/ 90° ELBOW @ END

Electrical Symbol Legend

	Wall Light
	Ceiling Light
	Recessed Ceiling Light
	Vent Fan
	Smoke Detector
	Carbon Monoxide Detector
	110V Recept.
	110V GFCI Recept.
	110V Water Protected Recept.
	240V Recept.
	Switch
	Garage Door Opener

Robb Vavold
 Electrical License #3606
 (208) 250-3511
 RVavold@gmail.com

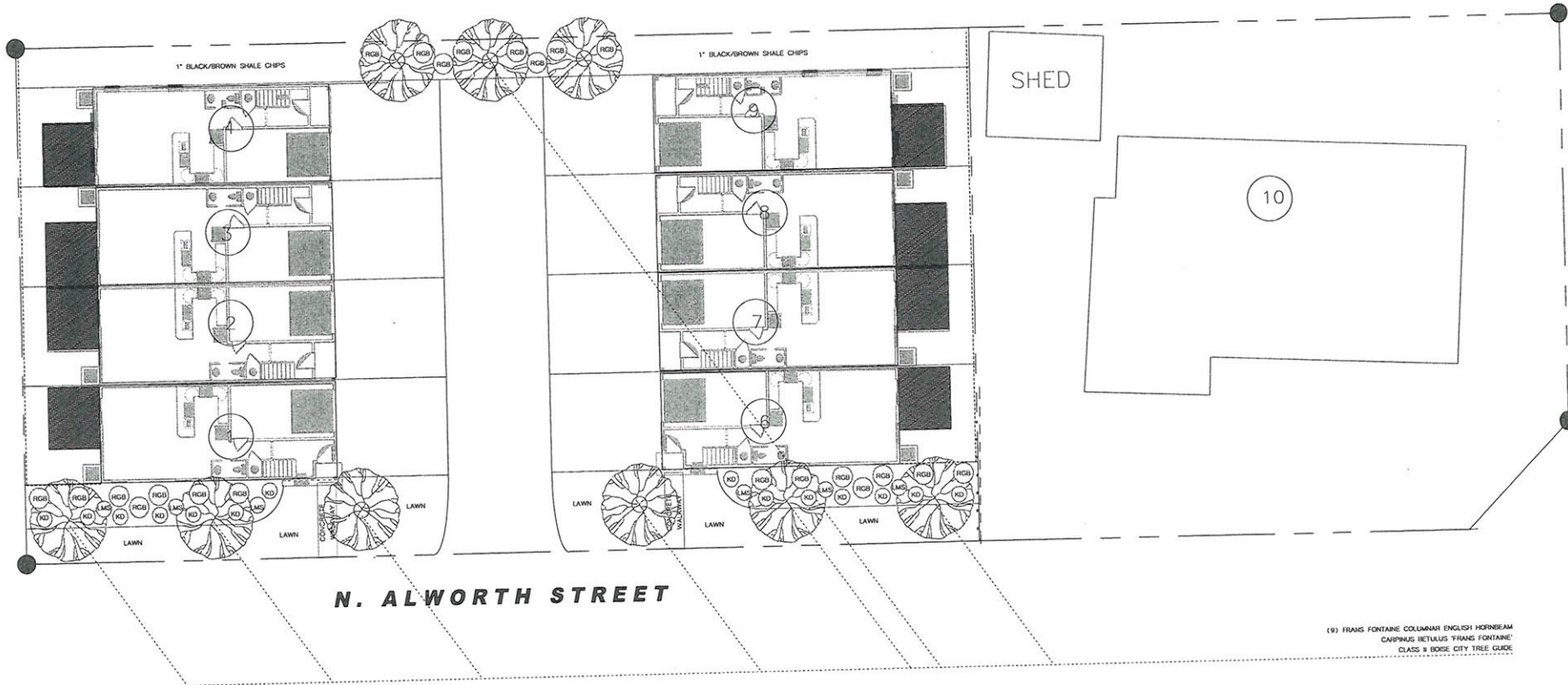
YAVOLD DESIGN
 RESIDENTIAL HOME DESIGN & CONSTRUCTION

**BUILDING "B"
 2nd FLOOR
 ELECTRICAL
 PLAN**

Pineview Development LLC
 16687 N. Thurgood Loop
 Nampa, Id. 83887

REVISIONS	DATE	BY
NO.		
DESCRIPTION		

DRAWN BY: ROBB VAVOLD
 PROJECT: 4PLEX
 N. ALWORTH ST
 GARDEN CITY, ID.
 DATE: August 6, 2021
 SCALE: 1/4" = 1'-0"
 SHEET: **F2-B**

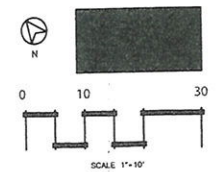


(9) FRANG FONTANE COLLIMAR ENGLISH HORNBAM
 CARPINUS BETULUS 'FRANG FONTANE'
 CLASS B BOISE CITY TREE GUIDE

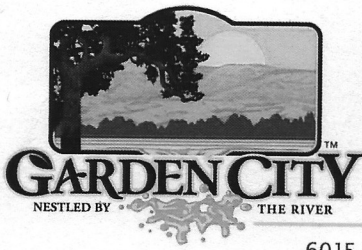
----- 6" VINYL FENCE
 PLANTER BEDS COVERED IN 1" BLACK/BROWN SHALE CHIPS

PLANTING KEY:

(14) KD = KELSEY DOGWOOD
 (6) LMS = LIMEMOUND SPIREA
 (20) RGB = ROSE GLOW BARBERRY



DATE:	JULY 26, 2021
CLIENT:	GRAND HILLCREST
LOCATION:	ALWORTH TOWNSHIPS 4500 ALWORTH ST GARDEN CITY, ID 83716
PREPARED BY:	MEGAN BENNETT PRINCIPAL DESIGNER OUTWEE LANDSCAPE DESIGN LLC PO BOX 1007, BOISE, ID 83707 201.258.1620



Form Request to Obtain Fire Flow Test

Permit info: _____
Application Date: _____ Rec'd by: _____
FOR OFFICE USE ONLY

6015 Glenwood Street ▪ Garden City, Idaho 83714 ▪ Phone 208/472-2900 ▪ Fax 208/472-2996
▪ Inspection Hotline Phone 208/472-2920 ▪ WWW.Gardencityidaho.org ▪

Property Information:

(Circle One): RESIDENTIAL / COMMERCIAL

Project Name Rock Rose Sub Project Address: 4900 Alworth

Parcel # R7334160451 Lot: 11 Block: 03 Subdivision: Ranchel Acres Sub #05

APPLICANT:

Name: Craig Kulchak

E-mail: ckulchak@gmail.com

Phone: (208) 919-1141

Contact Cell: Same

Fax: _____

Address: 4839 Mountain View Drive

City, State, Zip: Boise, ID 83704

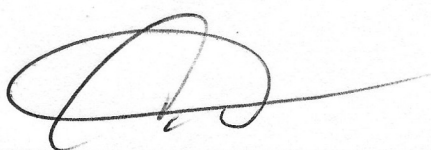
Additional Information (CUP, DSR, SUB Tracking numbers, names etc.)

Fire flow for Pucell @ Cross roads 49th and Alworth - 4900 Alworth

Fees to Obtain Fire Flow:

Water Observation

(See Fee Schedule)

APPLICANT'S SIGNATURE:  DATE: 01/APR/2021

Note: per Public Works Water Division Policy and Procedure Fire Flow 12.15 - all fire flow requests will be processed within 14 business days.

**Natural Features and
Resource Analysis**

For

**River Rock Town Homes
4900 N. Alworth Street
Garden City, Idaho**

**Located at;
Lot 11, Block 3
Randall Acres Subdivision No. 5
Garden City, Idaho**

Prepared for:

PINEVIEW DEVELOPMENT, LLC

Sanitary Sewer
Storm Drainage Facilities
Public Utilities
Existing Pedestrian Access
Police, Fire and Emergency Services
Public Schools
Library
Refuse Collection
Mail Service

All of the above are readily available to the site with the exception of the public storm water facilities. The site will retain its storm water runoff on site through approved drainage systems.

WATER

City water is available in Alworth Street with several service stubs located within the sidewalk placed there during construction of Alworth Street. Capacity appears to be adequate to provide potable water, fire suppression and irrigation water. A waiver for connection to the pressure irrigation system will be submitted with the final plans.

SANITARY SEWER

Sanitary sewer is available in Alworth Street and based upon the depths of the pipe adequate depth is available to provide services to the development.

STORM SEWER

Public storm sewer is in Alworth Street but is not for use for anything outside the public right of way. The applicant expects to provide on-site subsurface disposal for all storm water generated from the site.

PUBLIC UTILITIES

All needed public utilities are available to the site.

EXISTING PEDESTRAIN ACCESS

The front of the site has a sidewalk along Alworth Street and a common access walkway to the north of the site provides access to the greenbelt along the Boise River.

POLICE, FIRE AND EMERGENCY SERVICES

As the project may be considered as "in-fill" development all emergency services are currently provided to the area.

However, recent studies by FEMA have been concluded and has placed all of Garden City in a proposed seclusion area. Seclusion may be considered a “holding” period where FEMA desires to further study the floodplain in the city during an interim period of several years. As such, the 2016 preliminary mapping completed by FEMA duplicates the current 2003 mapping. But all land developments must be aware of the impending changes that could be adopted in the near future.

As noted above, the site resides in the 500-year flood zone. However, the new flood study information indicates that the site could be included within the 100-year (1%) flood zone and subject to the requirements of such zones. The development needs to recognize the impacts to future home owners if such a change should occur. This would require establishing a lowest floor (as defined by FEMA) above the Base Flood Elevation (BFE) for the site. Work maps provided by FEMA during the early phases of the study have indicated that the BFE might be around \pm 2636.5. The developer should be cognizant of the proposed BFE and adjust his grading to accommodate that requirement.

SURFACE WATERS AND PRESSURE IRRIGATION

The Boise River is located about 250-300 feet north and east of the site. The Thurman Mill Ditch LTD is the water provider for this site. A small irrigation ditch is piped across the front of the site and has a stub pipe providing water to an open ditch along the back side of the site but off the site property. The property to the northeast plans to pipe the open ditch and this project will assist to assure the pipe is adequate and will not interfere with water delivery.

Due to the size of this project and therefore cost of a pressure irrigation, a specific waiver of a pressure irrigation system will be requested by the applicant. The waiver will be submitted for approval with the final construction plans.

NOTABLE VEGETATION

There are no significant trees located on the proposed development portion of this property but the trees and vegetation on the signal family home will remain. The landscape plans contain the proposed trees and vegetation.

FISH AND WILDLIFE

We are not aware of any endangered plant or animal species located on the site.

EXISTING CITY INFRASTRUCTURE

City infrastructure and public services of interest to serve this development are:

Potable Water
Fire Suppression Water
Irrigation Water

PUBLIC SCHOOLS

The area is within the boundaries of the Boise School District. The district's student population has been declining in recent years and should have capacity to accept additional students.

LIBRARY

Garden City has a vibrant and active library located at the city hall.

REFUSE COLLECTION

Collection services consisting of trash and recycling pick-up are available to the area residents.

MAIL SERVICE

Mail delivery is available. Shared individual or a central mailbox will be provided to home owners.

Appendix A
Site Geotechnical Report



Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

Steve Zinser
Mesa Construction, Inc.
1001 South Leadville Avenue
Boise, Idaho 83706

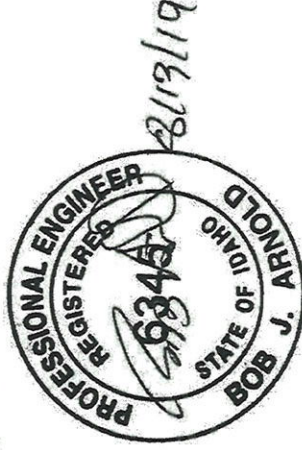
August 13, 2019
Page 1 of 15
File 19206-A

Re: Geotechnical Recommendation Report
Proposed Townhomes
404 East 49th Street
Garden City, Idaho

Steve:

As per your authorization, on April 23, 2019, SITE personnel observed the excavation of three test pits on the referenced property. Soil samples were gathered and submitted for laboratory analysis. Based on the observed and reported conditions and compliance with the recommendations provided herein, the referenced lot is acceptable for construction of the planned development for multi-family structures. The planned buildings can be constructed using standard construction methods. Conventional strip foundations with slab on grade floors or a conventional crawlspace are acceptable. Foundations can be designed to exert bearing pressures of up to 2500 psf on the existing native pitrun type soils or upon approved structural fill extending to this soil layer. Based upon this bearing pressure and the recommendations of this report being followed, we anticipate total settlements of less than one inch, with differential settlements less than half of this value. If these values are unacceptable, please contact SITE for additional recommendations. Recommendations are also included herein for design of the proposed development. We appreciate this opportunity to be of service. Please contact our office if additional information or services are required.

Respectfully submitted,
Bob J. Arnold, PE
SITE Consulting, LLC





Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

GEOTECHNICAL RECOMMENDATION REPORT

404 East 49th Street

Garden City, Idaho

GENERAL

This report presents the results of a Geotechnical Evaluation performed for a proposed multi-family residential development to be constructed on a single parcel located on the west side of East 49th Street, just north of Alworth Street in Garden City, Idaho. The property is approximately 500 feet south of the Boise River. Access to the property was gained from 49th street past the existing residence to the pasture area west of the home. It is assumed that all onsite structures will be demolished as a part of this development. Parcel information from the Ada County Assessor's website is as follows:

#	Ada County #	Address	Acres
1	R 73334160441	404 East 49 th Street	0.69

The field investigation included subsurface exploration by means of a rubber tire mounted backhoe operated by an independent contractor. During excavation of the test pits, logs were generated, and soil samples were gathered. Soil samples were returned to our in-house soil laboratory for testing. After the field investigation and laboratory testing was completed, all available field and laboratory test data was reviewed, the provided design information was evaluated, and this report was prepared. This report summarizes our findings and recommendations regarding the geotechnical aspects of the project.

AUTHORIZATION

Email authorization to proceed with this geotechnical investigation was received in March 2019 from the client. Authorization to proceed and the use of the recommendations provided herein indicate the client's acceptance of the scope of work, warranty, limitations, and general conditions provided herein and within any submitted proposal.



Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

RESEARCH & BACKGROUND

GENERAL

Historical aerial photos available on Google Earth indicate other structures were previously located on the property. Therefore, foundations and utilities for former buildings may be present. Historically, the majority of the property appeared to have been used as pastureland.

FIELD INVESTIGATION

Three test pits were advanced to depths of approximately one foot below the current groundwater elevation. At this depth, soughing soils prevented deeper exploration. During excavation, samples were recovered from the spoil piles as excavation was performed. These samples were sealed in plastic bags, labeled, and returned to the laboratory for evaluation and analysis. In the laboratory, sieve analysis, moisture content, and Liquid Limit, Plastic Limit and Plasticity Index testing were performed on selected samples. Tests were performed in general accordance with the cited ASTM test methods. All test results are included in the Test Pit Logs located in the Appendix.

OBSERVED CONDITIONS

All three test pits were similar with approximately three feet of silty sand with gravel or sandy silt with gravel atop the Boise River gravel formation. The sand and gravel layer was encountered at 3-4 feet deep in all three test pits and extends to greater depth than we could explore. Groundwater was encountered in all three test pits at five to seven feet deep when excavated in April 2019. This variation is likely due to differences in ground surface elevation not the groundwater elevation. It is noted that two adjacent property well logs were located in the IDWR database and they indicate the static groundwater was 3-5 feet deep when the wells were drilled. These logs are included in the Appendix. Monitoring wells were installed in all three test pits. Monthly readings will continue until design is approved for construction. See Well data in the Appendix.



Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

DESIGN & CONSTRUCTION RECOMMENDATIONS

General Earthwork

All native soils that are free of organic matter and expansive clays can be used as fill. After proper grubbing, the native silty sand or sandy silt, soils can be utilized as structural fill to fill building pads or street section subgrade.

Removal of the majority of the organic materials will require grubbing of 2-4 inches of surface soils. This is required in all areas to receive structural fill. Deeper excavation may be required in landscaped areas, along irrigation ditches, and where large trees, bushes, and soft wet areas are present. The depth of grubbing is to be confirmed during construction to ensure that organic materials are properly removed from beneath future pavements and structural fills. Inspection by the project geotechnical engineer should confirm that all organic material and demolition debris is removed. Inspection must confirm complete removal of previously demolished structures including slab on grade floors. Any well or septic system/tank encountered are to be abandoned as per IDEQ and IDWR requirements.

Structural fills less than three feet deep are to be compacted to 95 % of the maximum dry density by ASTM D698, Standard Proctor. For deeper fills, such as ditch backfill, basement backfill, and fill intended to contain rerouted irrigation canals, ditches, or storm water runoff, fill materials are to be compacted to 100 % of the Standard Proctor maximum dry density. If structural fill is to be placed on the building pads, the fill is to extend laterally outside foundations a distance equal to the depth of structural fill. Compaction testing of all structural fill is required. Visual inspection is also required to confirm stability and the lack of soft, deflecting, or rutting areas. Fill can pass compaction tests and still be rejected if it fails visual inspection.



Excavations

Shallow excavations and trenches that do not exceed four feet in depth may be constructed with side slopes approaching vertical. The ability of soils to maintain a vertical or near vertical slope over any extended period can be quite variable. This information is provided for planning purposes. It is our opinion that maintaining safe working conditions is the responsibility of the contractor. Jobsite conditions such as soil moisture content, weather condition, earth movements and equipment type and operation can all affect slope stability. All excavations should be sloped or braced as required by applicable local, state, and federal requirements.

Pavement Section

It is assumed that an R-Value of greater than R=20, would be obtained if the native surface soils were tested. Pavement sections have been calculated based upon an R-Value of R=20 and Traffic Index of TI=6. The results are shown in the table below. Materials meeting the requirements of ISPWC & / or ACHD are required for all work within this project. For this project, it is recommended that the subgrade be inspected (proof-rolled) prior to the placement of subbase materials.

HMA	2.5"
¾" Base	4.0"
Subbase	10.0"
Subgrade	Inspected

Storm Water

Free draining sand and gravel material were present at four to five feet deep in all test pits. Based upon free draining conditions, a percolation rate of P=8 in/hr. is to be assumed for design of facilities that extend four feet below the existing ground surface. Over excavation and backfilling with free draining materials may be required. Confirmation of perc rate and clearance above groundwater at the time of construction by field testing is recommended. Groundwater levels are reported in the Appendix. Give the projects proximity to the Boise River, groundwater is more likely influenced by flows in the Boise River and not irrigation practices.



Building Foundation System

The proposed multi-family residential structures may be supported on conventional, continuous, and isolated pad foundations founded upon the native soils or upon structural fill extending to these soils. Based upon proper placement and compaction of structural fill, bearing pressures of up to 2500 psf are allowed for foundations founded on the native sand and gravel layer or upon properly placed and compacted structural fill. Either crawlspaces or slab on grade floors are acceptable but slab on grade floors will eliminate the possibility of water accumulating in crawlspaces. Basements are not allowed without an extensive groundwater study beyond the scope of this report. If clay soil, wet soil, or deflecting soil is present at the foundation support elevation a geotechnical engineer should be retained for site specific recommendations. Foundation drains are not required within this development. Roof runoff is not to route through foundation drains. Foundation embedment depth is to be at least 24 inches below outside adjacent grade. Foundations that are outside crawlspaces are to be sealed / waterproofed with brush or spray on foundation mastic.

Slab on Grade Concrete

Care must be taken so that all excavations below both interior and exterior slab on grade concrete are properly backfilled in accordance with the structural fill recommendations. Trenches and wall backfill areas are to be filled in lifts and benched each lift so that fill is not placed against a vertical soil face greater than three feet tall. Testing is to confirm that compaction has been achieved. Areas of excessive yielding should be excavated and backfilled with structural fill. Any fill used to increase the elevation of slab on grade concrete should meet the requirement for structural fill. Concrete pavements and slab on grade floors should be placed atop a mat of at least four inches of granular structural fill materials. Mat material should all pass a 3/4-inch sieve and should contain less than seven percent passing the # 200 sieve. The mat shall be compacted to the requirement for structural fill.



Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

Underground Utilities

It is not anticipated that large excavators or small backhoes will experience any difficulties excavating the onsite materials encountered on the property. No bedrock formation was encountered on the subject property.

Inspection & Testing

A qualified engineer or his representative should monitor fill placement to ensure the work is performed in accordance with these recommendations. For mass filling, field nuclear moisture - density testing shall be performed on each lift of compacted fill, one each filled residential lot or building pad. Trench backfill and right of ways are to be tested to ACHD and / or ISPWC requirements. It is noted that structural fill can pass compaction tests and still be unacceptable if pumping, rutting, or deflecting under vehicle or foot traffic.

Contractor Inspections

This report has been prepared with the intent to provide specific design information to the developer and the engineering consultants. It is not intended to act as any contractors "Due Diligence" or subsurface inspection prior to estimating construction costs or actual construction. Contractors may use the onsite monitoring wells to assess the groundwater prior to proposing on or beginning construction. Wells are to be protected during construction and can only be removed with permission from the client and SITE.



Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

General Comments

After the plans and specifications for construction are completed, it is recommended that this consultant be provided the opportunity to review the final design and specifications. This review will confirm that the earthwork recommendations have been properly interpreted and implemented. At that time, it may be necessary to submit supplementary recommendations. This review is a part of this service and will not result in additional invoicing unless additional research and recommendations are needed. Testing and inspection services are recommended herein. Proper quality control during construction is required to confirm materials and methods and thereby obtain a desirable finished product. Monitoring and testing should also be performed to verify suitability of materials used for structural fills and to confirm proper demolition, subgrade grubbing, subgrade stability, and proper placement and compaction of fills. Any deviations from the herein described subsurface conditions must be brought to the attention of this consultant.

This report has been prepared for the exclusive use of the client and their retained design consultants. Findings and recommendations within this report are for specific application to the proposed construction described herein and apply only to the property identified. Client may duplicate this report as needed or additional copies will be provided upon proper client authorization.

Appendix Follows



Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

APPENDIX

Aerial Photo

Test Pit Logs (3)

Soil Log Legend

Abbreviations and Acronyms

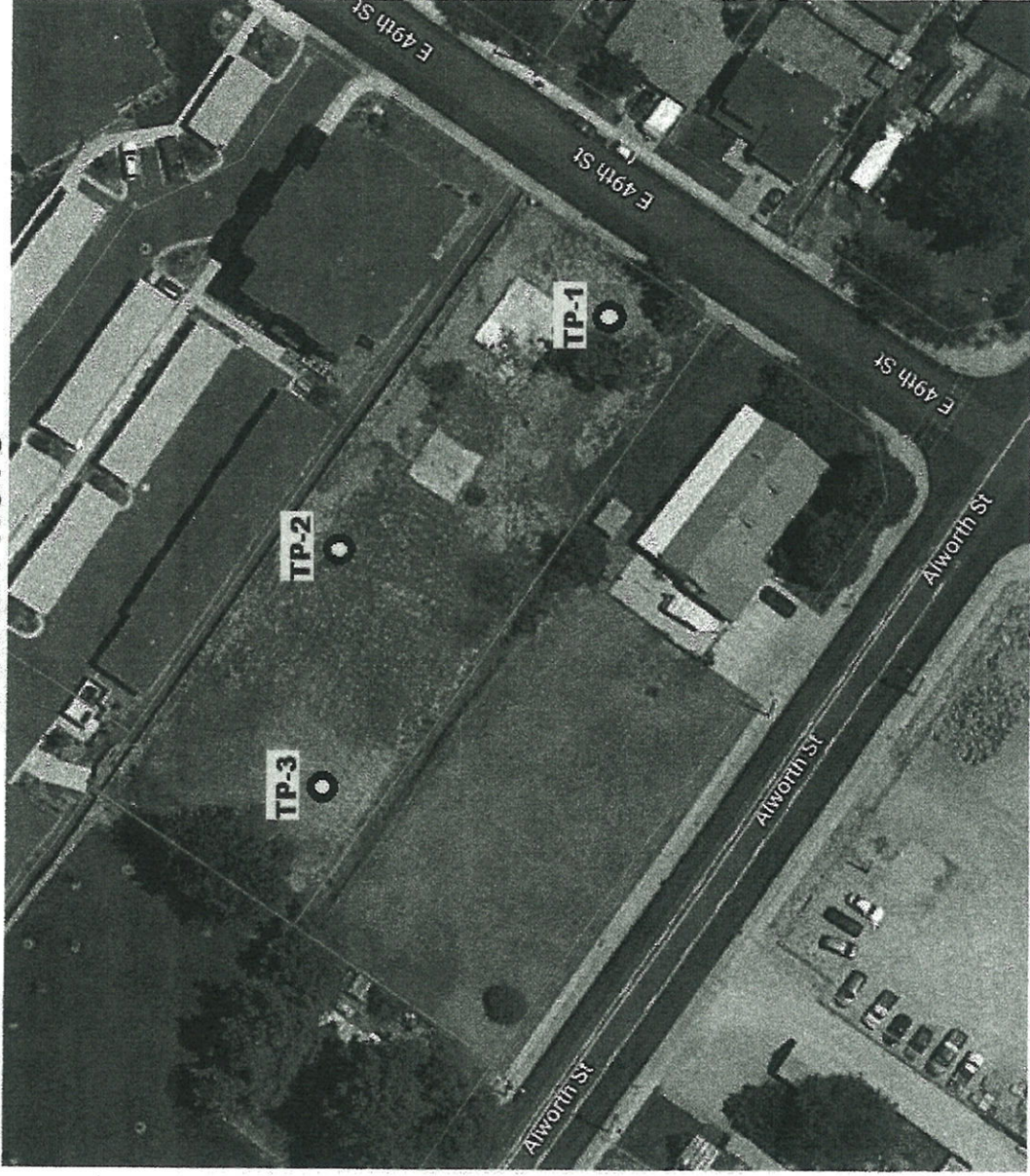
Groundwater Levels

Adjacent Well Logs (2)



Post Office Box 190537 - Boise, Idaho 83719
site.consulting.idaho@gmail.com - 208-440-6276

AERIAL PHOTO



404 East 49th Street – Garden City
from landprodata.com



Post Office Box 190537 - Boise, Idaho 83719
 site.consulting.idaho@gmail.com - 208-440-6276

TEST PIT LOGS

Test Pit:	TP-1		File #:		19206-A							
Client:	Mesa Construction		Date Excavated:		4/23/19							
Project:	404 49th Street		Excavated By:		Wood Brothers							
Location	East End		Logged By:		J. Meusch, PM - SITE							
DEPTH	SOILS DESCRIPTION											
(feet)	1.0"	3/4"	1/2"	3/8"	# 4	# 10	# 40	# 100	# 200	%M	LL	PI
0.0-1.0	Brown, Moist, Firm, Sand & Silt With Root Zone / Organic Layer 6-8"											
1.0-3.0	Brown, Moist, Firm, Silty SAND (SM)											
2.0					100	91	55	33	32.8	12.6	NP	NP
3.0-7.0	Brown/Tan, Moist, Firm, Sand, Gravel, Cobble (Pitrun) Scalped on 1" Sieve											
5.0	100	70	46	44	37	32	11	2	1.4	4.7	NP	NP
7.0	Bottom of Excavation @ 7.0 Ground Water Encountered @ 7.0 MW Installed											

Test Pit:	TP-2		File #:		19206-A							
Location	Middle of North Side		Logged By:		J. Meusch, PM - SITE							
DEPTH	SOILS DESCRIPTION											
(feet)	1.0"	3/4"	1/2"	3/8"	# 4	# 10	# 40	# 100	# 200	%M	LL	PI
0.0-1.0	Brown, Moist, Firm, Sand & Silt With Root Zone / Organic Layer 6-8"											
1.0-4.0	Brown, Moist, Firm, Silty SAND (SM)											
3.0					100	94	62	42.4	12.2	NP	NP	NP
4.0-6.0	Brown/Tan, Moist, Firm, Sand, Gravel, Cobble (Pitrun)											
6.0	Bottom of Excavation @ 6.0 Ground Water Encountered @ 6.0 MW Installed											

Test Pit:	TP-3		File #:		19206-A							
Location	West End		Logged By:		J. Meusch, PM - SITE							
DEPTH	SOILS DESCRIPTION											
(feet)	1.0"	3/4"	1/2"	3/8"	# 4	# 10	# 40	# 100	# 200	%M	LL	PI
0.0-1.0	Brown, Moist, Firm, Sand & Silt With Root Zone / Organic Layer 6-8"											
1.0-3.0	Brown, Moist, Firm, Silty, Sand											
3.0-5.0	Brown/Tan, Moist, Firm, Sand, Gravel, Cobble (Pitrun)											
5.0	Bottom of Excavation @ 5.0 Ground Water Encountered @ 5.0 MW Installed											



Post Office Box 190537 - Boise, Idaho 83719
 site.consulting.idaho@gmail.com - 208-440-6276

SOIL LOG LEGEND UNIFIED SOIL CLASSIFICATION SYSTEM

(ASTM STANDARD TEST METHOD D 2487 FOR CLASSIFICATION OF SOIL FOR ENGINEERING PURPOSES)

MAJOR DIVISIONS		TYPICAL DESCRIPTIONS
COARSE GRAINED SOILS < 50% - #200	GRAVEL & GRAVELLY SOILS <50% - #4	GW < 5% - #200 Well-graded gravel, gravel-sand mixture, little or no fines.
		GP Poorly graded gravel, gravel sand mixture, little or no fines
	SAND & SANDY SOILS ≥ 50% - # 4	GM 5-12% -#200 Silty gravel, gravel-sand-silt mixtures
		GC > 12% - #200 Clayey gravel, gravel-sand-clay mixtures
FINE GRAINED SOILS ≥ 50% - #200	SILTS AND CLAYS LL < 50%	SW < 5% - #200 Well-graded sand, gravelly sand, little or no fines.
		SP Poorly graded sand, gravelly sand, little or no fines
		SM >12% - #200 Silty sand, sand-silt mixtures
	SILTS AND CLAYS LL ≥ 50%	SC Clayey sand, sand-clay mixtures
		ML INORGANIC Inorganic silt and very fine sand, rock flour, silty or clayey fine sand or clayey silt with slight plasticity
		CL ORGANIC Lean clay-low to medium plasticity, gravelly clay, sandy clay, silty clay
HIGHLY ORGANIC SOILS		OL ORGANIC Organic silt and organic silty clay of low plasticity
		MH INORGANIC Elastic silt, micaceous or diatomaceous fine sand or silty soil.
		CH ORGANIC Fat clay - high plasticity
		OH ORGANIC Organic clay-med. or high plasticity: organic silt
		PT Peat, humus, swamp soil with high organic content

ABBREVIATIONS AND ACRONYMS

ASTM	American Society for Testing and Materials
IBC	International Building Code
ISPCWC	Idaho Standard for Public Works Construction
IDWR	Idaho Department of Water Resources
NP	Non-Plastic
PCC	Portland Cement Concrete
TP	Test Pit
USCS	Unified Soil Classification System
pcf	Pounds per Cubic Foot
psf	Pounds per Square Foot
tsf	Tons per Square Foot
psf/ft	Pounds per Square Foot / Foot



Post Office Box 190537 - Boise, Idaho 83719
 site.consulting.idaho@gmail.com - 208-440-6276

GROUNDWATER LEVELS

TP #	#1	#2	#3
Hub Elevation			
Casing Height	2.00	3.67	3.00
Casing Elevation			
Installed 4/23/2019			
GW Depth	7.0	6.0	5.0
May 5, 2019 JM	8.9	9.8	9.4
GW Depth	6.9	7.8	7.4
6/19/2019 JM	8.6	9.5	9.1
GW Depth	6.6	7.5	7.1
July 16, 2019 JM	8.5	9.3	9.0
GW Depth	6.5	7.3	7.0
August 13, 2019 JM	8.5	9.3	9.0
GW Depth	6.5	7.3	7.0



Post Office Box 190537 - Boise, Idaho 83719
 site.consulting.idaho@gmail.com - 208-440-6276

ADJACENT WELL LOGS

Form 258-7
73

STATE OF IDAHO
 DEPARTMENT OF WATER RESOURCES
WELL DRILLER'S REPORT
 State law requires that this report be filed with the Director, Department of Water Resources, within 30 days after the completion or abandonment of the well.

Location Connected by IDWR To:
 TOWN ROZE Sec. 31 SW1/4WNE
 By: mciscall 2012-12-13

1. WELL OWNER
 Name: Frank Cooke
 Address: 224441 Reis Ct. Hazel
 Owner's Permit No.:

2. NATURE OF WORK
 New well
 Deepened
 Replacement
 Abandoned (describe method of abandonment)

3. PROPOSED USE
 Domestic
 Irrigation
 Test
 Municipal
 Industrial
 Stock
 Waste Disposal or Injection
 Other (specify type)

4. METHOD DRILLED
 Rotary
 Air
 Hydraulic
 Revers rotary
 Cable
 Dig
 Other

5. WELL CONSTRUCTION
 Casing schedule: Steel Concrete Other
 Thickness: _____ inches
 Diameter: 1 1/2 inches
 From _____ feet
 To _____ feet
 Was casing drive shoe used? Yes No
 Was a packer or seal used? Yes No
 Perforated? Yes No
 How perforated? Factory Knifed Torch
 Size of perforation _____ inches by _____ inches
 Number of perforations _____
 From _____ feet
 To _____ feet
 Well screen installed? Yes No
 Manufacturer's name _____
 Type _____
 Diameter _____ Slot size _____
 Diameter _____ Slot size _____
 Gravel packed? Yes No Size of gravel _____
 Paced from _____ feet to _____ feet
 Surface seal depth 14 Material used in seal: Cement grout
 Pudding clay Well casings
 Sealing procedure used: Slurry pit Temp. surface casing
 Overbore to seal depth
 Method of joining casings: Threaded Welded Solvent
 Cemented between streets
 Cemented between street
 Describe access port _____

6. LOCATION OF WELL
 Grid map location must agree with written location.
 Subdivision Name: Roadside Subdiv # 6
 Lot No: 24 Block No. 4
 County: Ada
 N. 24 by 36 Sec. 31, T. 4 N., R. 2 E., S. 20

7. WATER LEVEL
 Static water level _____ feet below land surface.
 Flowing? Yes No
 Artesian closed-in pressure _____ p.s.f.
 Controlled by: Valve Cap Plug
 Temperature _____ °F. Quality _____

8. WELL TEST DATA
 Pump Balter Air Other
 Discharge G.P.M.: 150 Pumping Level: _____ Hours Pumped: 24

9. LITHOLOGIC LOG
 106518

Well No	Depth From	To	Material	Water
1	0	1	Topsoil	X
2	1	14	Excavated Clay	X
3	14	21	Excavated Sand	X
4	21	27	Excavated Gravel	X
5	27	35	Excavated Sand	X
6	35	38	Blow sand to 38 and 4	X

10. RECEIVED
 APR 9 1980
 Department of Water Resources
 DEC 21 1983
 Department of Water Resources
 Work started 4/14/81 finished 4/17/81

11. DRILLERS CERTIFICATION
 I/We certify that all minimum well construction standards were complied with at the time the rig was removed.
 Firm Name: Boise Consulting & Inspection Services, Inc. No. 28
 Address: 224441 Reis Ct. Hazel Date: 4/17/81
 Signed by (Firm Official): Frank Cooke
 and Michael...
 (Operator)

USE ADDITIONAL SHEETS IF NECESSARY - FORWARD THE WHITE COPY TO THE DEPARTMENT



Post Office Box 190537 - Boise, Idaho 83719
 site.consulting.idaho@gmail.com - 208-440-6276

Well Log Form 1
 4M - 3/62

Location Corrected by IDWR To:
 T04N R02E Sec. 31 SE1/4 NW
 By: moiscell 2012-12-26

WELL LOG AND REPORT OF THE
 STATE RECLAMATION ENGINEER OF IDAHO

Department of Reclamation

Permit No. 034383
 Locate well in section

NW 1/4	NE 1/4
SW 1/4	SE 1/4

Owner: J. R. Williams County: Ada
 Address: 401 E 57th St, Garden City
 Driller: F. J. Playville
 Address: 3817 Greenbrier Dr
 Well location: 22 1/2 Sec. 31, T. 4 N., R. 2 E.
 Size of drilled hole: 4 1/2

Total depth of well: 53

Give depth to standing water from the ground: 34 Water temp: Fair.

On "Pumping Test" delivery was: g.p.m. or c.f.s. Drawdown was: feet.

Size of pump and motor used to make test:

Length of time of test: hours minutes.

If flowing well, give flow: c.f.s. or g.p.m. and of shut off pressure.

If flowing well, described control works: (TYPE AND SIZE OF VALVE, ETC.)

Water will be used for: Irrigation Weight of casing per lineal foot: 11 lb

Thickness of casing: 1/4" Casing material: steel (STEEL, CONCRETE, WOOD, ETC.)

Diameter, length and location of casing: (GIVE IN DIAMETER OR LESS, GIVE INSIDE DIAMETER; CASING OVER 12" IN DIAMETER, GIVE OUTSIDE DIAMETER)

CASING RECORD

Diam. Casing	From Feet	To Feet	Length	Remarks—seals, grouting, etc.

Number and size of perforations: located: feet to feet from ground

Date of commencement of well: Date of completion of well: Sept 11-64

uadd

NOTHING FOLLOWS



March 18th, 2021

To Whom it may concern,

My name is Craig Kulchak and I am applying for a Subdivision and PUD application for a 7 lot subdivision located at 4900 Alworth, Garden City Idaho, to be held on site at 6:00 PM, April 2nd, 2021.

I will have the layout of the proposed subdivision for your viewing and welcome any questions you may have. I look forward to meeting you and discussing this great project.

Kindest Regards,

Craig Kulchak, PM

4839 Mountain View Drive, Boise, Idaho 83704
208-919-1141
rckulchak@gmail.com

SIGN-IN SHEET

Project Name: River Rock sub.

	Name	Address	Phone
1	Carol D. ...	4900 Alameda	208-863-5127
2	Craig Kuchmak	4839 Montezuma Dr. Boise	(209) 919-1141
3	Dick ...	4900 Alameda	208-850-6897
4	Julie Dahl	405 E. 50th St.	208-939-1541
5	Kenny Anderson	" " "	" " "
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			



Boise, Idaho 83704
(208) 919-1141

**Garden City Planning
6015 Glenwood Street
Garden City, Idaho 83714**

April 23, 2021

Subject: **PUD and Land Division Application – River Rock Town Homes**

Council and Staff:

We are pleased to present this request for approval of a PUD and Land Division for 4900 Alworth, Garden City.

Site Data

The entire site consists of .671 acres of land. It is located within the Garden City, City Limits, and is currently Zoned R-3, residential. The Ada County Assessor lists the parcel's address as 4900 Alworth and the tax parcel is R7334160451.

The site is currently a single-family home and vacant lot in the Randall Acres Subdivision number 05, Lot 11 Block 03.

Pre-Application Meeting

Consultation with the City of Kuna occurred on March 11, 2021, with me, and staff.

Neighborhood Meeting

A neighborhood meeting was held for the rezone and special use application on April 2, 2021, at 6:00 pm at 4900 Alworth, Garden City on the site. I, along with the owner, Frank Page his wife, Dicksie Page and two other neighbors were attendees.

Proximity to City Services

The parcel is surrounded by single family and apartment buildings and has access to all needed city services.

Land Division Application

We have submitted the Land Division Application as required. P & Z staff is supportive of the Land Division. We will work with the City of Garden City to complete the application, if necessary.



RCK Consultants

4839

Mountain View Drive

Boise, Idaho 83704
(208) 919-1141

PUD Application

We have submitted the PUD Application as required. P & Z staff is supportive of the PUD. We will work with the City of Garden City to complete the application, if necessary.

Community

The Addition of the River Rock Townhome project will give diversification of the development in this area and will benefit the City of Garden City with a well-planned and architecturally pleasing development.

Kindest Regards,

Craig Kulchak, PM

SHARP & SMITH, INC.

Consulting Engineers and Surveyors

327 W. 27th Street, Boise, ID 83702 208-344-0676

Email address: email@sharpandsmith.com

September 2, 2021

RIVER ROCK TOWN HOMES REQUEST FOR WAIVER OF PRELIMINARY ENGINEERING PLANS SPECIFICATIONS AND GRADING PLAN

River Rock Town Homes is an in-fill development on 4900 N. Alworth Street consisting of a single-family residence and a vacant lot on the west side of the residence. The proposed layout is to retain the single-family residence and subdivide the vacant area into eight two story attached single family residential units.

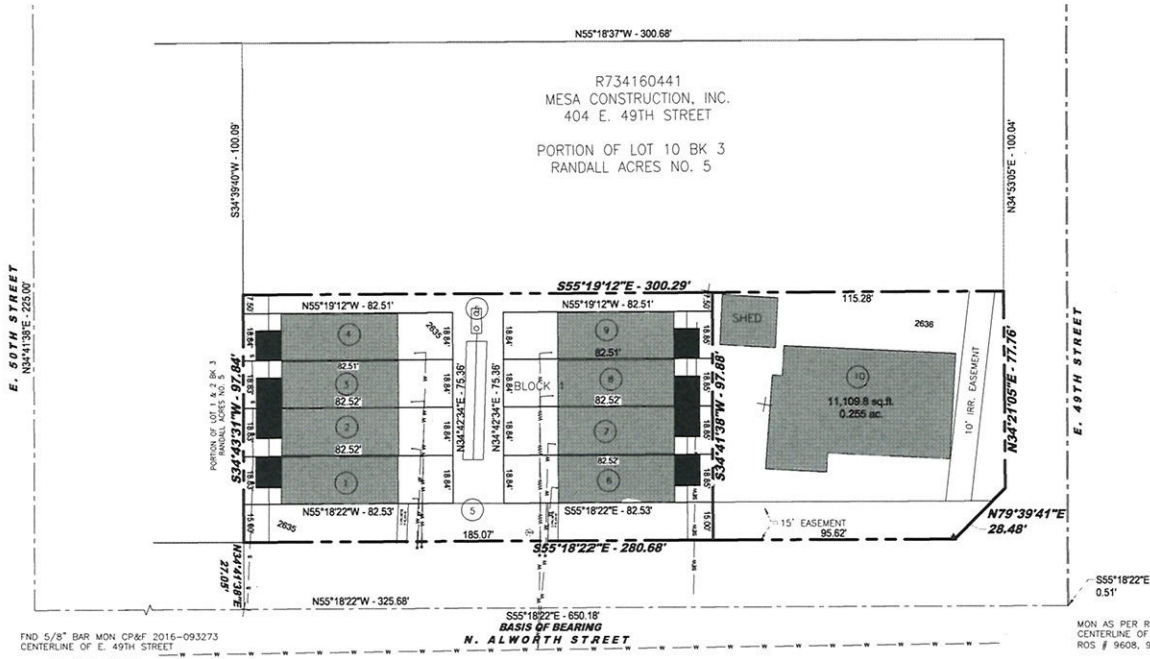
The storm water runoff from this site is proposed to be retained on site using a shallow subsurface seepage bed. A site Geotech report for the adjacent property has been completed and utilized for this small in-fill project. The seepage bed located under the entrance driveway will function as the disposal area and should not interfere with any utilizes. The geotechnical report is enclosed in the Natural Resources analysis portion of this report.

Water and sewer are available to the project from the existing infrastructure within N. Alworth street and some services have been extended to the sidewalk area during the reconstruction of N. Alworth Street. The project intends to extend any necessary sewer and water lines to the property using the private road and necessary easement. depending upon review by each utility and North Ada County Fire and Rescue District, the project currently proposes to extend water services from the existing service vaults to individual residences. Their does not appear to have enough existing service locations for the total number of residences and additional services will need to be brought from the main to the property lines.

We are requesting a waiver of the preliminary engineering plans, specification and grading plans until after the subdivision has been accepted and then a full set of plans and specification submitted.



RIVER ROCK TOWN HOMES
 RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5
 SITUATED IN THE NORTHWEST ¼ OF THE NORTHEAST ¼ SECTION 31, T4N R2E, B.M.
 GARDEN CITY, ADA COUNTY, IDAHO
 2021



- LEGEND**
- FOUND BRASS CAP
 - SET ½" REBAR WITH CAP
 - FOUND ½" BAR
 - FOUND ¾" REBAR WITH CAP
 - ▲ COMPUTED POINT
 - BOUNDARY LINE
 - PROPERTY LINE
 - ④ LOT NUMBER
 - IRRIGATION PIPE
 - IRRIGATION BOX
 - CENTERLINE OPEN DITCH
 - ⑤ NOTE NUMBER



NOTES:

1. ALL REFERENCE TO HOMEOWNERS ASSOCIATION HEREON ARE TO THE RIVER ROCK TOWN HOMES HOMEOWNER'S ASSOCIATION AND THE OWNERS OF THE LOTS, WITHIN SAID SUBDIVISION JOINTLY. THE LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH BY THE HOMEOWNERS ASSOCIATION RECORDED AS INSTRUMENT NO.
2. ANY RE-SUBDIVISION OF THE PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
3. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH DEPARTMENT.
4. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
5. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF GARDEN CITY OR AS AMENDED BY APPLICATION AND APPROVED BY GARDEN CITY.
6. NO EASEMENT SHALL PRECLUDE THE CONSTRUCTION AND MAINTENANCE OF HARD SURFACED DRIVEWAYS, LANDSCAPING, PARKING, COVERED PARKING OR OTHER SUCH IMPROVEMENTS.
7. LOT 5, BLOCK 1 IS A PRIVATE ROAD AND COMMON AREA AND CONVEYS TO THOSE LOT OWNERS TAKING ACCESS FROM THE PRIVATE ROAD THE PERPETUAL RIGHT OF INGRESS AND EGRESS OVER SAID PRIVATE ROAD. SUCH EASEMENT SHALL RUN WITH THE LAND AND PROVIDES THAT EACH LOT OWNER TAKING ACCESS FROM THE PRIVATE ROAD SHALL HAVE UNDIVIDED EQUAL INTEREST IN THE PRIVATE ROAD.
8. THE LOTS IN THIS SUBDIVISION WITH THE EXCEPTION OF LOT 5, BLOCK 1 SHALL NOT BE ALLOWED DIRECT ACCESS TO N. ALWORTH STREET.
9. THE LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS AND RESTRICTIONS AS SET FORTH BY THE SUBDIVISION HOMEOWNERS ASSOCIATION AND THE CITY OF GARDEN CITY RECORDED AS INSTRUMENT NO.

NARRATIVE:

THE PURPOSE FOR THIS PLAT IS TO CREATE 10 LOTS RESIDENTIAL OUT OF LOT 11 BLOCK 3 RANDALL ACRES NO. 5. ALL BUT ONE OF THE CORNER MONUMENTS WERE RECOVERED, THE SINGLE BAR NOT FOUND IS WITHIN THE IRRIGATION BOX ON THE CORNER OF N. ALWORTH AND 49TH STREET.

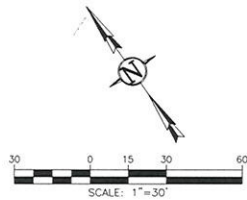
RECORD DATA

ROS No. 10697
 ROS No. 9990
 ROS No. 9438
 ROS No. 9608
 ROS No. 6784
 ROS No. 11791
 RANDALL ACRES NO. 5
 RIVERPOINTE SUBDIVISION

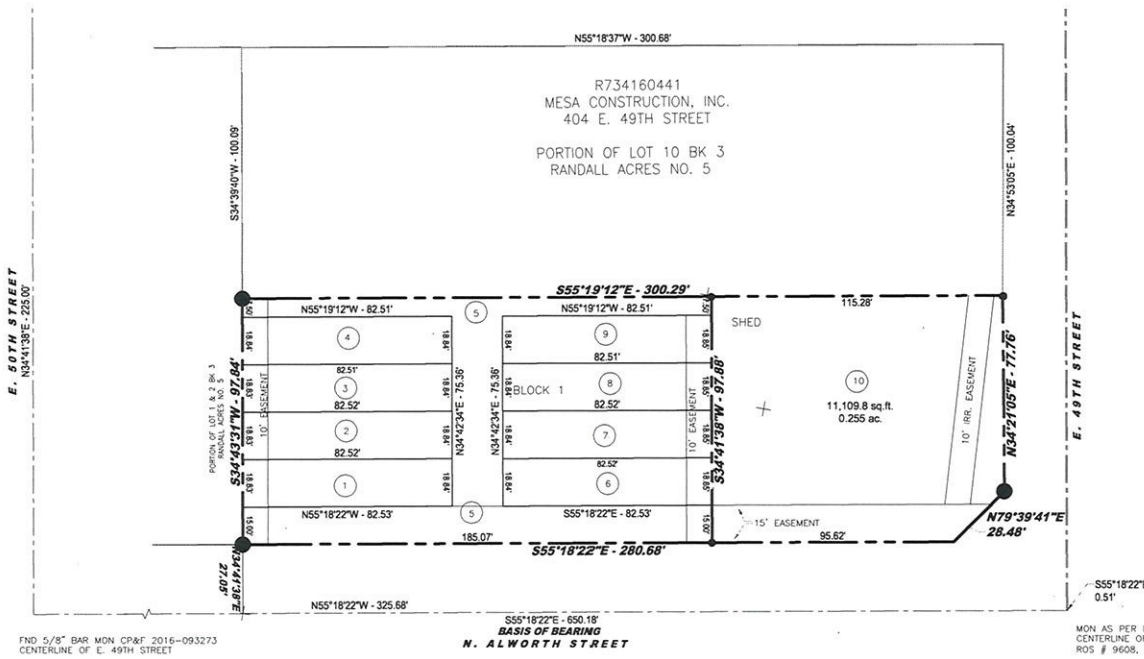
Index No. 311-02-2-0-04-193

Prepared by:
Sharp & Smith, Inc.
 Engineers & Surveyors

327 N. 27th St. Boise, ID 83702
 Date: SEPTEMBER 14, 2021 Job No.2021-0554



RIVER ROCK TOWN HOMES
 RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5
 SITUATED IN THE NORTHWEST ¼ OF THE NORTHEAST ¼ SECTION 31, T4N R2E, B.M.
 GARDEN CITY, ADA COUNTY, IDAHO
 2021



NARRATIVE:
 THE PURPOSE FOR THIS PLAT IS TO CREATE 10 LOTS RESIDENTIAL LOTS OUT OF LOT 11 BLOCK 3 RANDALL ACRES NO. 5 ALL BUT ONE OF THE CORNER MONUMENTS WERE RECOVERED, THE SINGLE BAR NOT FOUND IS WITHIN THE IRRIGATION BOX ON THE CORNER OF N. ALWORTH AND 49TH STREET.

11/14/21

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENT THAT THE UNDERSIGNED IS THE OWNERS OF THE REAL PARCEL OF LAND HEREIN AFTER DESCRIBED AND THAT IT IS HIS INTENTION TO INCLUDE SAID PROPERTY IN THIS SUBDIVISION PLAT.

A PARCEL OF LAND LYING IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 31 TOWNSHIP 4 NORTH RANGE 2 EAST BOISE MERIDIAN, ADA COUNTY, IDAHO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND IRON MONUMENT REPRESENTING THE CENTERLINE INTERSECTION OF N. ALWORTH STREET AND E. 49TH STREET, THENCE ALONG THE CENTERLINE OF N. ALWORTH STREET, N55°18'22"W (BASIS OF BEARING CENTERLINE OF N. ALWORTH STREET) A DISTANCE OF 325.68 FEET; THENCE N34°41'38"E A DISTANCE OF 27.05 FEET TO A FOUND IRON PIN ON THE NEW NORTHERLY RIGHT OF WAY LINE OF N. ALWORTH STREET AS PER INSTRUMENT NUMBER 103037288 RECORDS OF ADA COUNTY AND THE REAL POINT OF BEGINNING;

THENCE ALONG THE WESTERLY LINE OF LOT 11 BLOCK 3 RANDALL ACRES SUBDIVISION NUMBER 5, N34°43'31" E A DISTANCE OF 97.84 FEET TO AN IRON PIN MARKING THE NORTHWEST CORNER OF SAID LOT 11;

THENCE ALONG THE NORTHERLY LINE OF LOT 11, S55°19'12"E A DISTANCE OF 300.29 FEET TO THE NORTHEAST CORNER OF LOT 11 AND THE WESTERLY RIGHT OF WAY LINE OF E. 49TH STREET;

THENCE ALONG THE WESTERLY RIGHT OF WAY LINE, S34°21'05"W A DISTANCE OF 77.76 FEET;

THENCE S79°39'41"W A DISTANCE OF 28.48 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE FOR N. ALWORTH STREET;

THENCE ALONG SAID RIGHT OF WAY LINE, N°55'18'22"W A DISTANCE OF 280.68 FEET AND BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS SOME 0.67 ACRES, MORE OR LESS.

THE EASEMENTS AS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC. HOWEVER THE RIGHT TO USE SAID EASEMENTS ARE PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND FOR ANY OTHER USES AS DESIGNATED HEREON, AND NO PERMANENT STRUCTURES ARE TO BE ERECTED WITHIN THE LINES OF SAID EASEMENTS. EACH LOT IS TO BE SERVED BY AN INDIVIDUAL WELL.

NAME _____ OWNER

NAME _____ DEVELOPER

ACKNOWLEDGMENT

STATE OF IDAHO
COUNTY OF ADA

ON THIS DAY OF _____, 2021, BEFORE ME, _____, A NOTARY PUBLIC, PERSONALLY APPEARED _____ OWNERS OF REAL PROPERTY AND _____ DEVELOPER OR IDENTIFIED TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

NOTARY PUBLIC FOR IDAHO _____

MY COMMISSION EXPIRES: _____

RIVER ROCK TOWN HOMES
RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5
SITUATED IN THE NORTHWEST ¼ OF THE NORTHEAST 1/4 SECTION 31, T4N R2E, B.M.
GARDEN CITY, ADA COUNTY, IDAHO
2021

RECORD OF SURVEY No. _____

CERTIFICATE OF SURVEYOR:

I, JOHN W. SHARP, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND REPRESENTS THE PARCELS OF LAND MAPPED HEREON AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

John W. Sharp
JOHN W. SHARP PLS 4725
4725
STATE OF IDAHO
2/14/21

APPROVAL OF ADA HIGHWAY DISTRICT

ADA HIGHWAY DISTRICT DOES HEREBY ACCEPT THIS PLAT, AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF I.C. § 50-1312. PRIVATE STREETS DEPICTED ON THIS PLAT ARE NOT MAINTAINED BY OR UNDER THE JURISDICTION OF THE HIGHWAY DISTRICT. THERE IS NO LEGAL OBLIGATION OR ASSURANCES THAT THE PRIVATE STREETS WILL BE ACCEPTED AS PUBLIC STREETS IN THE FUTURE.

Chairman _____ Date _____

APPROVAL OF CENTRAL DISTRICT HEALTH

SANITARY RESTRICTION AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

HEALTH DISTRICT SIGNATURE _____
DATE _____

CERTIFICATE OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK FOR THE CITY OF GARDEN CITY, ADA COUNTY IDAHO, DO HEREBY CERTIFY THAT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE _____ DAY OF _____, THIS PLAT WAS DULY ACCEPTED AND APPROVED.

GARDEN CITY CLERK _____ DATE _____

CERTIFICATE OF COUNTY RECORDER:

INSTRUMENT NO. _____

STATE OF IDAHO) SS
COUNTY OF ADA)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF _____ AT _____ MINUTES PAST _____ O'CLOCK _____ M., THIS _____ DAY OF _____, A.D. 2021 IN MY OFFICE AND WAS DULY RECORDED AS BOOK _____ OF PLATS AT PAGES _____ THROUGH _____.

INSTRUMENT NUMBER _____

DEPUTY RECORDER _____ EX-OFFICIO RECORDER _____

FEE _____

CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

COUNTY TREASURER _____ DATE _____

CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR ADA COUNTY, HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.
COUNTY SURVEYOR _____

CERTIFICATE OF CITY ENGINEER

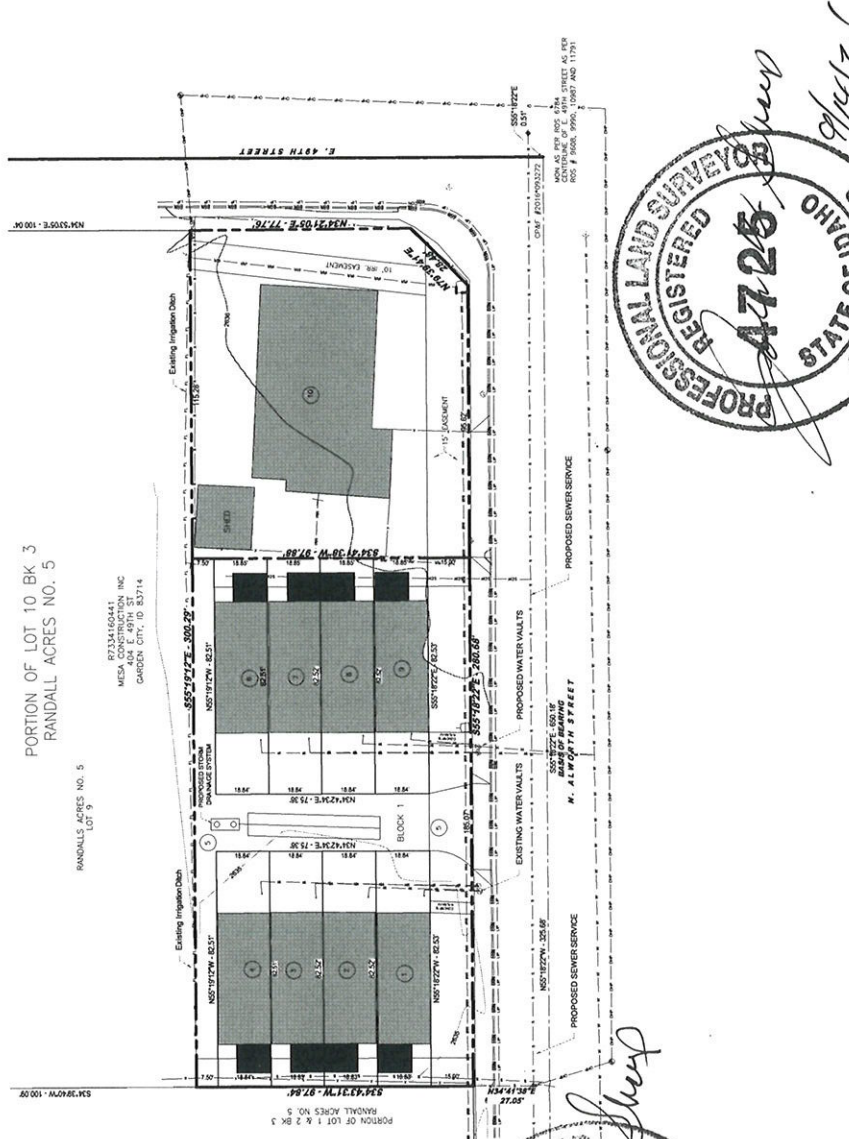
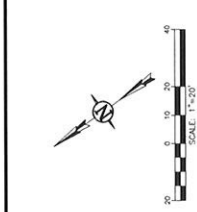
I, THE UNDERSIGNED, AM I AM THE CITY ENGINEER FOR THE CITY OF GARDEN CITY, ADA COUNTY, IDAHO, AND HEREBY APPROVE THIS RECORD OF SURVEY AND THAT IT IN CONFORMANCE WITH THE GARDEN CITY CODE.

ACTING GARDEN CITY ENGINEER _____ DATE _____

Index No. 311-02-2-2-0-4-183

Prepared by:
Sharp & Smith, Inc.
Engineers & Surveyors
327 N. 27th St. Boise, ID 83702
Date: February 22, 2016 Job No. 2016-0487

PRELIMINARY PLAT
 FOR
RIVER ROCK TOWN HOMES
 RESUBDIVISION OF LOT 11 OF BLOCK 3 RANDALL ACRES SUBDIVISION NO. 5
 SITUATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 SECTION 31, T4N R2E, B.M.
 GARDEN CITY, ADA COUNTY, IDAHO
 2021



- NOTES:**
1. THE PROPERTY IS CURRENTLY ZONED R-3.
 2. THERE ARE NO POTENTIALLY HAZARDOUS AREAS.
 3. THERE ARE NO STREAMS, PONDS OR WETLANDS ON THIS PROPERTY.
 4. THERE ARE NO NATURAL DRAINAGE SWALES ON THIS PROPERTY.
 5. THIS PROPERTY IS LOCATED IN FEMA ZONE 'X' FIRM PANEL 16001016A.
 6. THERE ARE NO UNSTABLE ROCK FORMATIONS, OR LANDSLIDES ON THIS PROPERTY.
 7. THIS PROPERTY IS NOT AN AQUIFER RECHARGE AREA.
 8. SANITARY SEWER SERVICE IS TO BE PROVIDED BY THE CITY OF GARDEN CITY.
 9. POTABLE WATER IS TO BE PROVIDED BY THE CITY OF GARDEN CITY.
 10. PROPERTY IS WITHIN THE NORTH ADA COUNTY FIRE PROTECTION DISTRICT.
 11. AN IRRIGATION PIPE LIES ALONG THE SOUTH BOUNDARY OF THE PROPERTY AND ACROSS THE EASTERLY SIDE OF THE PROPERTY.
 12. EXISTING PROPERTY HAS A SINGLE FAMILY DWELLING AND VACANT ON THE WEST SIDE OF THE PROPERTY.
 13. COMMON AREAS SHOWN HEREON SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 14. THE DEVELOPMENT ANTICIPATES USING SUBSURFACE IRRIGATION FOR THE PROPERTY. WATER GENERATED FROM THIS DEVELOPMENT.
 15. PUBLIC UTILITIES ARE TO BE PROVIDED FROM THE PUBLIC UTILITY PROVIDERS FROM ANNE TRENCH AND LOCATIONS TO BE DETERMINED DURING THE CONSTRUCTION APPROVAL PHASE.

- LEGEND**
- FOUND 5/8" REBAR
 - HUB & TACK
 - RIGHT OF WAY MONUMENT
 - DROP INLET
 - ELECTRICAL BOX
 - GAS VALVE
 - WATER METER
 - POWER POLE
 - PIPE INVERT
 - SANITARY SEWER MANHOLE
 - ADJONER
 - BOUNDARY LINE
 - CONTINUE
 - EDGE OF CONCRETE
 - EDGE OF GRAVEL
 - EDGE OF PAVEMENT
 - FENCE LINE
 - FLOW LINE
 - IRRIGATION LINE
 - OVERHEAD POWER
 - SANITARY SEWER LINE
 - SIDEWALK
 - WATERLINE

Land Use Calculations

DESCRIPTION	TAXABLE PERCENTAGE
RESIDENTIAL LOTS	100%
COMMON LOTS	10.33%
RESIDENTIAL LOTS	9
RESIDENTIAL LOTS	9

SETBACKS TABLE

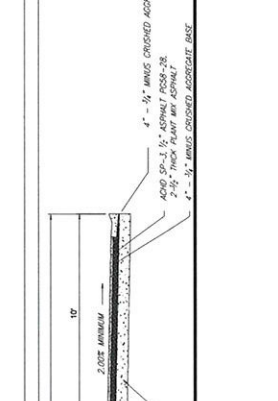
PERMITTED USE	FRONT	REAR	SIDE
RESIDENTIAL LOTS	10	10	10
COMMON LOTS	10	10	10
RESIDENTIAL LOTS	10	10	10
COMMON LOTS	10	10	10

Underground Utility Note
 The underground utilities shown have been located by the surveyor. The surveyor does not warrant the accuracy of the utility locations shown on this plat. The surveyor is not responsible for the accuracy of the utility locations shown on this plat. The surveyor is not responsible for the accuracy of the utility locations shown on this plat. The surveyor is not responsible for the accuracy of the utility locations shown on this plat.

REVISIONS

NO.	DATE	BY	DESCRIPTION
1			
2			

Professional Engineer Seal:
 PROFESSIONAL ENGINEER
 LICENSED
 STATE OF IDAHO
 8725
 M. SHARP
 W. SHARP
 9/14/21



Client:
 River Rock Homes, LLC
 400 E. 50TH ST.
 GARDEN CITY, IDAHO 83714

Engineer/Janet Shaver:
 M. SHARP
 W. SHARP
 400 E. 50TH ST.
 GARDEN CITY, IDAHO 83714

Applicant:
 River Rock Homes, LLC
 400 E. 50TH ST.
 GARDEN CITY, IDAHO 83714



**Garden City Planning
6015 Glenwood Street
Garden City, Idaho 83714**

September 24, 2021

Subject: PUD and Land Division Application – River Rock Town Homes Waiver Letter

Council and Staff:

This letter is to provide information regarding waiver requests for the PUD application for River Rock Townhomes located at 4900 Alworth Street, Garden City. I am requesting waivers for the following items:

Item 1 - Pressure Irrigation

The applicant is requesting that the applicable section of the Garden City Code that relates to requirements upon the proposed development for pressure irrigation be waived.

The pressure irrigation requirements would provide negligible benefit to the small number of residents in this development compared to the substantial cost of the pressurized irrigation system. This is particularly the case considering the small amount of irrigable land. City Code Section 8-5A-5.H.3.d states:

8-5A-5.H.3: Waiver Of Requirements: The requirement for installation of a pressurized irrigation system in all new residential developments may be waived by the city engineer when the applicant has established that any of the following situations exist:

....d. Where the requirements to provide a pressurized irrigation system may be waived by the city engineer when the city engineer finds that due to the specific circumstances

*surrounding a new subdivision, the cost of obtaining water rights, reestablishing water rights or developing the system would impose an undue economic hardship on the applicant. Undue economic hardship may be demonstrated if the cost per lot to develop the pressurized irrigation system is twenty-five percent (25%) higher than the cost per lot to serve subdivisions of similar size and density constructed in Garden City within the previous two (2) years; or **that the cost per lot of the pressurized irrigation system would exceed five percent (5%) of the expected per lot market value of the subdivision.** The applicant shall bear the burden of providing documentation, acceptable to the city engineer, demonstrating and supporting the estimated costs of construction of the pressurized irrigation system and the expected market value of the subdivision lots. For phased developments, costs will be analyzed over all phases of the development rather than the first phase only.*

There is an existing active lateral irrigation ditch that resides along the North property line, and tiled irrigation main along the south. In compliance with Idaho Code, every lot within the development has access to the gravity irrigation water available in this ditch.

However, the cost of providing an on-demand functional pressure irrigation system using surface water is too high. The city code notes that if “the cost per lot of the pressurized irrigation system would exceed five percent (5%) of the expected per lot market value of the subdivision”, a pressure irrigation waiver could be approved. We note the following minimum expected costs that would normally occur to develop an on-demand pressure irrigation system:

- Installation of a small variable speed pump and its controls: \$30,000.00
- Installation of the power to the pump: \$3,000.00
- Pump housing vault and filter screens: \$4,000.00
- Pipeline delivery system to each parcel: \$1,000.00
- Total system cost for eight parcels: \$38,000.00
- Total system cost per lot: \$4,755.00
- Estimated value of each lot (per the most current Ada County Assessor land values for Fifty First Street Townhomes as similar parcels): \$50,000.00
- 5% of parcel market value: \$2,500.00
- Cost per parcel for pressure irrigation system per above: \$4,125.00

The estimated cost of the pressure irrigation system is well over 5% of the expected market value of the parcels (it is 8.3% of the value).

Moreover, the long-term maintenance duty and operation costs of a pressurized irrigation system for a smaller development with very little landscape area is not a reasonable burden to place upon the project and eventual homeowners.

We believe a waiver of the pressure irrigation requirement, based upon system cost, of the Garden City Code is reasonable to grant for River Rock Townhomes Subdivision. We respectfully request that the City Engineer review the information presented above and make such a finding.

Item 2 – Lighting

There is no street lighting on Alworth between 50th and 49th street. We see no need for lighting in this area and have not included any lighting in our design.

Thank you for your consideration.

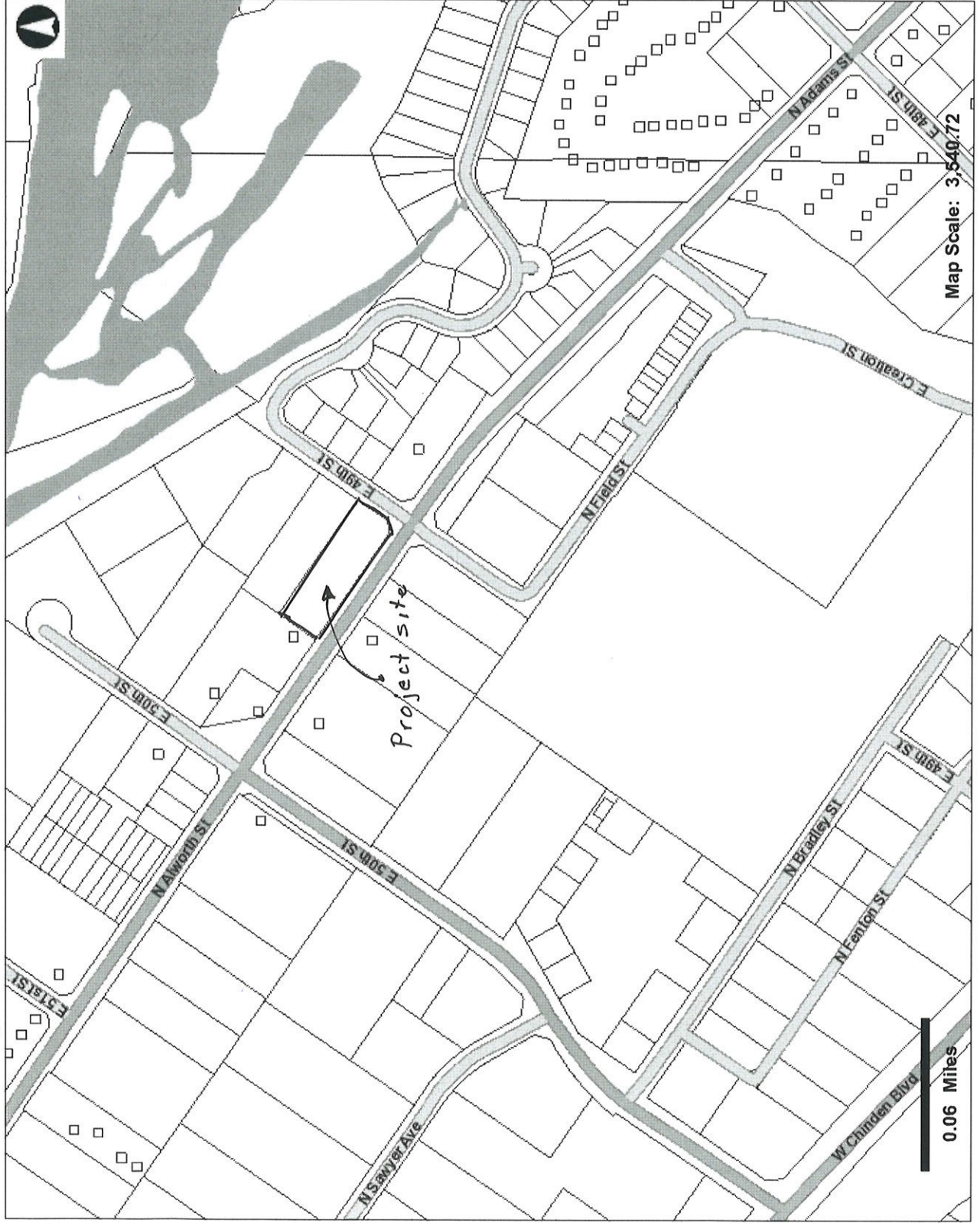
Kind regards,



Craig Kulchak
RCK Consultant

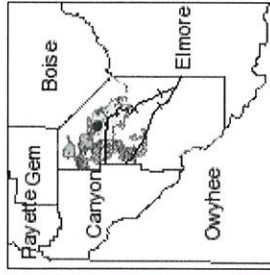
Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



Map Scale: 3,540.72

0.06 Miles



Legend

- ⊕ Railroad
- Roads (2,000 - 4,000 s)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
 - Parks
 - Alley
 - Driveway
- Parks
- Water
- Condos
- Parcels

9/2/2021

Created for: j.sharp@sitestar.net

2021-02-23 12:59:22

Property Owner(s): Page, Frank D, Page, Dicksie L

Property Address: 4900 N Alworth St, Garden City, ID

Enclosed Information: WD:103037288 (2003), WD:97029599 (1997)

LOCATIONS

BOISE, CORP. HEADQUARTERS
8151 West Rifleman Street
Boise, ID 83704
Tel. (208) 377-2700
Fax (208) 373-3610
Serving Ada, Boise, Blaine &
Twin Falls Counties

BOISE, DOWNTOWN
1414 W. Bannock Street
Boise, ID 83702
Tel. (208) 373-3744
Fax (208) 384-9936
Serving Ada, Boise, Blaine &
Twin Falls Counties

EAGLE, ID
775 S. Rivershore Ln., Suite 120
Eagle, ID 83616
Tel. (208) 938-8075
Fax (208) 938-8073
Serving Ada, Boise, Blaine &
Twin Falls Counties

MERIDIAN, ID
1872 South Eagle Road
Meridian, ID 83642
Tel. (208) 888-7230
Fax (208) 888-7260
Serving Ada, Boise, Blaine &
Twin Falls Counties

NAMPA, DOWNTOWN
100 10th Avenue South
Nampa, ID 83651
Tel. (208) 466-6100
Fax (208) 465-3248
Serving Canyon, Owyhee,
Blaine & Twin Falls Counties

NAMPA, IDAHO CENTER
5680 E. Franklin Rd., Suite 150
Nampa, ID 83687
Tel. (208) 465-6655
Fax (208) 465-6556
Serving Canyon, Owyhee,
Blaine & Twin Falls Counties

CALDWELL, ID
610 S. Kimball Ave.
Caldwell, ID
Tel. (208) 459-1651
Fax (208) 459-6635
Serving Canyon, Owyhee,
Blaine & Twin Falls Counties

EMMETT, ID
1500 S. Washington Ave.
Suite B
Emmett, ID 83617
Tel. (208) 365-5343
Fax (208) 365-3650
Serving Gem County

FRUITLAND, ID
139 N. Whitley Drive
Fruitland, ID 83619
Tel. (208) 452-7500
Fax (208) 361-5597
Serving Payette County

COEUR D'ALENE, ID
100 E. Wallace Ave.
Coeur d'Alene, ID 83814
Tel. (208) 664-8254
Fax (208) 664-9479
Serving Kootenai County

POCATELLO, ID
135 N. Arthur Ave.
Pocatello, ID 83204
Tel. (208) 233-9595
Fax (208) 234-0621
Serving Bannock
& Power Counties

IDAHO FALLS, ID
1655 Elk Creek Dr., Suite 100
Idaho Falls, ID
Tel. (208) 542-0040
Fax (208) 542-0080
Serving Bonneville County

KETCHUM, ID
491 N. Main St., Suite 102
Ketchum, ID 83340
Tel. (208) 726-6954
Fax (208) 726-6991
Serving Blaine County

DAVENPORT, WA
403 Logan Street / PO BOX 309
Davenport, WA 99122
Tel. (509) 725-3161
Fax (509) 725-0680
Serving Lincoln County

PULLMAN, WA
840 SE Bishop Blvd., Suite 102
Pullman, WA 99163
Tel. (509) 334-2210
Fax (509) 332-2086
Serving Whitman County

ACHD Project No. 52180
Adams Street, Glenwood to Veterans Parkway

R/W Parcel No. 28
T4N, R2E, Section 31

00088099

ADA COUNTY RECORDER J. DAVID NAVARRO

BOISE IDAHO 03/07/03 11:46 AM

DEPUTY Michelle Turner

RECORDED - REQUEST OF

Alliance Title

AMOUNT 12.00



103037288

(Reserved for Ada County Recorder)

WARRANTY DEED

THIS INDENTURE, made this 19th day of August, 2002, **FRANK PAGE and DICKSIE PAGE, husband and wife**, the "GRANTOR", and ADA COUNTY HIGHWAY DISTRICT, a body politic and corporate of the State of Idaho, the "GRANTEE";

WITNESSETH:

FOR VALUE RECEIVED, the GRANTOR has granted, conveyed, bargained and sold, and does hereby grant, bargain, sell, convey and confirm to the GRANTEE and its successors and assigns forever, that certain real property situated in the COUNTY OF ADA, STATE OF IDAHO, more particularly described on Exhibit "A" attached hereto and by this reference made a part hereof,

TOGETHER with all and singular the buildings, structures, improvements and fixtures thereto, the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, the reversion and reversions, remainder and remainders, and rents, issues and profits thereof (the "Premises").

Subject to those exceptions to GRANTOR's title as are set forth on Exhibit "B" attached hereto and by this reference made a part hereof.

SUBJECT TO those exceptions to title to which this conveyance is expressly made subject and those made, suffered or done by the GRANTEE: (a) the GRANTOR covenants to the GRANTEE, its successors and assigns, that the GRANTEE shall enjoy the quiet and peaceful possession of the Premises; and (b) GRANTOR warrants to the GRANTEE, its successors and assigns, that GRANTOR is the owner of said Premises in fee simple and has the right and authority to convey the same to GRANTEE, and GRANTOR will defend the GRANTEE's title from all lawful claims whatsoever.

The current address of the GRANTEE is:

Ada County Highway District
318 East 37th Street
Garden, Idaho 83714-6499

IN WITNESS WHEREOF, this WARRANTY DEED has been duly executed by the GRANTOR, the day, month and year herein first above written.

Frank Page
Frank Page

Dicksie Page
Dicksie Page

STATE OF IDAHO)
) ss.
County of Ada)

On this 19 day of August, 2002, before me, Lawrence Rincover, a Notary Public in and for the State of Idaho, personally appeared Frank Page and Dicksie Page, known or proved to me to be the persons who executed the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Lawrence Rincover
Notary Public for Idaho
Residing at Burset Idaho
My commission expires 4/2/05



ACHD No. 52180.0

Ada County Highway District
Adams Street, Glenwood to
Veterans Parkway

Parcel No. 28

Frank Page and Dicksie Page,
husband and wife
Required 0.018 Acres

Exhibit "A"

**Description for Fee Title
(Amended November 30, 2001)**

Parcel 28

A parcel of land for a permanent easement coincident with the Northeasterly right-of-way of Alworth Street, said parcel being a portion of the Southwest Quarter of the Northeast Quarter (SW 1/4, NE 1/4) and Northwest Quarter of the Northeast Quarter (NW 1/4, NE 1/4) of Section 31, Township 4 North, Range 2 East, Boise Meridian, Ada County, Idaho, said parcel also being a portion of Lot 11, in Block 3, of Randall Acres Subdivision No. 5, according to the official plat thereof, filed in Book 12 of Plats at page 725, records of Ada County, Idaho, and more particularly described as follows:

Commencing at a found iron monument representing the centerline intersection of Alworth Street and East 49th Street; thence along the centerline of Alworth Street, North 55°44'32" West, 25.00 feet, to a point; thence leaving said centerline, North 34°15'28" East, 25.00 feet, to a point at the intersection of the Northeasterly right-of-way line of Alworth Street and the Northwesterly right-of-way line of East 49th Street, said point also being 25.00 feet left of Adams Street Project Centerline Station 54+91.88, and the **POINT OF BEGINNING**;

thence along the Northeasterly right-of-way line of Alworth Street, North 55°44'32" West, 300.41 feet;

thence North 34°15'28" East, 2.00 feet;

thence South 55°44'32" East, 280.41 feet;

thence North 79°15'24" East, 28.28 feet, to a point on the Northwesterly right-of-way line of East 49th Street;

thence continuing along said right-of-way line, South 34°15'28" West, 22.00 feet, to a point on the Northeasterly right-of-way line of Alworth Street, to the **POINT OF BEGINNING**.

Containing 801 square feet or 0.018 acres, more or less.

Prepared by CH2MHILL, August 2001
Revised November 2001
PLS 8024
152729.D1.42



ACHD Project No. 52180
Adams Street, Glenwood to Veterans Parkway
RW Parcel No. 28
T4N, R2E, Section 31

Exhibit "B"

SCHEDULE B -- SECTION 2

ALLIANCE TITLE & ESCROW
Order number: 00088099 KAS

EXCEPTIONS:

1. General taxes for the year 2002, a Lien but not yet due and payable.
2. Easements, Reservations, Restrictions, Designations and Dedications, as shown on the Official Plat of said Subdivision.
3. Covenants, Conditions and Restrictions but omitting any covenant or restriction based on race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons as set forth in the document.
Recorded FEBRUARY 28, 1949
Instrument No. 284319

END OF SCHEDULE B -- SECTION 2

P15164776k1P

97029599

WARRANTY DEED

FOR VALUE RECEIVED

LEE LANE and THELMA LANE, Husband and wife

the Grantor s , do hereby grant, bargain, sell and convey unto

FRANK PAGE and DICKSIE PAGE, husband and wife

the Grantee s , whose address is

the following described premises, to-wit:

Lot 11 in Block 3 of Randa11 Acres Subdivision No. 5, according to the plat thereof, filed in Book 12 of plats at page 725, records of Ada County, Idaho.

BOISE ID. PIONEER TITLE

'97 APR 17 PM 2 42

FEE 3.00
RECORDED AT THE REQUEST OF *Dick Hall*

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee s , their heirs and assigns forever. And the said Grantors do hereby covenant to and with the said Grantees , that they are the owner in fee simple of said premises; that said premises are free from all encumbrances Except reservations of record, easements of record, general taxes and irrigation assessments for the year 1979 which are not yet due and payable.

and that they will warrant and defend the same from all lawful claims whatsoever.

Dated: 11-28-79

Lee Lane
LEE LANE

Thelma Lane
THELMA LANE

STATE OF IDAHO, COUNTY OF Ada

On this 28th day of November , 1979 , before me, a notary public, in and for said State, personally appeared

LEE LANE and THELMA LANE

known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.



Notary Public
Residing at Boise , Idaho
Comm. Expires 11-28-82

STATE OF IDAHO, COUNTY OF
I hereby certify that this instrument was filed for record at the request of

at this 19 minutes past day of o'clock m., in my office, and duly recorded in Book of Deeds at page

Ex-Officio Recorder

By Deputy.

Fees \$
Mail to:



PIONEER TITLE COMPANY
OF ADA COUNTY
1110 W. Jefferson St.
Boise, Idaho 83702 - 208 336-6700
Representing Pioneer National Title Insurance

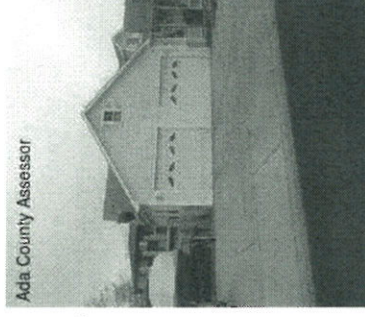
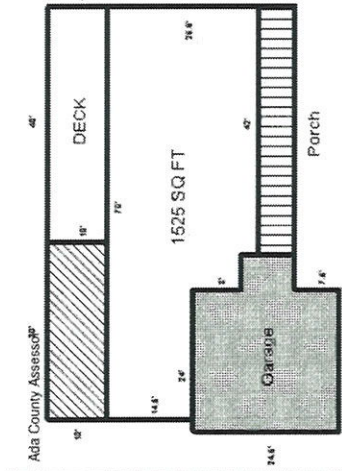
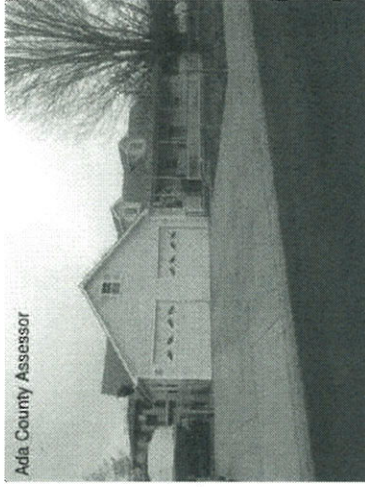
Report

R7334160451



Owner Information

County Ada
Parcel [R7334160451](#)
Property Address 4900 N ALWORTH ST
Property City GARDEN CITY, ID 83714-0000
Primary Owner PAGE FRANK D
Second Owner PAGE DICKSIE L
Owner Address 4900 N ALWORTH ST
Owner City GARDEN CITY, ID 83714-0000
URL [Source Web Page](#)



Parcel Information

State	ID	Acres	0.671	Acres - Calculated	0.67
Total Value	\$317,100	Home Exemption	-100000	Zoning	R-3
Subdivision	RANDALL ACRES SUB NO 05	Section	-	Property Year	2021
Code Area	06-1	Property Code	R	Legal 1	LOT 11 BLK 03 EXC R/W
Legal 2	RANDALL ACRES SUB NO 05	Legal 3	#0400-B	Legal 4	-
Legal 5	-	Date Updated	2021-02-24		

> Subdivision

- > Land Characteristics
- > Residential Characteristics
- > Tax Data - Characteristics Value
- > Tax Data - Characteristics Value
- > Taxing Districts
- > Assessor Valuation
- > Tax History
- > Tracked History
- > Valuation History
- > Parcel Changes
- > Intersecting Historical Parcels
- > Intersecting Created Parcels
- > Related Building Permits - 1 Total
- > News - Public - 28 Total
- > News - Permits - 6 Total
- > Related Parties - 1 Total

Data not verified by landproDATA



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

- DOVER WHITE (SW 6385)
- AGREEABLE GRAY (SW 7029)
- CYBER SPACE (SW 7076)
- ECHO RIDGE ALPINE LEDGESTONE BY CULTURED STONE
- NATURAL WOOD
- WHITE VINYL FENCE



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Robb Vavold
Po Box 972
Caldwell, Idaho 83606
(208) 250-3511
RVavold@gmail.com



**BUILDING "A"
FRONT/REAR
ELEVATIONS**

**Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687**

REV.	DESCRIPTION	DATE	BY

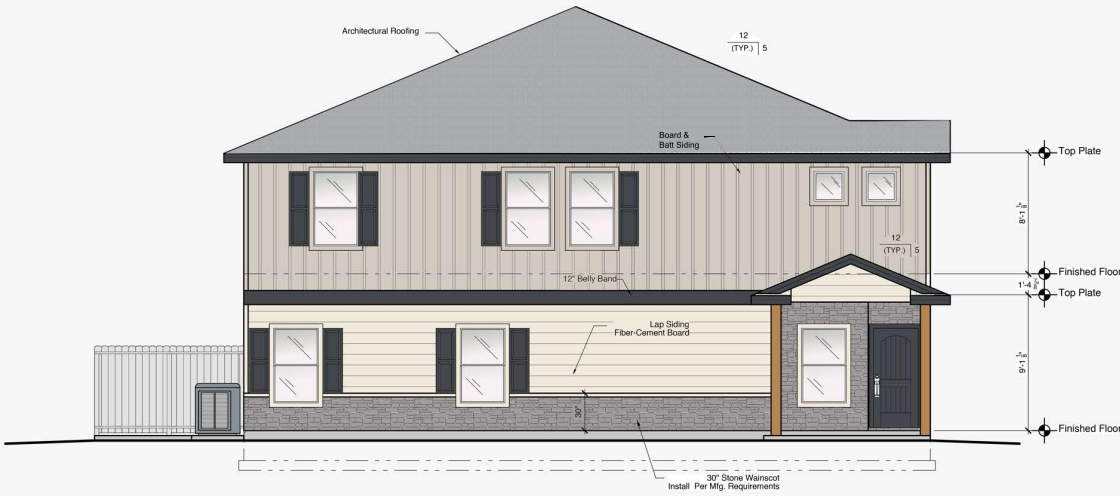
DRAWN BY: ROBB VAVOLD
PROJECT:
**4PLEX
N. ALWORTH ST
GARDEN CITY, ID.**

DATE: August 6, 2021

SCALE:

SHEET:

A4-A



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

- DOVER WHITE (SW 6385)
- AGREEABLE GRAY (SW 7029)
- CYBER SPACE (SW 7076)
- ECHO RIDGE ALPINE LEDGESTONE BY CULTURED STONE
- NATURAL WOOD
- WHITE VINYL FENCE

VAVOLD DESIGN
RESIDENTIAL HOME DESIGN & DRAFTING

**BUILDING "A"
SIDE
ELEVATIONS**

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

REV.	DESCRIPTION	DATE	BY

DRAWN BY: ROBB VAVOLD

PROJECT:
**4PLEX
N. ALWORTH ST
GARDEN CITY, ID.**

DATE: August 6, 2021

SCALE: Noted







SHEET:
A5-A

Robb Vavold
Po Box 972
Caldwell, Idaho 83606
(208) 250-3511
RVavold@gmail.com



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

-  DOVER WHITE (SW 6385)
-  AGREEABLE GRAY (SW 7029)
-  CYBER SPACE (SW 7076)
-  ECHO RIDGE ALPINE LEDGESTONE BY CULTURED STONE
-  NATURAL WOOD
-  WHITE VINYL FENCE



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Robb Vavold
Po Box 972
Caldwell, Idaho 83806
(208) 250-3511
RVavold@gmail.com



**BUILDING "B"
FRONT/REAR
ELEVATIONS**

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

REV.	DESCRIPTION	DATE	BY

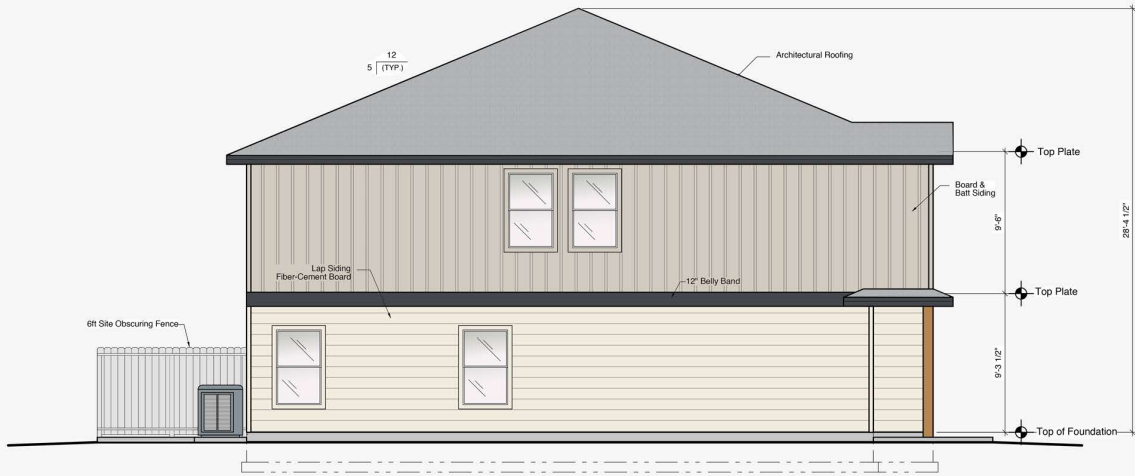
DRAWN BY: ROBB VAVOLD
PROJECT:
**4PLEX
N. ALWORTH ST
GARDEN CITY, ID.**

DATE: August 6, 2021

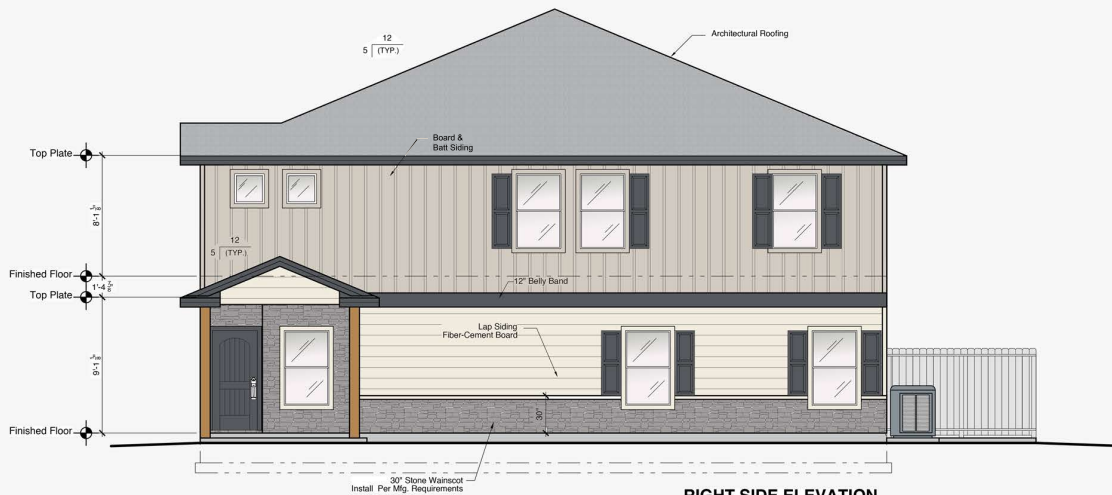
SCALE:

SHEET:

A4-B



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

- DOVER WHITE (SW 6385)
- AGREEABLE GRAY (SW 7029)
- CYBER SPACE (SW 7076)
- ECHO RIDGE ALPINE LEDGESTONE BY CULTURED STONE
- NATURAL WOOD
- WHITE VINYL FENCE

Robb Vavold
Po Box 972
Caldwell, Idaho 83806
(208) 250-3511
RVavold@gmail.com

VAVOLD DESIGN
RESIDENTIAL HOME DESIGN & DRAFTING



**BUILDING "B"
SIDE
ELEVATIONS**

Pineview Development LLC
16887 N. Thurgood Loop
Nampa, Id. 83687

NO.	DESCRIPTION	DATE	BY

DRAWN BY: ROBB VAVOLD
PROJECT: **4PLEX**
N. ALWORTH ST
GARDEN CITY, ID.

DATE: August 6, 2021

SCALE: Noted

SHEET:

A5-B