

BERKELEY COUNTY GOVERNMENT
BOARD OF ZONING APPEALS AGENDA
JULY 19, 2022

Berkeley County Administration Building
1003 Highway 52, Moncks Corner, SC 29461

6:00 PM



BERKELEY
— COUNTY —
SOUTH CAROLINA

Chairman

Richard Smith

Vice Chairman

Joseph Shirah

Board Member

Harold Jefferson

Board Member

Jim Mills

Board Member

Billy Joy

Board Member

Jeff Kerns

Board Member

Matthew Smith

Board Member

Todd Crawford

In accordance with the Freedom of Information Act, the electronic and print media were duly notified.

ELECTRONIC PARTICIPATION AUTHORIZED

- 1. Call to Order**
- 2. Invocation and Pledge of Allegiance to the Flag of the United States of America**
- 3. Consideration of Minutes**

3.A Board of Zoning Appeals - Minutes from June 21, 2022
[2022_0621_BZA - Minutes.docx](#)

4. Requests for Variance

4.A TMS#: 071-00-02-070. Request from William Easterly II for a variance to §6.4.5 to construct an accessory structure that exceeds 65% of the size of the principal classification and §6.4.11 to place it in front of the principal dwelling at/near 1151 Walter Road in the Bonneau community. (PLVA 042513-2022)

[APPLICATION FOR VARIANCE.PDF](#)
[PLAT OF RECORD.pdf](#)
[EXISTING GARAGE.pdf](#)
[SITE PLAN \(NEW GARAGE\).pdf](#)
[NEW GARAGE PLAN,PHOTOS.pdf](#)
[30x20 Enclosed Building Rev-1.pdf](#)
[NEIGHBOR SUPPORT LETTER \(1\).pdf](#)
[NEIGHBOR SUPPORT LETTER \(2\).pdf](#)
[NEIGHBOR SUPPORT LETTER \(3\).pdf](#)
[NEIGHBOR SUPPORT LETTER \(4\).pdf](#)
[Aerial.pdf](#)
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4.B TMS#: 197-00-01-034. Request from Renfroe Outdoor LLC C/O Jacob Barker on behalf of North of Charleston LLC for a variance to §18.10 for relief of the locational requirements for an intended off-premises sign (Billboard) at/near 2690 Hwy 52 in near the Foxbank community. (PLVA 042662-2022)

[Application.pdf](#)
[Letter.pdf](#)
[Relevant Factors Pertaining to the Variance Application.pdf](#)
[2688 US 52 Location Exhibit.pdf](#)
[Aerial.pdf](#)
[Article18.10_Off_Premise_Signs.pdf](#)
[Buffer_Analysis_Billboard.pdf](#)
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4.C TMS#: 211-15-02-193. Request from Larry Krause for a variance to the Spring Grove Planned Development District (Ord# 14-04-06) for relief of primary structure setback requirements for an intended home addition at/near 204 Goshen Road in the Spring Grove Gables community. (PLVA 042618-2022)

[Application Krause.pdf](#)
[Plat.pdf](#)
[Proposal.pdf](#)
[Photo of patio.pdf](#)

[GIS maps.pdf](#)
[Aerial.pdf](#)
[s_d_plat.pdf](#)
[PDMU Spring Grove-dim standards.pdf](#)
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- 4.D TMS#: 226-00-00-001. Request from Carver Maritime on behalf of DUPONT SPECIALTY PRODUCTS USA LLC for a variance to §7.5.5(D) for relief of the screening requirements for outdoor storage at/near 3300 Cypress Gardens Rd and 1001 Dupont Way in the Bushy Park vicinity. (PLVA 042646-2022)
[Application.pdf](#)
[Plat T-55.tif](#)
[crvr00322-Parking Lot Site Plan-SP1.pdf](#)
[Storage lot vegetation photo legend.pdf](#)
[Aerial.pdf](#)
[CarverZoningMap.pdf](#)
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- 4.E TMS#: 232-00-02-190. Request from Robert Simmons on behalf of 3 W REAL ESTATE LLC for a variance to §17.7 and §7.4.5(C)(3)(c) for relief of bufferyard and screening requirements at/near 155 Royle Rd in the Ladson community. (PLVA 042661-2022)
[Application.pdf](#)
[Plat 1.pdf](#)
[Plat 2.pdf](#)
[Plan.pdf](#)
[Photos.pdf](#)
[Aerial from application.pdf](#)
[SITEPLANSHEET.pdf](#)
[Aerial.pdf](#)
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- 4.F TMS#: 244-14-01-033. Request from Robert Ashton for a variance to §5.1.9 for relief of primary structure setback requirements for a home addition at/near 1 Wilson Street in the Goose Creek community. (PLVA 042567-2022)
[Application.pdf](#)
[Plats.pdf](#)
[Plan.pdf](#)
[Aerial.pdf](#)
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- 4.G TMS#: 271-03-02-030. Request from Trent Watts on behalf of PAMELA M VISINTIN for a variance to §5.1.4 and §5.1.9 for relief of setback requirements for a swimming pool at/near 439 Sanders Farm Ln in the Wando vicinity. (PLVA 042653-2022)
[Application.pdf](#)
[Survey.pdf](#)
[Aerial.pdf](#)
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5. Departmental Updates

6. Administrative

7. Closing Remarks and Adjournment



**STAFF SUMMARY
FOR BOARD OF ZONING APPEALS**

Topic: Board of Zoning Appeals - Minutes from June 21, 2022

Prepared By: Shelley Forest, County Council

Date: July 19, 2022

Attachment(s):
[2022_0621_BZA - Minutes.docx](#)

BERKELEY COUNTY BOARD OF ZONING APPEALS

June 21, 2022

Chairman: Mr. Richard Smith, Board Member, Council District No. 1

A meeting of the **Berkeley County Board of Zoning Appeals** was held on **Tuesday, June 21, 2022**, at 6:00 p.m., in the Assembly Room of the Berkeley County Administration Building, 1003 Highway 52, Moncks Corner, South Carolina.

PRESENT: Mr. Richard Smith, Chairman, Council District No. 1; Mr. Jim Mills, Board Member, Council District No. 3; Mr. Todd Crawford, Board Member, Council District No. 4; Mr. Matthew Smith, Board Member, Council District No. 5; Mr. Billy Sunday Joy, Board Member, Council District No. 6; and Mr. Harold Jefferson, Board Member, Council District No. 7. Mr. Joseph Shirah, Vice Chairman, Council District No. 8, and Mr. Jeffrey Kerns, Board Member, Council District No. 2, were excused.

During periods of discussion and/or presentations, minutes are condensed and paraphrased. Video coverage of the full meeting is available on the Berkeley County Government website.

ELECTRONIC PARTICIPATION AUTHORIZED

1. CALL TO ORDER

Chairman Richard Smith called the meeting to order.

In accordance with the Freedom of Information Act, the electronic and print media were duly notified.

2. INVOCATION AND PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

Board Member Harold Jefferson provided the Invocation, which was followed by the Pledge of Allegiance to the Flag of the United States of America.

3. CONSIDERATION OF MINUTES

Chairman R. Smith asked for approval of minutes from the Board of Zoning Appeals meeting held on May 17, 2022.

IT WAS MOVED BY BOARD MEMBER M. SMITH AND SECONDED BY BOARD MEMBER MILLS TO APPROVE THE MINUTES AS PRESENTED. THE MOTION PASSED BY UNANIMOUS VOICE VOTE OF THE BOARD.

Chairman R. Smith swore in all attendees who will be seeking a Variance, or who will be speaking either for or against any Variance request on this evening's agenda.

4. Requests for Variance

4A. TMS#: 085-13-00-032. REQUEST FROM BRENDA STARK FOR A VARIANCE TO 5.3.10 FOR RELIEF IN ORDER TO PLACE AN ACCESSORY STRUCTURE IN THE FRONT YARD AND §5.3.4 TO CONSTRUCT AN ACCESSORY STRUCTURE THAT EXCEEDS 65% OF THE SIZE OF THE PRINCIPAL CLASSIFICATION AT/NEAR 171 WATERFRONT DRIVE IN THE OVERTON COMMUNITY (PLVA 042412-2022).

Chairman R. Smith read the request into the record, and invited the applicant to the podium.

Ms. Brenda Stark, who resides at 171 Waterfront Drive in Moncks Corner, arrived at the podium. The applicant wants to place a 50 x 20 covered carport within the front yard setback. The structure would be 7 feet from the side property line.

Chairman R. Smith confirmed with the applicant that the property is not waterfront.

Board Member M. Smith questioned whether the applicant wanted to construct a 1,000 square-foot carport. He inquired as to what is preventing the applicant from placing the structure in the backyard.

Ms. Stark stated that there are structures and septic tank that prohibit placing the carport in the backyard.

Chairman R. Smith inquired as to if there was anyone present who wished to speak in support of or in opposition to this rezoning request, with no response.

IT WAS MOVED BY BOARD MEMBER CRAWFORD AND SECONDED BY BOARD MEMBER M. SMITH TO APPROVE A REQUEST FROM BRENDA STARK FOR A VARIANCE TO 5.3.10 FOR RELIEF IN ORDER TO PLACE AN ACCESSORY STRUCTURE IN THE FRONT YARD AND §5.3.4 TO CONSTRUCT AN ACCESSORY STRUCTURE THAT EXCEEDS 65% OF THE SIZE OF THE PRINCIPAL CLASSIFICATION AT/NEAR 171 WATERFRONT DRIVE IN THE OVERTON COMMUNITY (PLVA 042412-2022), WITH THE STIPULATION THAT THE STRUCTURE BE 7 FEET FROM THE SIDE PROPERTY LINE. THE MOTION PASSED BY UNANIMOUS VOICE VOTE OF THE BOARD.

4B. TMS#: 211-00-02-075. REQUEST FROM TYLER MCELROY ON BEHALF OF INDUSTRIAL ENDEAVORS, LLC FOR A VARIANCE TO §17.7 FOR RELIEF OF BUFFERYARD REQUIREMENTS AT/NEAR SPRING GROVE DRIVE AND CYPRESS GARDENS ROAD IN THE SPRING GROVE INDUSTRIAL PARK (PLVA 042471-2022).

Chairman R. Smith read the request into the record, and invited the applicant to the podium.

Mr. Mike Pitts, Attorney with Parker Poe, 110 East Court Street, Suite 200, in Greenville, stated that he is representing the applicant. He stated that the applicant is requesting a variance from meeting the 50-foot buffer along the southern end of the property. The applicant will provide a bufferyard on both sides of the railroad, which traverses the property. The site conditions present exceptional circumstances. Mr. Pitts stated that the variance will not be detrimental to the area, and it meets all of the eligibility requirement. Mr. Pitts indicated the railroad runs along the southern and southwestern portions of the property, and he provided a copy of a map to each Board Member.

The applicant is proposing to exceed the bufferyard requirement.

Board Member M. Smith noted that the property is bordering the Medway Plantation and inquired about buffering.

Mr. Pitts stated that the applicant is proposing to provide landscaping where necessary.

Chairman R. Smith inquired about tree maintenance, and Mrs. Simmons addressed his concerns.

Ms. Gloria Eichelberger, who resides at 2624 Cypress Gardens Road, requested clarification on the location of the proposed activity.

Mr. Pitts provided Ms. Eichelberger with a copy of the map and then introduced Mr. Paul Peeples (Seamon Whiteside), who explained the map to Ms. Eichelberger.

Chairman R. Smith inquired as to if Staff had anything further to add, and Mrs. Simmons replied to the negative.

IT WAS MOVED BY BOARD MEMBER CRAWFORD AND SECONDED BY BOARD MEMBER MILLS TO APPROVE A REQUEST FROM TYLER MCELROY ON BEHALF OF INDUSTRIAL ENDEAVORS FOR A VARIANCE TO 17.7.2 (C) FOR RELIEF OF BUFFERYARD REQUIREMENTS AT/NEAR CYPRESS GARDENS ROAD IN THE VICINITY OF THE SPRING GROVE DEVELOPMENT AREA (PLVA 042471-2022). THE MOTION PASSED BY UNANIMOUS VOICE VOTE OF THE BOARD.

4C. TMS#: 233-05-02-003. REQUEST FROM ROBERT HANSBOROUGH FOR VARIANCE TO §5.1.4 TO CONSTRUCT AN ACCESSORY STRUCTURE THAT WOULD RESULT IN AN AGGREGATED ACCESSORY STRUCTURE SQUARE FOOTAGE THAT EXCEEDS 65% OF THE SIZE OF THE PRINCIPAL CLASSIFICATION AND §5.1.10 TO EXCEED THE 50% MAXIMUM IMPERVIOUS COVERAGE THRESHOLD AT/NEAR 616 LONGLEAF ROAD IN THE SANGAREE COMMUNITY. (PLVA 042375-2022).

Chairman R. Smith read the request into the record, and invited the applicant to the podium.

Mr. Nathan Davis, attorney for the applicant, stated that his practice is located at 1470 Tobias Gadsden Boulevard, Suite 202 in Charleston. He stated that the applicant would like to place a carport on the property to continue to work outside as a result of a medical condition (congenital nerve disease and a skin condition). He provided a letter from the applicant's physician. Mr. Davis stated that the applicant is not planning to expand the business.

Mr. Robert Hansborough arrived at the podium.

Chairman R. Smith stated that this request has come before this Board before, and he inquired as to what has changed for the applicant.

Mr. Davis indicated that the applicant's health has deteriorated. He provided letters from neighbors in support of the variance, and he stated that several neighbors are present this evening. He stated that it is his understanding that there are some neighbors present in opposition to the variance.

Board Member Crawford stated that the applicant previously requested a variance for an accessory structure.

Ms. Simmons clarified that the applicant's previous request was for a 540 square-foot accessory structure. She stated that the current request is for a 360 square-foot structure.

Board Member M. Smith noted that he read in the packet where the applicant was willing to remove an accessory structure if this variance request was approved.

Mr. Davis stated that the applicant is willing to do that.

Board Member M. Smith inquired as to the approx. dimensions of the accessory structure the applicant is willing to remove.

Mr. Hansborough replied that the structure is 16 feet x 20 feet.

Chairman R. Smith inquired as to if there was anyone present who wished to speak in support of or in opposition to this rezoning request, with no response.

Mr. Randy Davenport, who resides at 610 Longleaf Road in Sangaree, addressed the Board in support of the variance request.

Mr. Sid Shingler, who resides at 134 Jillian Circle in Goose Creek, addressed the Board in support of the variance request.

Ms. Diane Laurie, who resides at 103 Photinia Court in Sangaree, addressed the Board in support of the variance request.

Ms. Simmons provided a statement for the record that there is written opposition to the request, which is included in the Board Members' packets. She stated that citizens cited concerns regarding visual impact and concerns about the business that is currently grandfathered. She stated that it is her understanding that the carport exists, and if it is going to be covered, it will account for the impervious coverage requirements. She stated that it sounds like that is the intent in order to provide the shade. She stated that with the intended structure, the combined square footage of accessory structures would amount to 83% of the size of the principle classification. She stated that the total square footage of impervious surface on the lot is 5,725 square feet, which is less than half of the size of the lot, which is 12,465 square feet. Based on this information, a variance of the impervious requirement is not required because the applicant was able to verify that they are well within the 50% impervious surface rule.

Chairman R. Smith stated that the applicant's business is grandfathered, and he can only increase it by 25%, and he inquired as to if that was correct.

Ms. Simmons stated that grandfathered uses cannot be increased.

Chairman R. Smith inquired as to if there were any further questions from the Board, and there were none.

IT WAS MOVED BY BOARD MEMBER M. SMITH AND SECONDED BY BOARD MEMBER MILLS TO APPROVE A REQUEST FROM ROBERT HANSBOROUGH FOR VARIANCE TO §5.1.4 TO CONSTRUCT AN ACCESSORY STRUCTURE THAT WOULD RESULT IN AN AGGREGATED ACCESSORY STRUCTURE SQUARE FOOTAGE THAT EXCEEDS 65% OF THE SIZE OF THE PRINCIPAL CLASSIFICATION AND §5.1.10 TO EXCEED THE 50% MAXIMUM IMPERVIOUS COVERAGE THRESHOLD AT/NEAR 616 LONGLEAF ROAD IN THE SANGAREE COMMUNITY. (PLVA 042375-2022). BOARD MEMBER JOY VOTED NAY. THE MOTION PASSED BY MAJORITY VOICE VOTE OF THE BOARD.

4D. TMS#: 239-00-00-158. REQUEST FROM JACQUELINE SINGLETON ON BEHALF OF ELIZABETH SINGLETON FOR A VARIANCE TO §5.3.9 AND §5.3.10 FOR RELIEF OF DENSITY AND DIMENSIONAL STANDARDS, RESPECTIVELY, FOR THE PLACEMENT OF AN ADDITIONAL DWELLING AT/NEAR 2637 CAINHOY ROAD, IN THE HUGER COMMUNITY (PLVA 042368-2022).

Chairman R. Smith read the request into the record, and invited the applicant to the podium.

Ms. Jacqueline Singleton, who resides at 180 Kings Road, Apt 603, in Clarksville, TN, addressed the Board on the behalf of the applicant, Elizabeth Singleton, who resides at 2637 Cainhoey Road in Huger. She stated that the applicant, who is her mother, is requesting to place a new dwelling on the property, and the existing property will be eventually demolished.

Chairman R. Smith stated that it is his understanding that the property is not zoned for 2 residences and the second residence that is there is grandfathered.

Mrs. Simmons stated that this was correct.

Chairman R. Smith stated that Staff asked the resident if they wished to seek rezoning so that 2 homes could be placed there, but the applicant declined rezoning.

Ms. Singleton stated that the timeline would not work as the house is in terrible condition, and she cannot afford to put her mother up in a hotel for 5-6 months.

Chairman R. Smith presented an alternative to the variance request by subdividing the property.

Board Member Crawford questioned as to whether the individual would need 180 days to remove the dwelling.

Ms. Singleton replied to the affirmative, and stated that they would need 180 days after her mother is installed in the new house..

Chairman R. Smith inquired as to if there was anyone who wished to speak in support of or in opposition to this variance request.

Ms. Gloria Eichelberger stepped up to the podium and provided input.

Chairman R. Smith inquired as to if Staff had anything further to add, and Mrs. Simmons replied to the negative.

Motion/Second to approve the variance with conditions (Demolish one of the existing homes 180 days after the new home is constructed)

Ms. Simmons asked for address clarification for the home that will be demolished.

Ms. Singleton stated that the address is 2637 Cainhooy Road in Huger.

IT WAS MOVED BY BOARD MEMBER MILLS AND SECONDED BY BOARD MEMBER JEFFERSON TO APPROVE A REQUEST FROM JACQUELINE SINGLETON ON BEHALF OF ELIZABETH SINGLETON FOR A VARIANCE TO §5.3.9 AND §5.3.10 FOR RELIEF OF DENSITY AND DIMENSIONAL STANDARDS, RESPECTIVELY, FOR THE PLACEMENT OF AN ADDITIONAL DWELLING AT/NEAR 2637 CAINHOY ROAD, IN THE HUGER COMMUNITY (PLVA 042368-2022), WITH THE CONDITIONS THAT CURRENT HOUSE WILL BE DEMOLISHED WITHIN 180 DAYS OF OCCUPANCY OF NEW THIRD HOME. BOARD MEMBER M. SMITH VOTED NAY. THE MOTION PASSED BY MAJORITY VOICE VOTE OF THE BOARD.

5. **DEPARTMENTAL UPDATES**

Mrs. Simmons that there is a workshop at 5:00 p.m. on Tuesday, June 28, 2022, with the Planning Commission to discuss the Comprehensive Plan Update

6. **CLOSING REMARKS AND ADJOURNMENT**

IT WAS MOVED BY BOARD MEMBER M. SMITH AND SECONDED BY BOARD MEMBER CRAWFORD TO **ADJOURN** THE BOARD OF ZONING APPEALS MEETING. THE MOTION **PASSED** BY UNANIMOUS VOICE VOTE OF THE BOARD.

The meeting **adjourned** at 6:53 p.m.



STAFF SUMMARY FOR BOARD OF ZONING APPEALS

Topic: TMS#: 071-00-02-070. Request from William Easterly II for a variance to §6.4.5 to construct an accessory structure that exceeds 65% of the size of the principal classification and §6.4.11 to place it in front of the principal dwelling at/near 1151 Walter Road in the Bonneau community. (PLVA 042513-2022)

Prepared By: Amanda Ellis, Planning & Zoning

Date: July 19, 2022

Background: The subject property is 30,000 square feet in size, contains a 948 square foot dwelling and 772.8 square foot accessory structure (22.4' x 34.5'), zoned in the Agricultural (Flex-1) District, and located along Walter Road (SCDOT) in the Macedonia / Bonneau vicinity.

The applicant desires to replace the existing accessory structure, which is sited 21.68 from the front property line and 18.11' from the side lot line (according to the plat on record) and approximately 81 percent of the size of the principal classification, with a 36' x 35' garage + carport (1,296 total square feet) that is 136.71% of the size of the principal classification. The proposed garage + carport is proposed to be sited 16.81' from the side lot line and 21.43' from the front lot line. See enclosed exhibits.

As a result, the applicant is seeking relief from the following requirements:

[6.4.5 Accessory uses.](#) Accessory uses are permitted as a detached

structure or use subordinate to the main building or classification that is used for purposes customarily incidental to the principal use. Accessory uses shall not exceed 65 percent of the size of the principal classification; excluding agricultural uses and uses located on parcels one acre in size or larger.

6.4.11(B). Accessory structure(s). Accessory structures are permitted in the rear and side yards only with minimum of five-foot setbacks from the side and rear property lines or ingress/egress easements, whichever is greater. If the accessory structure is placed in that portion of the yard that fronts a second street frontage of the property, setback from the second street frontage property line for the accessory structure is the required second street frontage setback for the primary structure. An accessory structure may be permitted within the front yard or that portion of yard situated between the front lot line and the front facade of the principal structure if the following conditions are met:

Typical primary structures setbacks for a lot of this size are as follows:

35' from the front

15' on the sides

30' on the rear

1. The proposed accessory structure meets the front setback applicable to the principal structure.
2. The proposed accessory structure is greater than 200 square feet in size.
3. With the exception of bona fide agricultural structures, the proposed accessory structure shall not exceed the height of the principal dwelling.
4. With the exception of structures that are sited 150 feet or more from the front property line, vehicular access to the proposed accessory structure is oriented to the side or second street frontage lot line, and vehicular doors and bays to the accessory structure are not visible from the fronting street right-of-way.
5. There shall be no more than one accessory structure permitted within the front yard or that portion of yard situated between the front lot line and the front facade of the principal structure per platted parcel of less than five acres in size.

Attachment(s):

APPLICATION FOR VARIANCE.PDF
PLAT OF RECORD.pdf
EXISTING GARAGE.pdf
SITE PLAN (NEW GARAGE).pdf
NEW GARAGE PLAN,PHOTOS.pdf
30x20 Enclosed Building Rev-1.pdf
NEIGHBOR SUPPORT LETTER (1).pdf
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NEIGHBOR SUPPORT LETTER (3).pdf
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Aerial.pdf
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BERKELEY COUNTY SC

PLANNING AND ZONING DEPARTMENT

Alison Simmons, AICP, Director
P.O. Box 6122
1003 Highway 52 • Moncks Corner, SC 29461
843.719.4095

APPLICATION FOR VARIANCE

Of the Berkeley County Zoning Ordinance No. 01-8-35 (as amended)

ALL SECTIONS OF THIS APPLICATION ARE REQUIRED TO BE COMPLETED TO BE ACCEPTED

Applications are due by COB of the previous month's meeting date. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the *Property Owner Authorization* (found on page 3) to designate the Applicant as the Authorized Agent. Application Fee is **\$150.00 (Non-Refundable)**. Cash, Card, and Check Accepted. Checks may be made out to **BERKELEY COUNTY**

APPLICANT INFORMATION

PRINTED Name of Applicant: William Easterly II Relation to Property Owner (Check One):
 I am the Owner I am the Authorized Agent

Phone #: 315-992-3722 Email Address: Bill_Easterly@outlook.com

Mailing Address: 1151 Walter Road Bonneau S.C. 29431

PROPERTY OWNER'S CONTACT INFORMATION (IF NOT STATED ABOVE)

Name: _____

Mailing Address: _____

Phone #: _____ Email Address: _____

BZA MEETING DATE AND EXPECTATIONS

BZA Meeting Date Applied for: June 21st

I understand that I will be asked to speak on behalf of my request and that I, or a representative will need to be in attendance. If, for some reason I or a representative will not be able to attend the scheduled meeting, I must submit a written request for deferral to another date in accordance with the adopted [Defeat/Deferral Policy](#) or withdraw my application.

Applicant's Initials Here: **WE**

PROPERTY INFORMATION

TMS#: 071-00-02-070 Lot Size: .69 Ac Zoning: Flex-1

Physical Address or Location of Subject Property: 1151 Walter Road Bonneau S.C. 29431

Present Use of the Property: Residential

The following information **MUST BE** submitted with this application:

- 1. SITE PLAN** This should be on a copy of the recorded plat (8"x11"), if available. Sketch showing ALL existing and proposed buildings, bufferyards, roads, driveways, parking spaces, fencing, and other physical improvements in relation to the request.
- 2. OTHER RELEVANT EVIDENCE** The burden of proof to demonstrate a physical hardship falls on the applicant. Please enclose any documents, letters of support, surveys, pictures, or other materials deemed necessary to demonstrate the conditions of the property.

SUBMITTAL ENCLOSURES (PLEASE CHECK ALL THAT APPLY)

- Existing Plat of Record
- Site Plan
- Letters of Support from Neighboring Property Owners
- Owner's Notarized Written Authorization (If Owner's Signature Cannot Be Obtained)
- Other (please specify): Site Photos, Code document

RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to:

A reduction in the size of the auxiliary structure would negatively impact the intended agricultural use of the property. Replace an existing Garage with a new one.

And the Planning and Zoning Department either denied it or stated that it does not conform on the grounds that:

It would be larger than 65% of the dwelling unit

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, feet, acreage, numbers of, ratio, etc.):

To replace a 22.4' x 34.5' garage with a 24' x 35' garage

State Law and the Berkeley County Ordinance requires that the following four (4) facts are sufficiently met in order for a variance to be considered by the BZA. The applicant must prove through fact that the strict application of the ordinance will result in unnecessary hardship. Please provide a response to EACH question provided below and use additional sheets if necessary.

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance. **NOTE: The BZA REQUESTS precise measurements, either drawn on a map or plat or prepared by a Surveyor or other qualified professional. If insufficient information is presented to the BZA, the applicant risks the Variance being denied or held for a future meeting until the Applicant can provide the necessary evidence.**

The property already came with a similar-sized structure (Please see included photos).

To use the property as intended the structure needs to be replaced due to termite/water damage.

2. These conditions do not generally apply to other property in the vicinity. The applicant should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance? **A simple example pertaining to lot shape: "The triangular shape makes it impossible for me to meet the requirements. All the adjacent lots around me are square."**

This detached garage will be used for agricultural purposes which is an exclusionary use to the 65% limitation.

Please refer to the included document detailing setbacks and guidelines.

3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use? **NOTE: Monetary gain or advantage is not to be considered by the board in determining hardship. A simple example pertaining to building a detached garage on a residential lot: "Because of the triangular shape of the lot, a detached garage will not fit within the boundaries of the lot and still adhere to the setback requirements. This prevents the lot from being fully utilized."**

A reduction in the size of the auxiliary structure would negatively impact the intended agricultural use of the property.

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. **Affected/Interested stakeholders, either in support or in opposition, have the privilege to be heard during the Public Hearing.**

The replacement of the structure will serve to benefit my immediate neighbors and the community

by increasing aesthetic appeal and preserving the value of my own and adjacent property.

I have met with all my immediate neighbors and included their letters of support.

ACKNOWLEDGMENTS:

TERMS OF THIS APPLICATION

1. Hardship resulting from financial difficulty, and the applicant's own actions are generally not sufficient cause for the board to grant a variance.
2. Although the appeal will be advertised in the local newspaper, and the property posted with a sign concerning the details of the meeting, staff strongly recommend that all neighbors and property owners be contacted, by the applicant, before the application is submitted.
3. The applicant may present, at the discretion of the BZA Chairman, and items and/or individuals he/she believes will help his/her case.
4. Five, of the eight appointed Board members, must be present before action can be taken on the variance, and the concurring vote of majority of the Board present is necessary in order for a Variance to be approved.
5. No Variance, having been denied, shall be resubmitted to the Board for a period of one (1) year, unless conditions have changed substantially and new evidence is received, and the Board votes unanimously to rehear the matter.
6. Any person who may have a substantial interest in any decision of the Board may appeal said decision to a court of competent jurisdiction in and for the county of Berkeley, filing with the clerk of such court a petition in writing setting fourth plainly, fully and distinctly wherein such decision is contrary to the law. Such appeal shall be filed within thirty (30) days after the decision of the board is rendered.

APPLICANT DISCLOSURES

I, the applicant, hereby acknowledge by my signature that this application is complete and accurate to the best of my knowledge, information, and benefit, have read and understand the terms and expectations associated with this Application, hereby release, hold harmless, and indemnify forever Berkeley County, its employees, and agents, both individually and jointly, from any and all liability or responsibility for any foreseen or unforeseen damage, including, but not limited to, death, bodily injury, personal injury, and property damage, arising from the home occupation located at the above-referenced property by adjoining landowners, visitors and/or any user of the home, including, but not limited to, the public at large, am the owner of the subject property or the authorized representative of the owner, authorize the subject property to be posted and/or inspected, AND hereby certify that the tract(s) or parcel(s) of land to which this request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in the South Carolina Code of Laws, Section 6-29-1145, and are exempt per Section 59.35 of the Berkeley County Code of Ordinances.

Signature: William Easterly II Date: 5/30/2022

PROPERTY OWNER AUTHORIZATION (IF DIFFERENT FROM APPLICANT)

I (we) certify that I (we) are the owners of the property involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this special exception application.

Property Owner(s) Printed Name: William Easterly II

Property Owner(s) Signature: William Easterly II Date: 5/30/2022

OFFICE USE SECTION

AMOUNT PAID: _____ CHECK #: _____; CASH; ONLINE PAYMENT INTENDED
 DATE RECEIVED: _____; RECEIPT NUMBER: _____
 DATE FILED: _____; MEETING DATE: _____

ZONING OFFICIAL

DATE

EXEMPT
one new lot

(REASON)
AP No
Date
7/26/19

2019026504

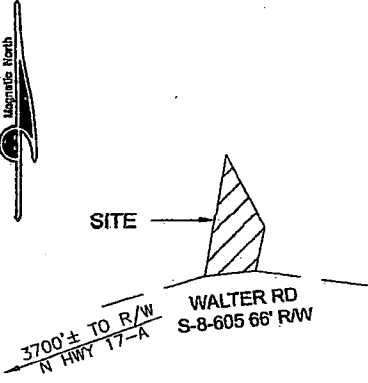
PRESENTED & RECORDED:

07-26-2019 01:45:19 PM

CYNTHIA B FORTE

REGISTER OF DEEDS
BERKELEY COUNTY, SC

RESERVED FOR SIGNING

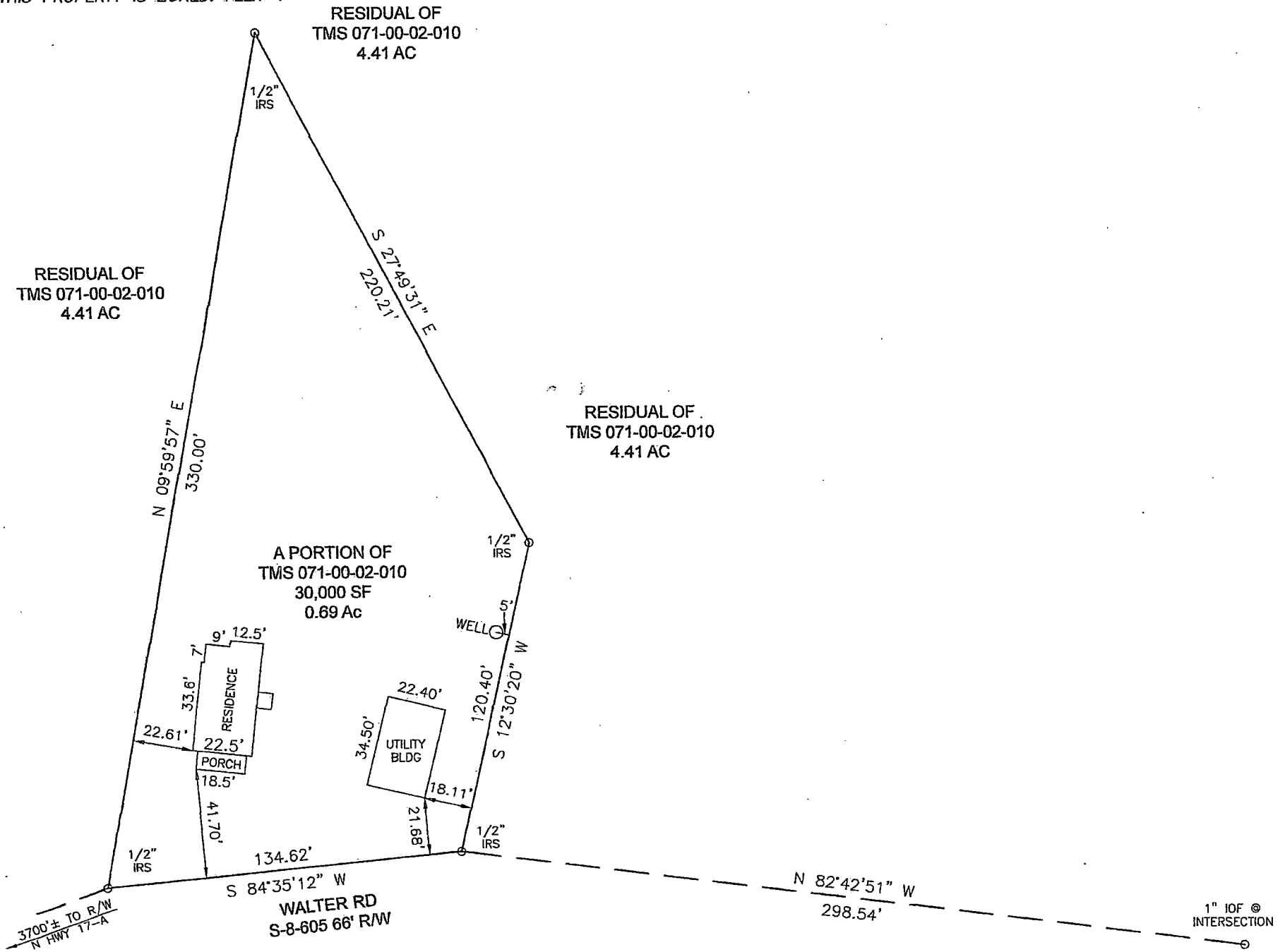


VICINITY MAP N.T.S.

NOTES:

1. THIS IS TO CERTIFY THAT I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, AND FIND THE SURVEY DESCRIBED IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. SEE FIRM PANEL 45015C 0245 E, EFFECTIVE 12/7/2018
2. AREA WAS DETERMINED BY THE COORDINATE METHOD AND ALL INFORMATION SHOWN ON THIS PLAT OUTSIDE THE SURVEYED PROPERTY LINES IS FOR DESCRIPTIVE INFORMATION ONLY.
3. ALL REFERENCED MATERIALS ON THIS PLAT WERE USED TO PERFORM THIS SURVEY ONLY, THERE HAS NOT BEEN ANY TITLE SEARCH TO ACQUIRE THE INFORMATION SHOWN.
4. THERE HAS BEEN NO SURVEY DONE TO DETERMINE WETLANDS AND/OR UNSEEN STRUCTURES TO PROHIBIT DEVELOPMENT OF THIS PROPERTY.
5. THIS PROPERTY IS ZONED: FLEX-1

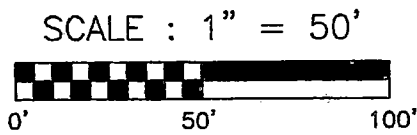
LEGEND
 IRS IRON ROD SET
 IOF IRON ROD FOUND



PLAT OF LOT
 OWNED BY
FAYE MORRIS
 SECOND ST. STEPHEN PARISH
 BERKELEY COUNTY, SOUTH CAROLINA
 JULY 18, 2019

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "C" SURVEY AS SPECIFIED THEREIN.

ANDREW B. WADSWORTH, SR. R.L.S.
 2009 VESTRY DRIVE
 CHARLESTON, S.C. 29414
 (843) 709-3423
 andrew.wadsworthsr@gmail.com
 JOB# 2019-045



Andrew B. Wadsworth, Sr.
 ANDREW B. WADSWORTH, SR. RLS# 16141

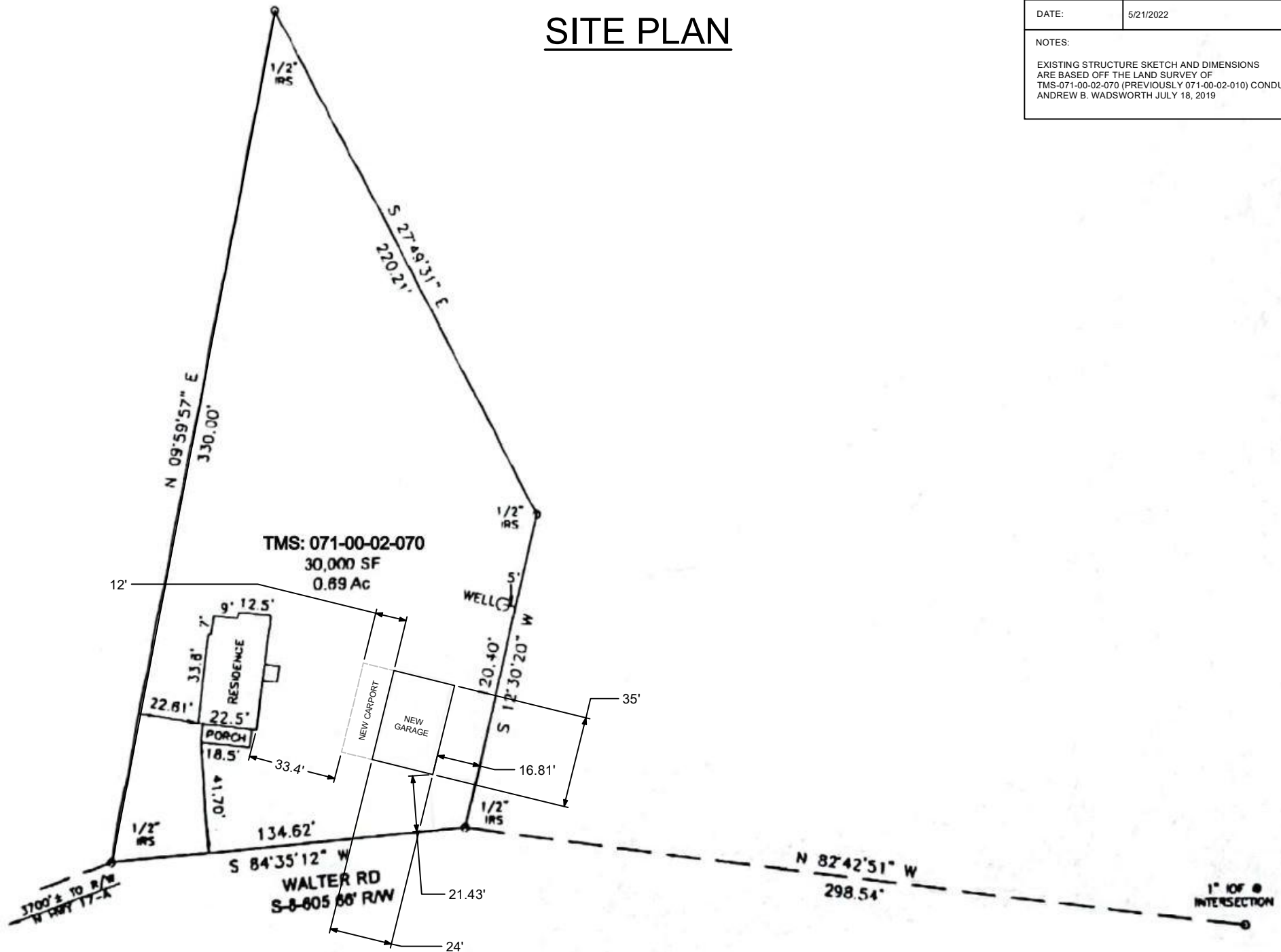
CURRENT GARAGE



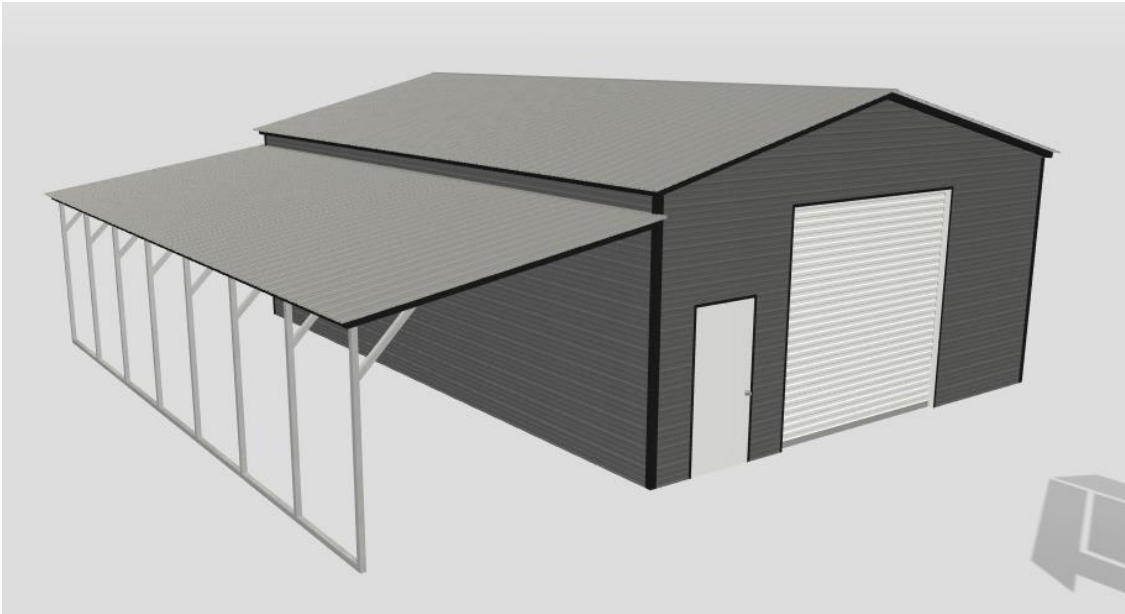


SITE PLAN

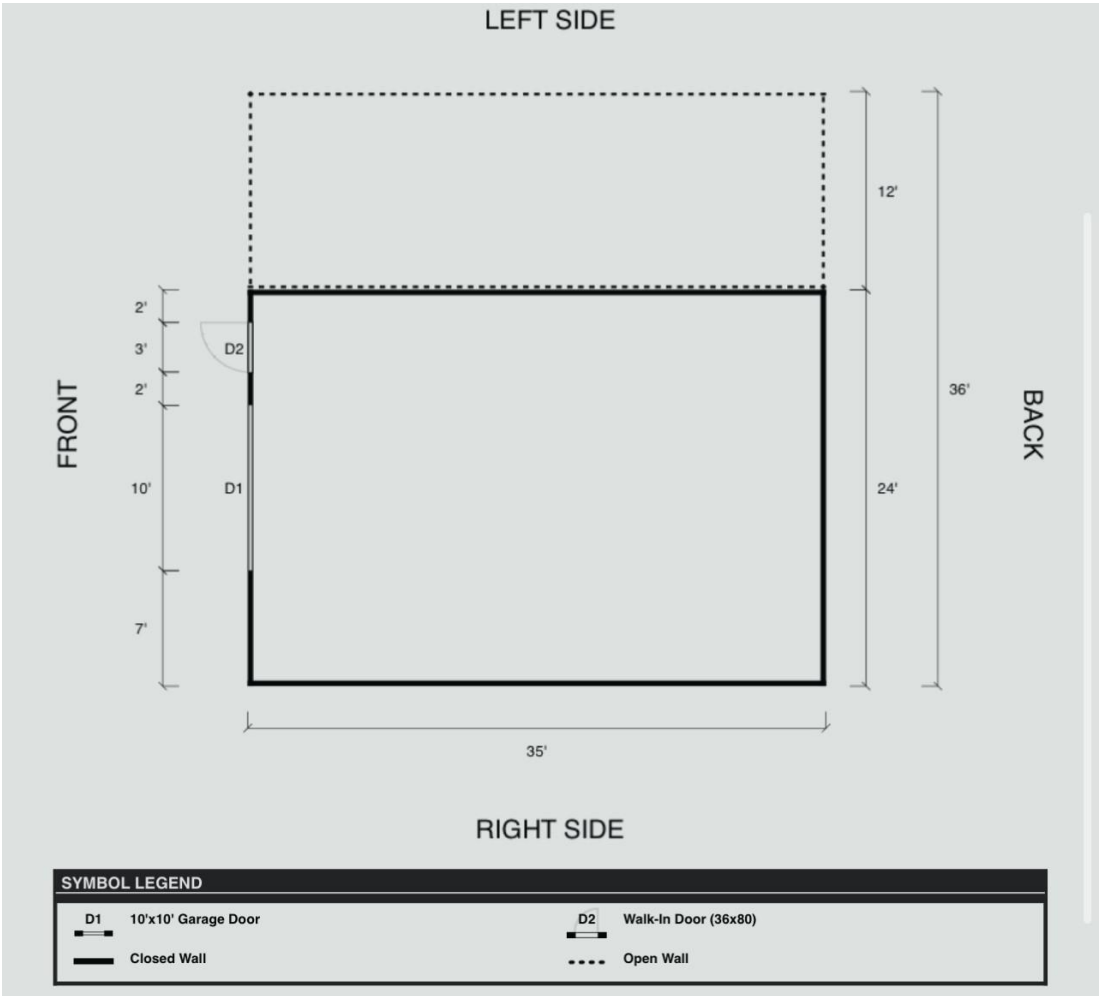
DRAWN BY:	William Easterly II
DATE:	5/21/2022
NOTES:	EXISTING STRUCTURE SKETCH AND DIMENSIONS ARE BASED OFF THE LAND SURVEY OF TMS-071-00-02-070 (PREVIOUSLY 071-00-02-010) CONDUCTED BY ANDREW B. WADSWORTH JULY 18, 2019

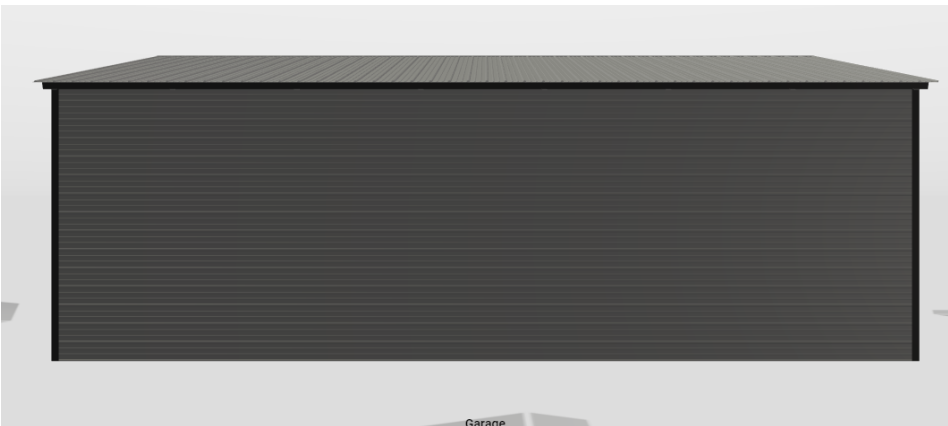
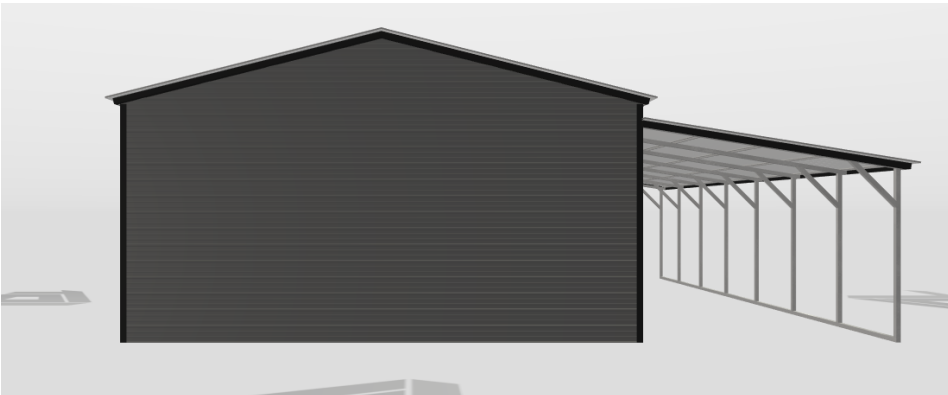
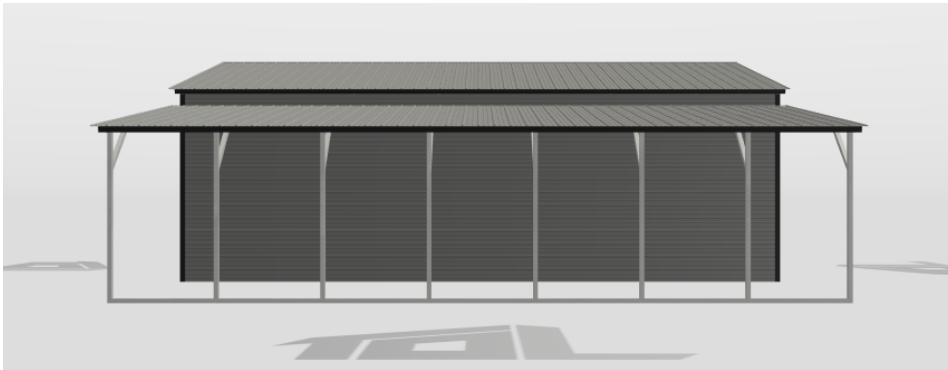
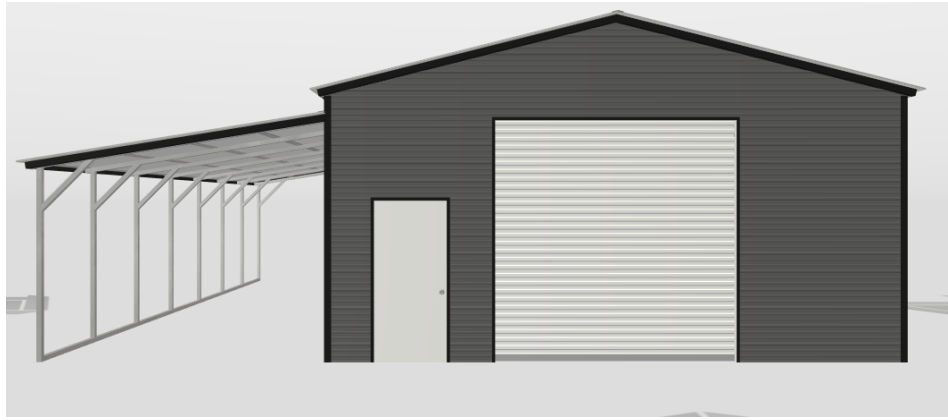


NEW GARAGE



LEFT SIDE





Garage



STRUCTURAL DESIGN

ENCLOSED BUILDING

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT-
BOX EAVE FRAME AND BOW FRAME**

21 March 2022

Revision 1

M&A Project No. 19164S/22020S

Prepared for:

TOL Buildings, Inc.

P.O. Box 542

Toast, NC 27049

Prepared by:

Moore and Associates Engineering and Consulting, Inc.

1009 East Avenue

North Augusta, SC 29841

401 S. Main Street, Suite 200

Mt. Airy, NC 27030



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ENGINEERING AND CONSULTING

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ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 1

SCALE: NTS

DWG. NO: SK-3

JOB NO:
19164S/22020S

REV: 1

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SHEET 6F	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL ≤ 60 PSF EXPOSURE B/C)
SHEET 6G	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL ≤ 60 PSF EXPOSURE B/C)
SHEET 6H	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL ≤ 60 PSF EXPOSURE B/C)
SHEET 6J	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL ≤ 60 PSF EXPOSURE B/C)
SHEET 6K	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL ≤ 60 PSF EXPOSURE B/C)
SHEET 6L	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL ≤ 30 PSF EXPOSURE B/C)
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SHEET 7	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER) 60 PSF < SL ≤ 70 PSF EXPOSURE B
SHEET 7A	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER) 60 PSF < SL ≤ 70 PSF EXPOSURE B
SHEET 7B	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER) 60 PSF < SL ≤ 70 PSF EXPOSURE C

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 2

SCALE: NTS

DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

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DRAWING INDEX

SHEET 7C	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOW EAVE RAFTER) 60 PSF < SL < 70 PSF EXPOSURE C
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SHEET 8A	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (60 PSF < SL < 70 PSF EXPOSURE B)
SHEET 8B	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (60 PSF < SL < 70 PSF EXPOSURE B)
SHEET 8C	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (60 PSF < SL < 70 PSF EXPOSURE C)
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SHEET 8E	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (60 PSF < SL < 70 PSF EXPOSURE C)
SHEET 8F	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL < 60 PSF EXPOSURE B/C)
SHEET 8G	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL < 60 PSF EXPOSURE B/C)
SHEET 8H	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL < 60 PSF EXPOSURE B/C)
SHEET 8J	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL < 60 PSF EXPOSURE B/C)
SHEET 8K	RAFTER/COLUMN CONNECTION DETAILS (BOX EAVE RAFTER) (SL < 60 PSF EXPOSURE B/C)
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SHEET 17	SIDE WALL HEADER OPTIONS
SHEET 18	END WALL HEADER OPTIONS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0"x20'-0" ENCLOSED STRUCTURE		
	CHECKED BY: PDH	PROJECT MGR: WSH	DATE: 3-21-22	SCALE: NTS
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INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
 2. DESIGN WAS DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES LISTED ON SHEET 3A.
 3. DESIGN LOADS ARE AS FOLLOWS:
 - A) ROOF DEAD LOADS:
 - SELF-WEIGHT = 1.5 PSF
 - MEP = 0 PSF FOR RISK CAT. I (10 PSF FOR RISK CAT. II)
 - COLLATERAL = 0 PSF
 - B) ROOF LIVE LOAD = 12 PSF FOR RISK CAT. I (20 PSF FOR RISK CAT. II)
 - C) FLOOR LIVE LOAD = 100 PSF (4" CONCRETE SLAB-ON-GRADE)
 - D) GROUND SNOW LOAD = 30 PSF ($\leq 24'-0"$) FOR U-CHANNEL PEAK BRACE
 = 60 PSF ($\leq 30'-0"$), WITH WELDED RAFTER TIE TO SINGLE 12 GA. TS. @ 3'-0" O.C.
 = 70 PSF ($24'-0" < W \leq 30'-0"$)
- NOTE: UNBALANCED LOADING DUE TO SNOW DRIFTING FROM AN ADJACENT TALLER STRUCTURE HAS NOT BEEN EVALUATED.
4. ULTIMATE WIND SPEED (LW) 105 (RC I) (115 MPH (RC II)) TO 145 (RC I) (155 MPH (RC II)) (NOMINAL WIND SPEED 81 (89) TO 112 (120) MPH);
 MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET (5.0 FEET FOR WIND SPEED 105 MPH < TO ≤ 145 MPH RC I ONLY).
 5. END WALL COLUMN/POSTS ARE EQUIVALENT TO SIDE WALL COLUMN/POSTS IN SIZE AND SPACING UNLESS NOTED OTHERWISE.
 6. RISK CATEGORY I AND II (RISK CATEGORY I NOT FOR HUMAN HABITATION).
 7. WIND EXPOSURE CATEGORY B OR C.
 8. SPECIFICATIONS APPLICABLE TO 29 GAUGE (FOR SL ≤ 60 PSF) AND 26 GAUGE (FOR SL > 60 PSF) METAL PANELS FASTENED DIRECTLY TO 2 1/2"x2 1/2"-14 GAUGE TUBE STEEL (TS) FOR (RC I) AND 2 1/4"x2 1/4"-12 GAUGE (TS) FOR (RC II); FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
 9. CONNECTOR SLEEVES ARE MINIMUM 6" LONG, TS 2 1/4"x2 1/4"-14 GAUGE FOR 2 1/2"x2 1/2"-14 GAUGE AND TS 2"x2"-12 GAUGE FOR 2 1/4"x2 1/4"-12 GAUGE FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
 10. STRUCTURAL ANALYSIS/DESIGN IS BASED ON TS MEETING THE REQUIREMENTS OF ASTM A653 GRADE 50 WITH MINIMUM YIELD STRENGTH (F_y) OF 54 KSI AND GALVANIZING MEETING THE MINIMUM REQUIREMENTS OF G60.
 11. AVERAGE PANEL FASTENER SPACING ON-CENTERS = 8" O.C. (MAX.).
 12. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS. ROOF SLOPES VARY FROM 4/12, 3/12, 2/12 TO 1/12.
 13. ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL AT OR WITHIN 6" OF EVERY COLUMN.
 14. STANDARD GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG AND MAY ONLY BE USED FOR RC I STRUCTURES IN SUITABLE SOILS FOR WIND SPEEDS ≤ 145 MPH. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED. COORDINATE WITH LOCAL CODES/ORDINANCES REGARDING MINIMUM LENGTH FOR FROST DEPTH PROTECTION.
 15. CONTRACTOR TO PROVIDE ADEQUATE BRACING FOR STRUCTURE SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE AND FOUNDATION ARE DESIGNED FOR A COMPLETED CONDITION ONLY AND, THEREFORE, REQUIRE ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE COMPLETION.
 16. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY I/II
 - R = 3.25 $I_E = 1.0$
 - $S_{DS} = 2.625 g$ $V = C_{sW}$
 - $S_{D1} = 2.13 g$
 17. FOR RISK CATEGORY II, MAXIMUM THRESHOLD HEIGHT FOR PERSONNEL DOOR(S) USED FOR DEFINED MEANS OF EGRESS IS 1/2".
 18. APPLY LAP SEALANT TO METAL ROOF PANELS FOR ROOF SLOPES LESS THAN 3/12.
 19. IF MORE THAN 50% OF COLUMN (LEG) ARE REMOVED IN ANY LONGITUDINAL (SIDE) WALLS OF A BUILDING, THE ENGINEER IS TO BE NOTIFIED TO DETERMINE WHETHER PORTAL FRAMES OR OTHER LONGITUDINAL STABILITY ELEMENTS WILL BE REQUIRED.
 20. THIS MASTER DESIGN IS A GENERIC MASTER DESIGN PRIMARILY INTENDED FOR PLANT FABRICATION AND ERECTION ACON TO SHOP DRAWINGS. THE MASTER DESIGN IS NOT PRIMARILY INTENDED FOR CONSTRUCTION PERMIT. WHEN APPLYING FOR BUILDING PERMIT, THE CERTIFIED BUILDING OFFICIAL MUST BE CONSULTED TO VERIFY WHETHER THE USE OF THE MASTER DESIGN IS ADEQUATE OR IF A SITE-SPECIFIC DESIGN IS REQUIRED FOR BUILDING PERMIT. ANY VARIATION FROM THE ANALYSIS/DESIGN PARAMETERS OF THE MASTER DESIGN REQUIRES THE DEVELOPMENT OF A SITE-SPECIFIC DESIGN.

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SCALE: NTS

SHT. 3

DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

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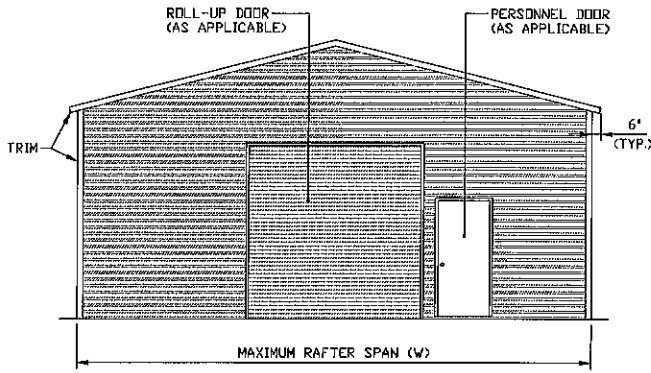
LIST OF APPLICABLE BUILDING CODES

- 2021 INTERNATIONAL BUILDING CODE (IBC 2021)
- 2018 INTERNATIONAL BUILDING CODE (IBC 2018)
- 2015 INTERNATIONAL BUILDING CODE (IBC 2015)
- 2012 INTERNATIONAL BUILDING CODE (IBC 2012)
- BUILDING CODE 2015 OF ALABAMA
(ADOPTS THE IBC 2015 WITHOUT AMENDMENTS)
(IBC 2015, IBC 2018 (DEPENDENT UPON LOCAL JURISDICTION))
- GEORGIA STATE MINIMUM STANDARD BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
- MA STATE BUILDING CODE, 9TH ED, BASE VOLUME
(ADOPTS THE IBC 2015 WITH AMENDMENTS)
- 2020 BUILDING CODE OF NEW YORK STATE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
NYC BUILDING CODE 2014
(ADOPTS THE IBC 2009 WITH AMENDMENTS)
- 2018 NORTH CAROLINA BUILDING CODE
(ADOPTS THE IBC 2015 WITH AMENDMENTS)
- OHIO BUILDING CODE 2017
(ADOPTS THE 2015 WITH AMENDMENTS)
- BUILDING CODE 2018 OF PENNSYLVANIA
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
PHILADELPHIA BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
- 2018 SOUTH CAROLINA BUILDING CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)
- BUILDING CODE 2012 OF TENNESSEE
(ADOPTS THE IBC 2012 WITH AMENDMENTS)
BUILDING CODE 2018 OF NASHVILLE AND DAVIDSON
COUNTY (ADOPTS THE IBC 2018 WITH AMENDMENTS)
- 2018 VIRGINIA CONSTRUCTION CODE
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

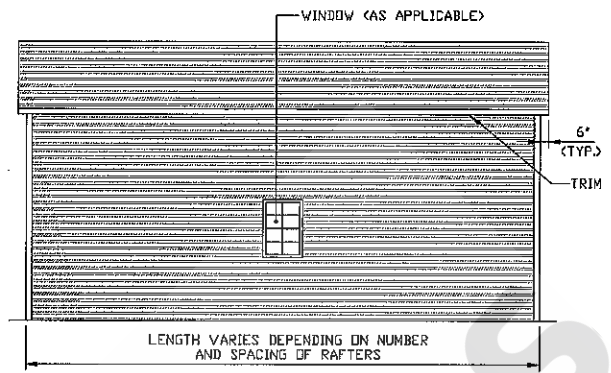


MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0"x20'-0" ENCLOSED STRUCTURE		
	CHECKED BY: PDH	PROJECT MGR: VSM	DATE: 3-21-22	SCALE: NTS
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			JOB NO: 19164S/22020S	

BOX EAVE FRAME RAFTER STRUCTURE

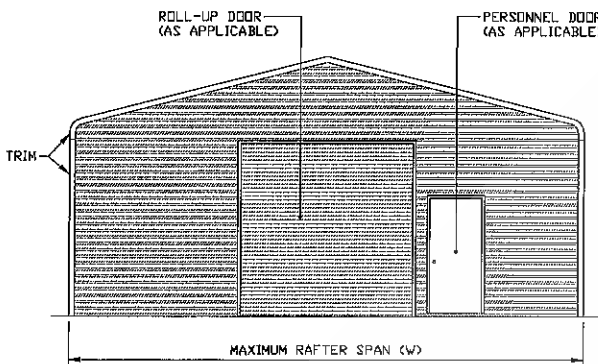


TYPICAL END ELEVATION
SCALE: NTS

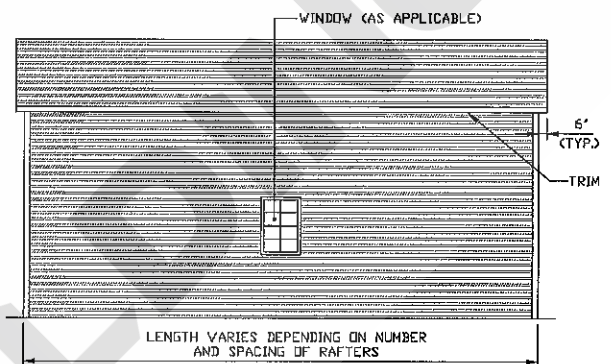


TYPICAL SIDE ELEVATION
SCALE: NTS

BOW EAVE FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION
SCALE: NTS



TYPICAL SIDE ELEVATION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 4

SCALE: NTS

DWG. NO: SK-3

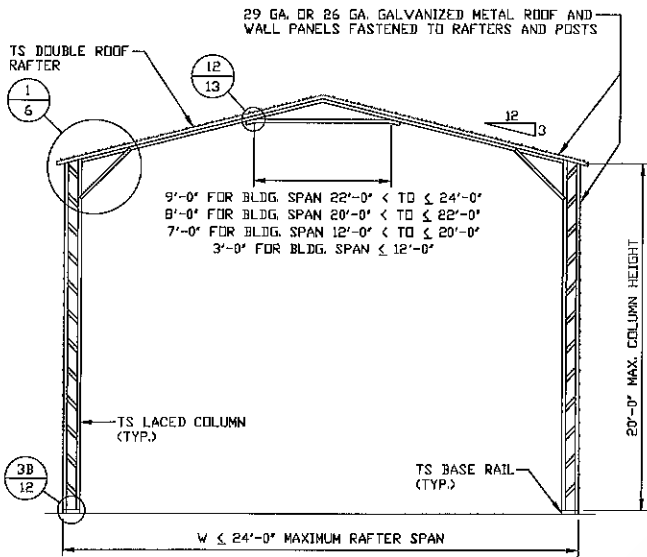
**JOB NO:
19164S/22020S**

REV: 1

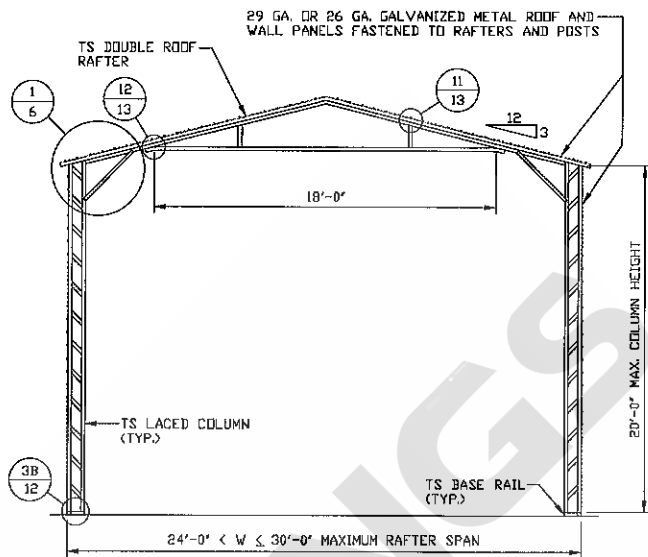
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60 PSF < SL ≤ 70 PSF

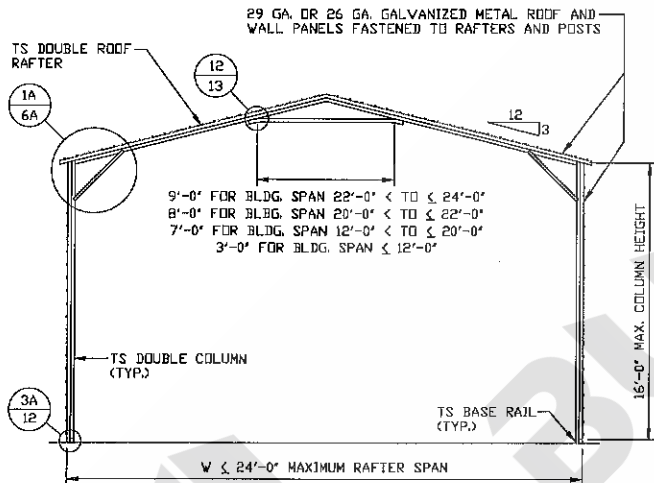
EXPOSURE B



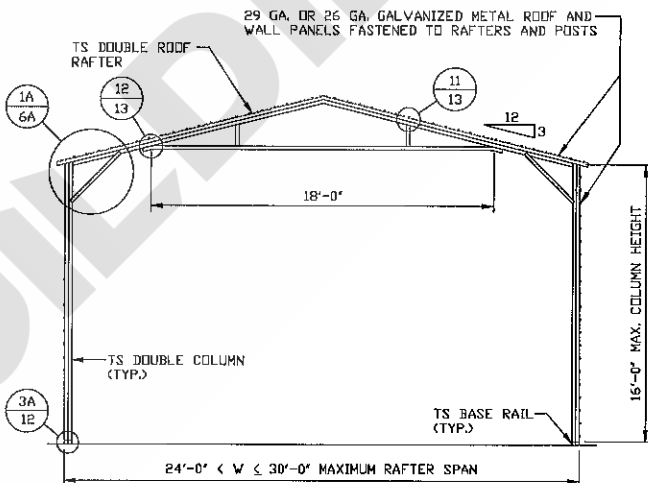
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT
CHECKED BY: PDH

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

PROJECT MGR: WSM
CLIENT: TOL

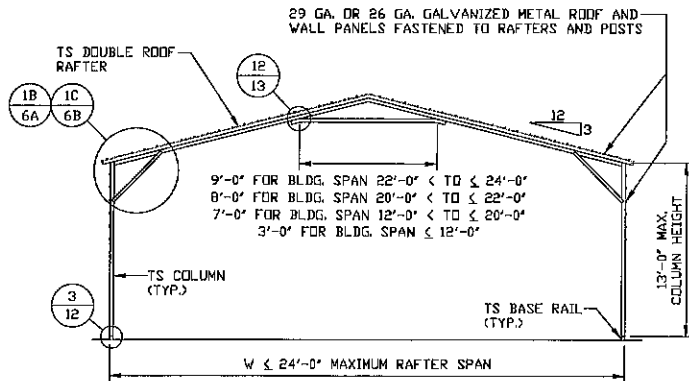
DATE: 3-21-22
SHT. 5

SCALE: NTS
JOB NO: 19164S/22020S
DWG. NO: SK-3
REV: 1

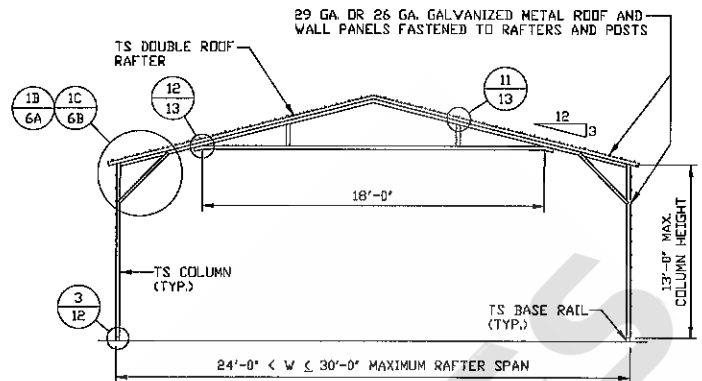
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60 PSF < SL ≤ 70 PSF

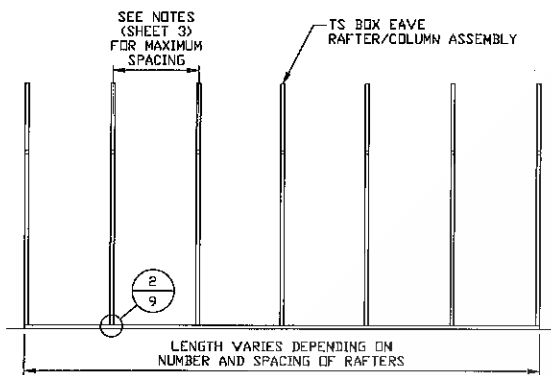
EXPOSURE B



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 5A

SCALE: NTS

DWG. NO: SK-3

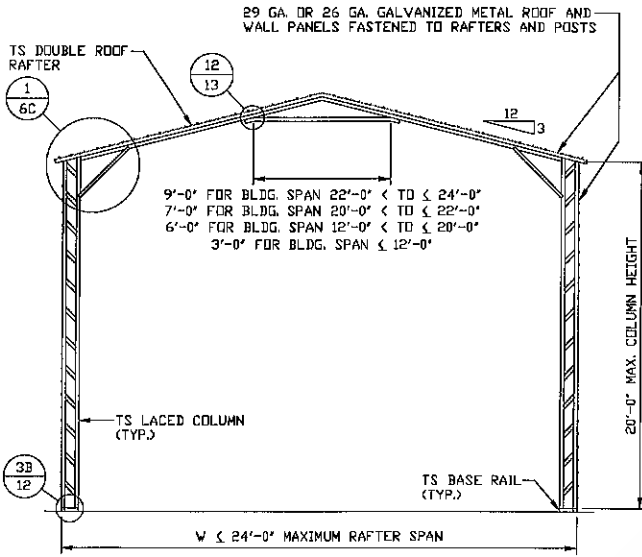
JOB NO:
19164S/22020S

REV: 1

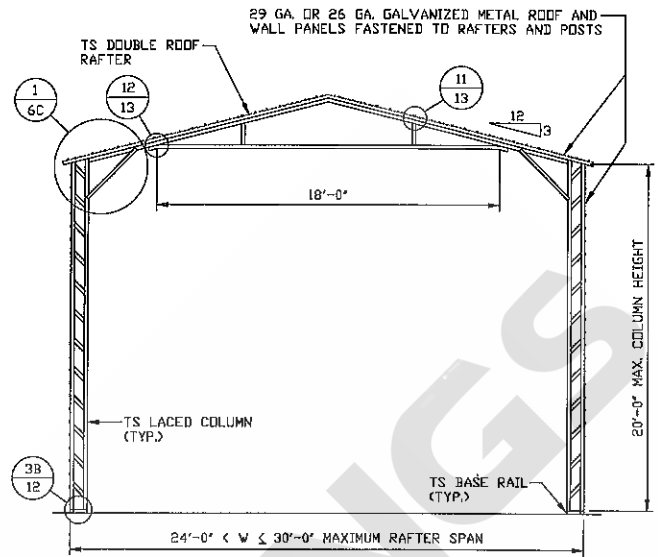
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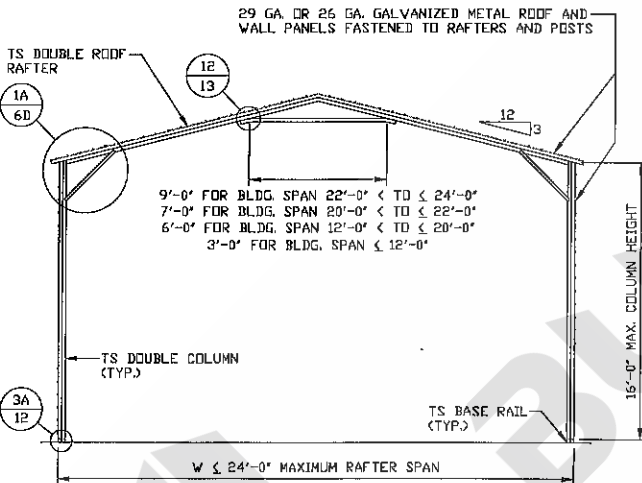
EXPOSURE C



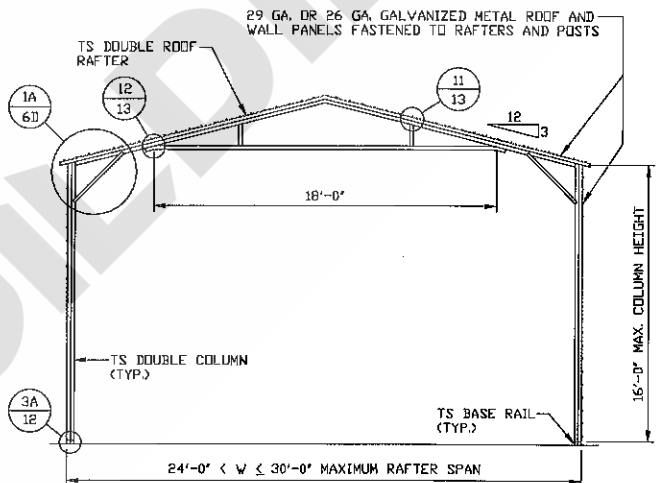
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT
CHECKED BY: PDH

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

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PROJECT MGR: WSM
CLIENT: TOL

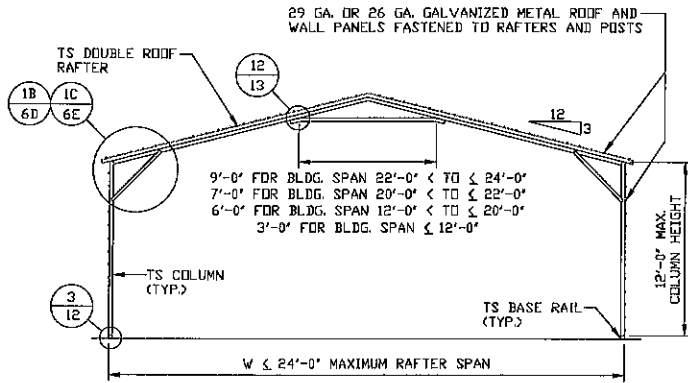
DATE: 3-21-22
SHT. 5B

SCALE: NTS
DWG. NO: SK-3

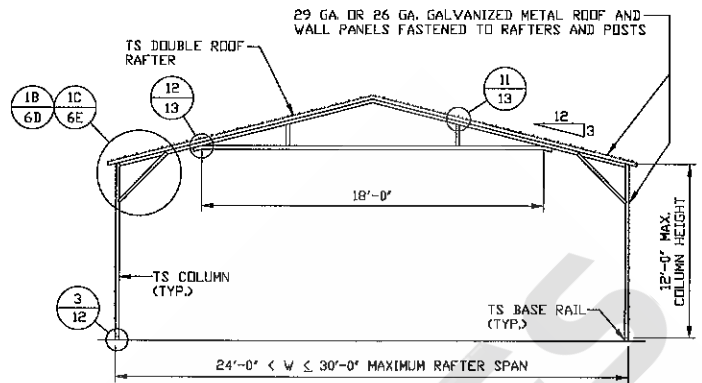
JOB NO: 19164S/22020S
REV: 1

60 PSF < SL ≤ 70 PSF

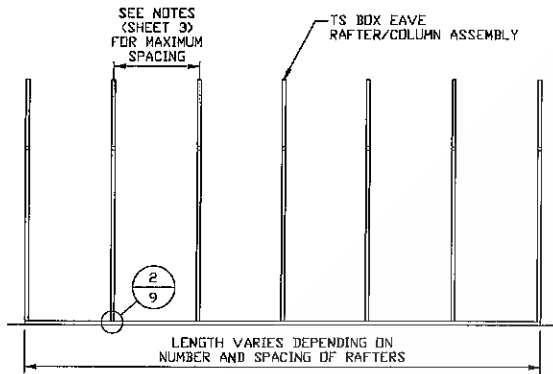
EXPOSURE C



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 5C

SCALE: NTS

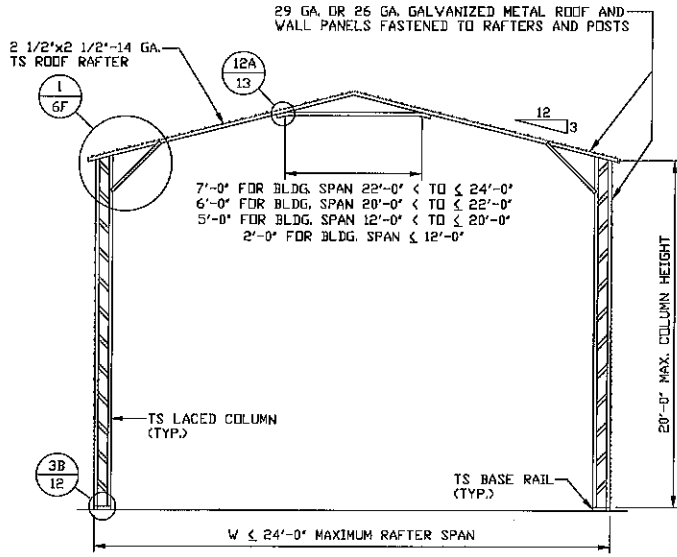
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**JOB NO:
19164S/22020S**

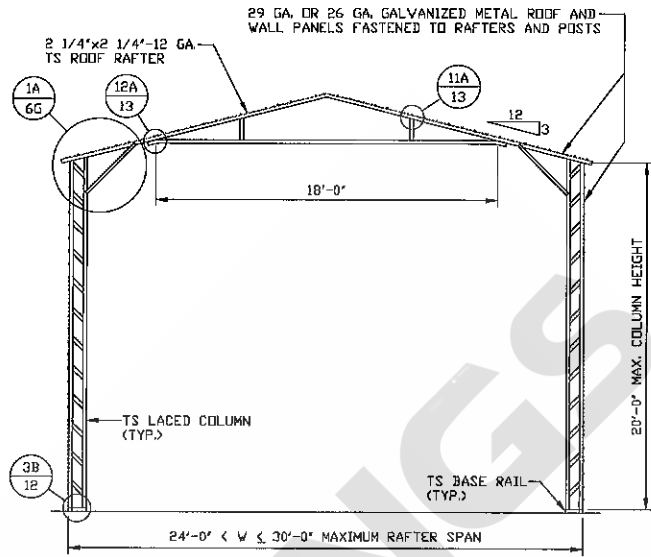
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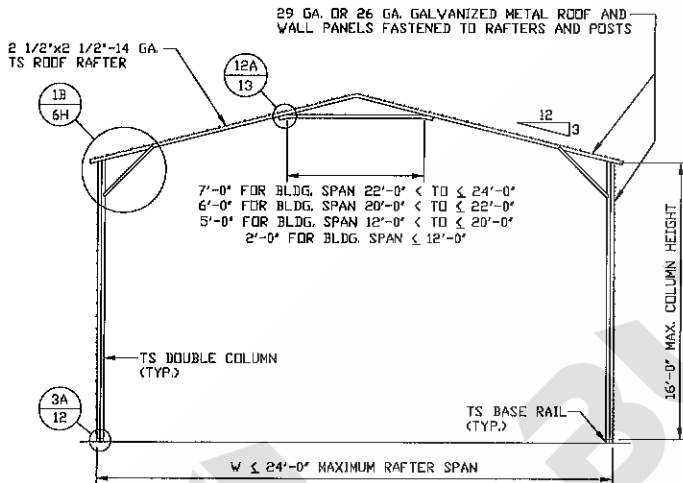
SL ≤ 60 PSF
EXPOSURE B/C



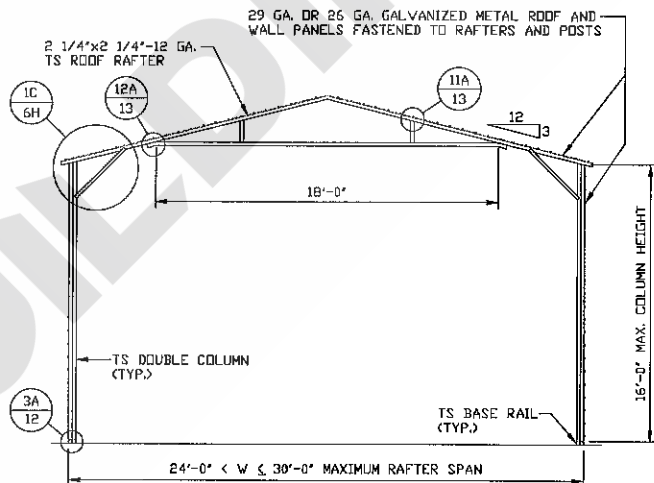
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

MOORE AND ASSOCIATES
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PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 5D

SCALE: NTS

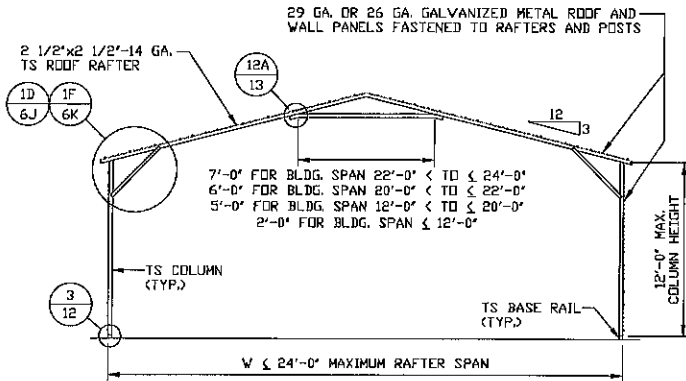
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JOB NO: 19164S/22020S

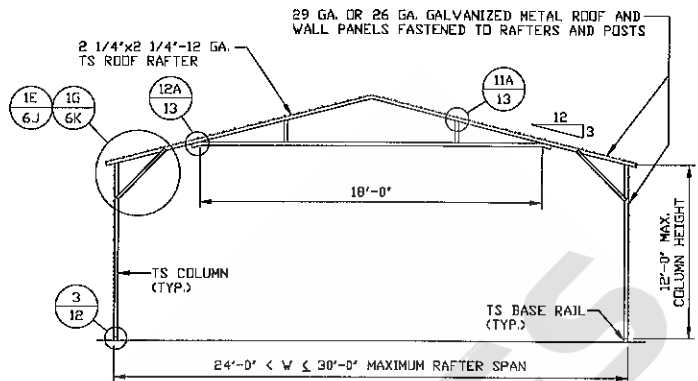
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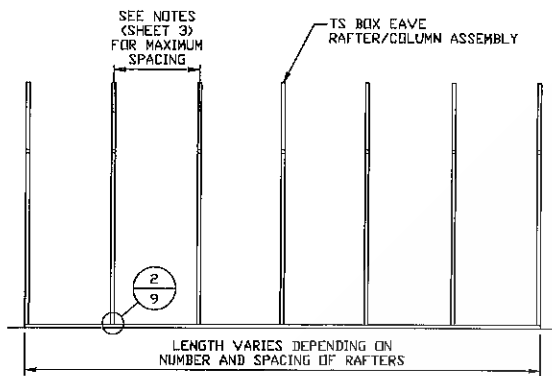
**SL ≤ 60 PSF
EXPOSURE B/C**



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
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DATE: 3-21-22

SHT. 5E

SCALE: NTS

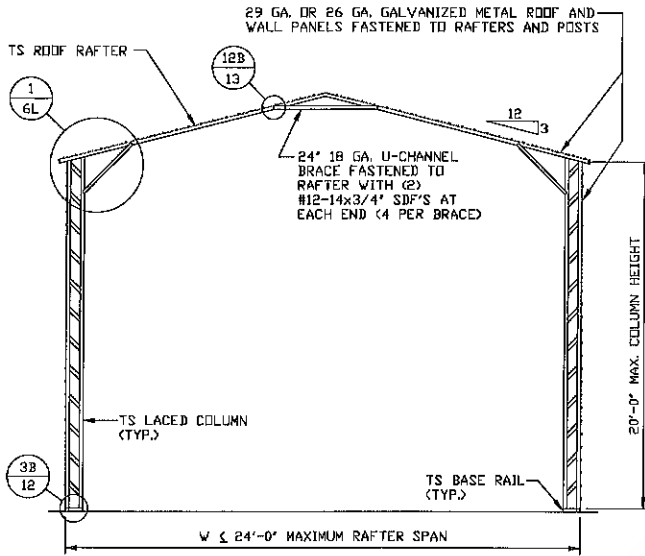
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**JOB NO:
19164S/22020S**

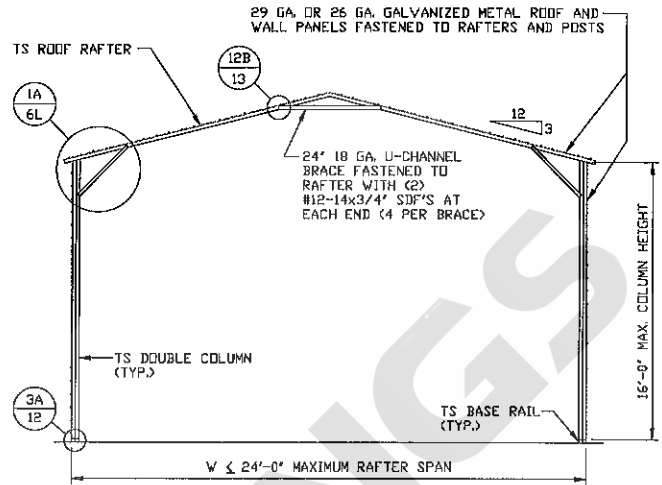
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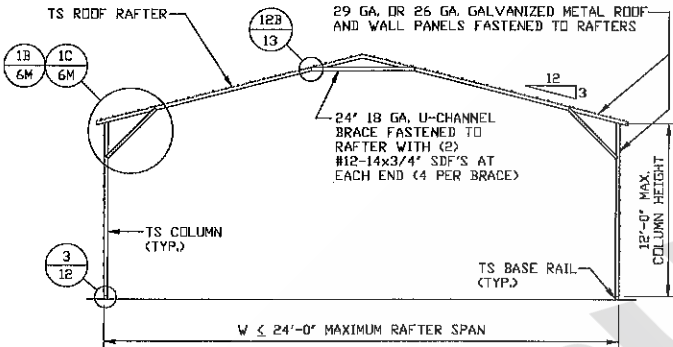
SL ≤ 30 PSF
EXPOSURE B/C



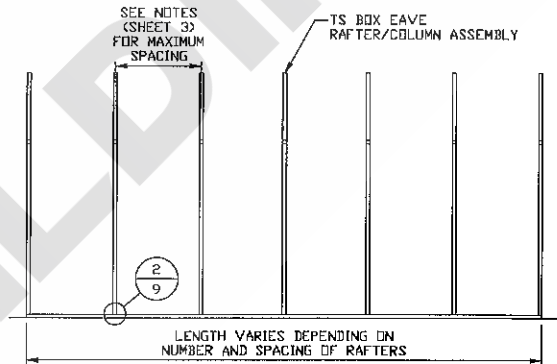
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 5F

SCALE: NTS

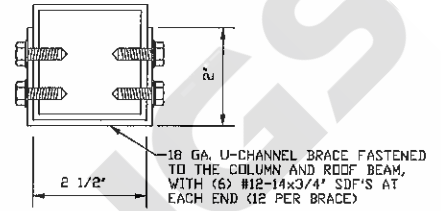
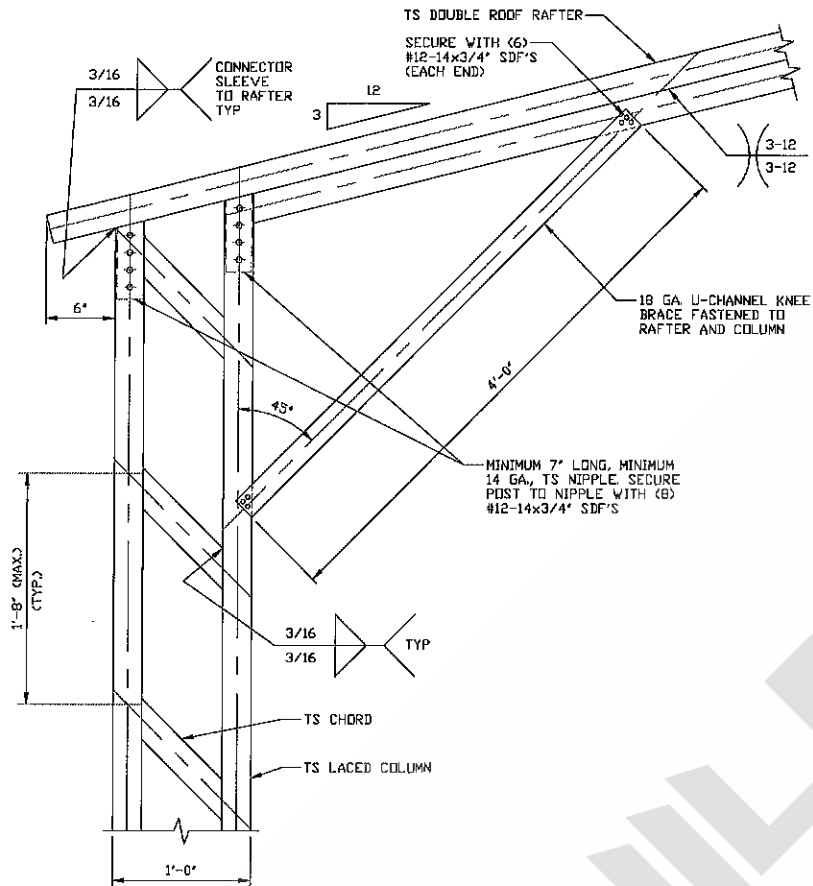
DWG. NO: SK-3

JOB NO: 19164S/22020S

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60 PSF < SL ≤ 70 PSF
EXPOSURE B



BRACE SECTION
 SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
HEIGHTS 15'-0" < TO ≤ 20'-0"
FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1
 SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
 P.O. BOX 542
 TOAST, NC 27049
 30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6

SCALE: NTS

DWG. NO: SK-3

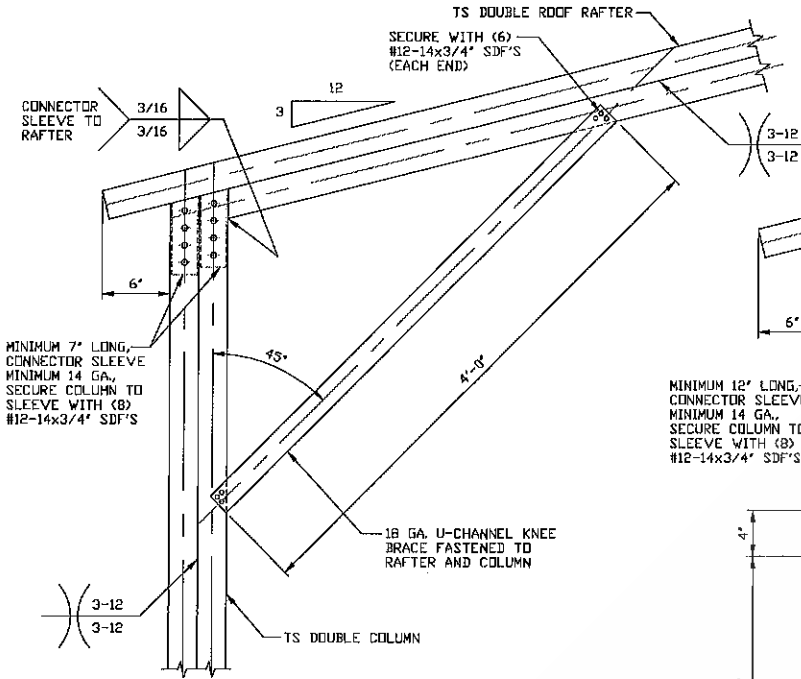
JOB NO:
19164S/22020S

REV: 1

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60 PSF < SL ≤ 70 PSF

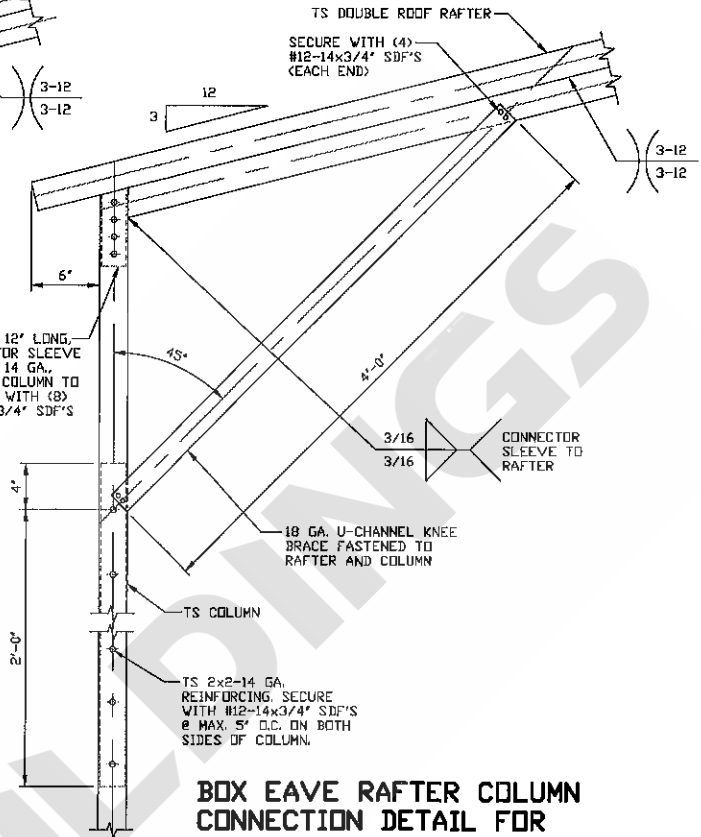
EXPOSURE B



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 13'-0" < TO ≤ 16'-0" HEIGHTS 11'-0" < TO ≤ 15'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1A

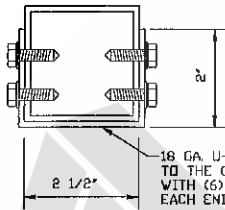
SCALE: NTS



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO ≤ 13'-0" HEIGHTS 9'-0" < TO ≤ 11'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

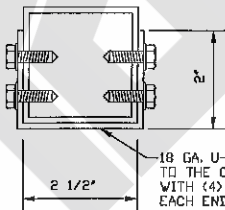
1B

SCALE: NTS



BRACE SECTION

SCALE: NTS



BRACE SECTION

SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6A

SCALE: NTS

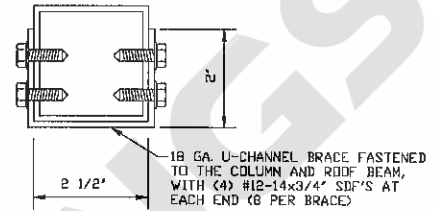
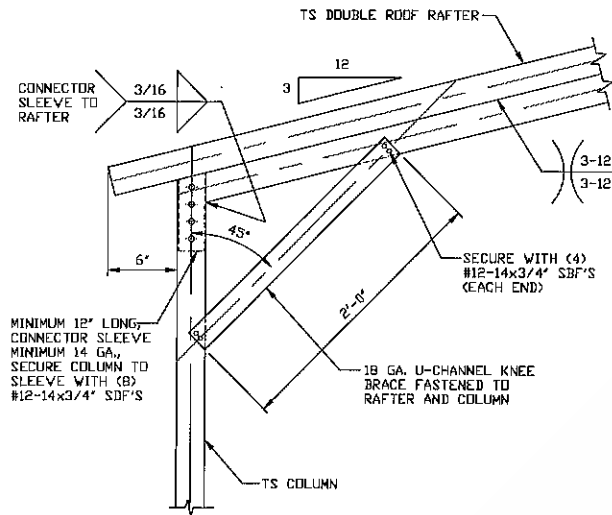
DWG. NO: SK-3

JOB NO: 19164S/22020S

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EXPOSURE B



BRACE SECTION
 SCALE: NTS

**BOX EAVE RAFTER COLUMN
 CONNECTION DETAIL FOR
 HEIGHTS < 11'-0"
 HEIGHTS < 9'-0"
 FOR APPLICABLE RISK
 CATEGORY WIND SPEEDS**

1C
 SCALE: NTS

**MOORE AND ASSOCIATES
 ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

**TOL BUILDINGS, INC.
 P.O. BOX 542**

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6B

SCALE: NTS

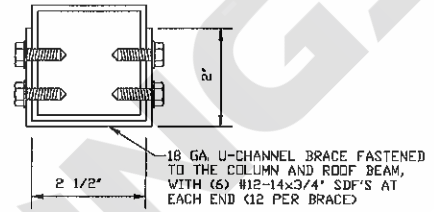
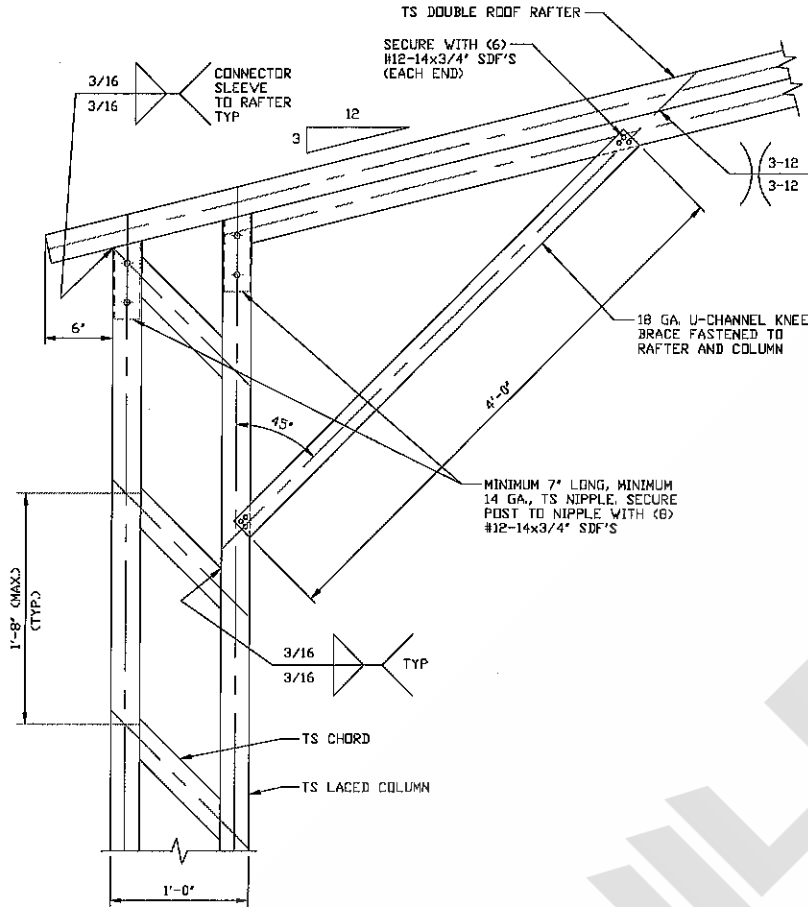
DWG. NO: SK-3

**JOB NO:
 19164S/P2020S**

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EXPOSURE C



BRACE SECTION
SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
HEIGHTS 14'-0" < TO ≤ 20'-0"
FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1

SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6C

SCALE: NTS

DWG. NO: SK-3

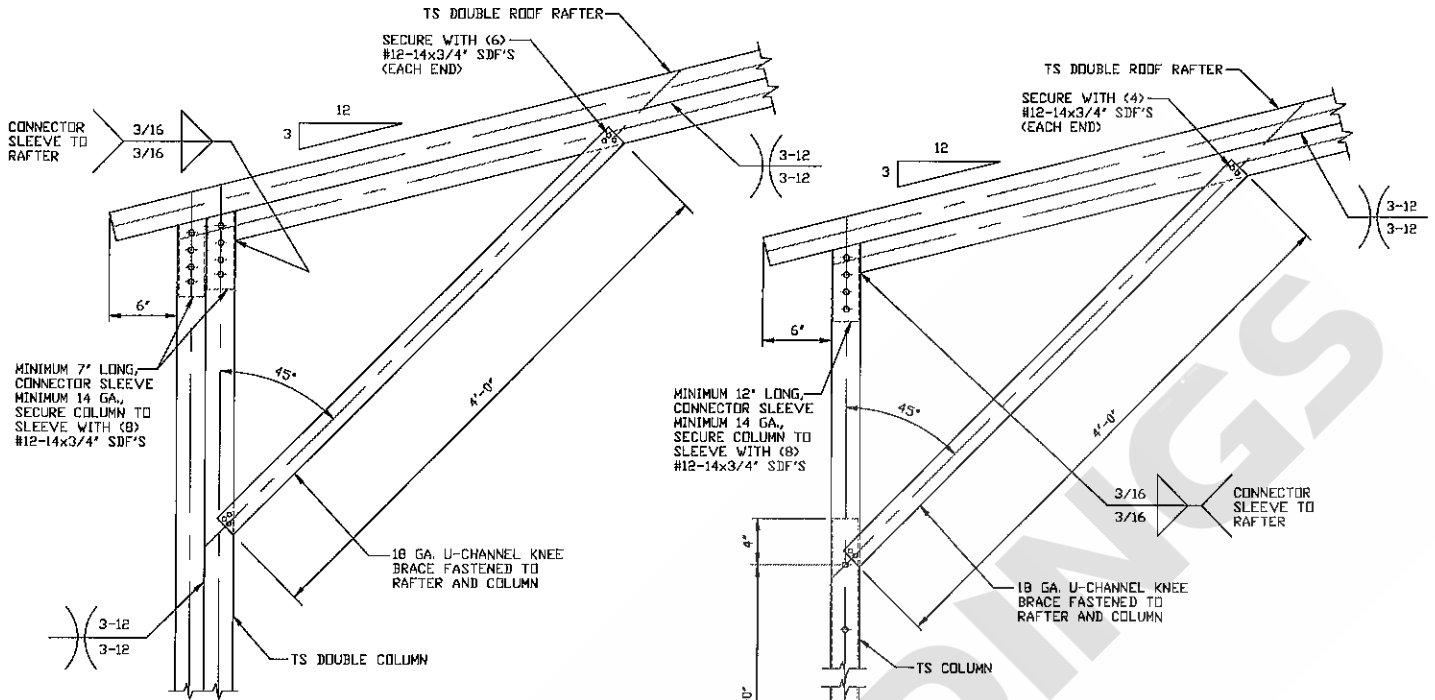
JOB NO:
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60 PSF < SL ≤ 70 PSF

EXPOSURE C



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12'-0" < TO ≤ 16'-0" HEIGHTS 10'-0" < TO ≤ 14'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

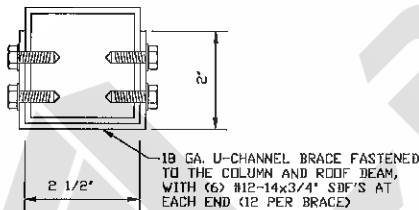
1A

SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10'-0" < TO ≤ 12'-0" HEIGHTS 9'-0" < TO ≤ 10'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

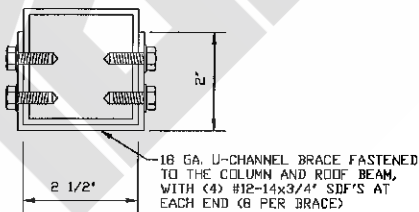
1B

SCALE: NTS



BRACE SECTION

SCALE: NTS



BRACE SECTION

SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6D

SCALE: NTS

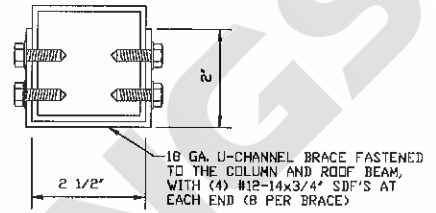
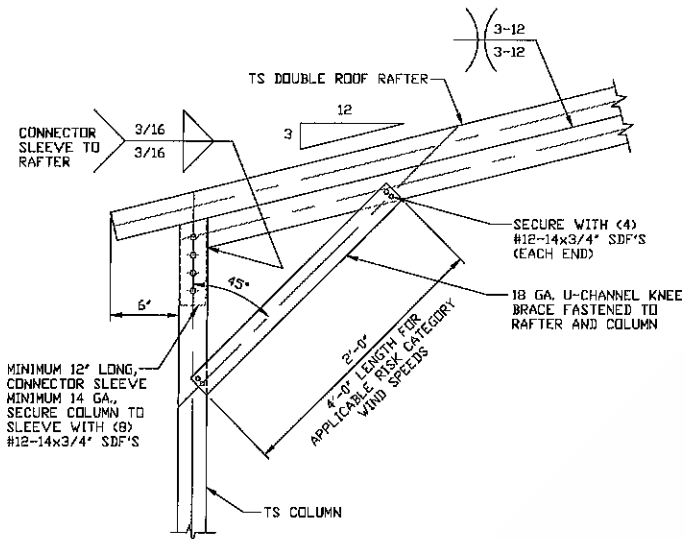
DWG. NO: SK-3

JOB NO: 19164S/22020S

REV: 1

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60 PSF < SL ≤ 70 PSF
EXPOSURE C



BRACE SECTION
SCALE: NTS

**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS ≤ 10'-0"
HEIGHTS ≤ 9'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1C

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6E

SCALE: NTS

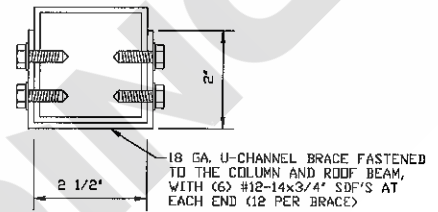
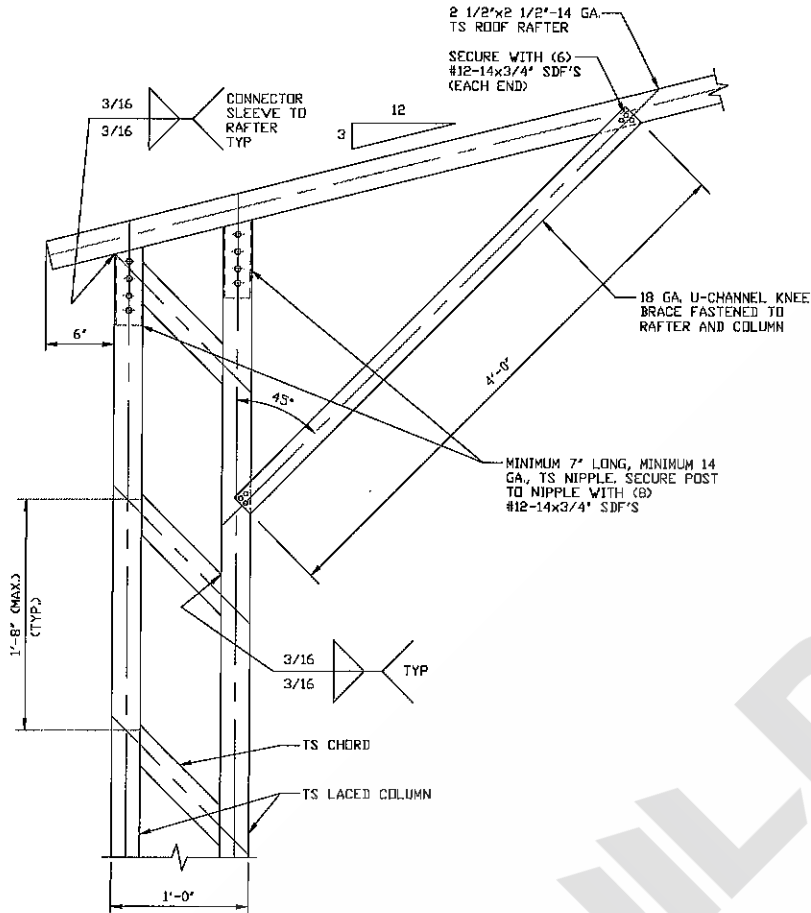
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

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**SL ≤ 60 PSF
EXPOSURE B/C**



BRACE SECTION
SCALE: NTS

**BOX EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
HEIGHTS 15'-0" < TO ≤ 20'-0"
FOR APPLICABLE RISK CATEGORY WIND SPEEDS**

1

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6F

SCALE: NTS

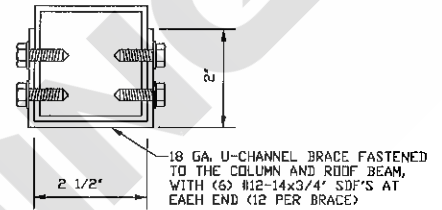
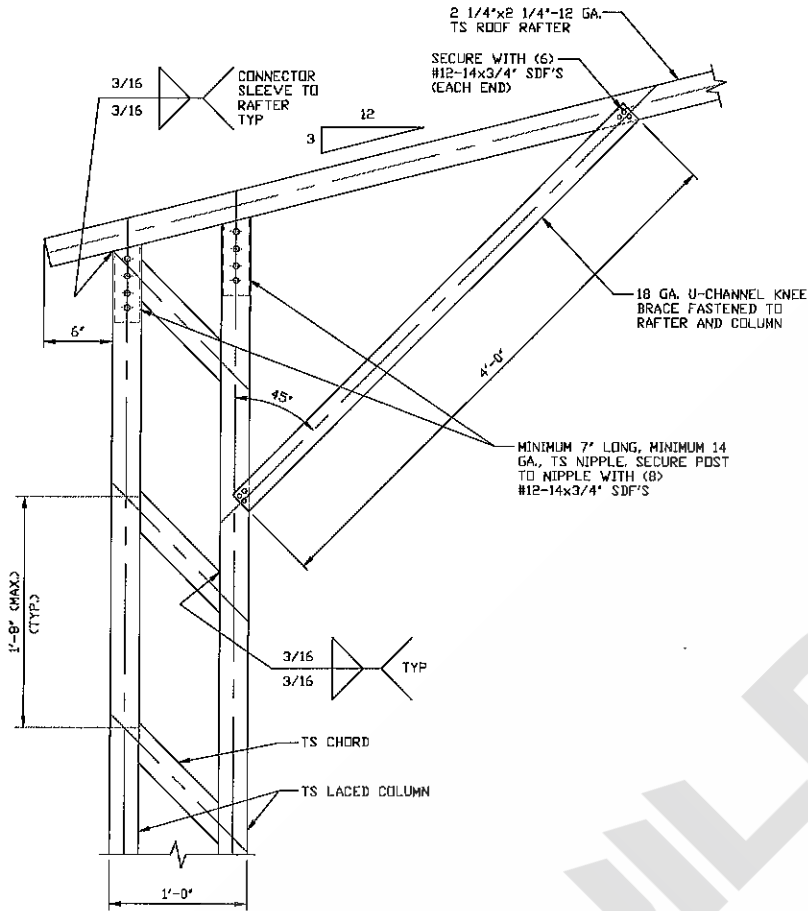
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

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**SL ≤ 60 PSF
EXPOSURE B/C**



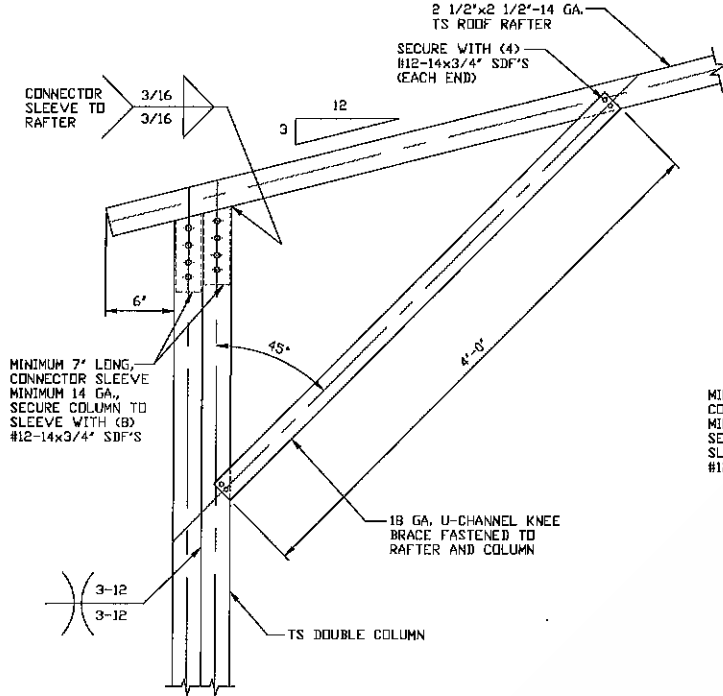
BRACE SECTION
SCALE: NTS

**BOX EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
HEIGHTS 15'-0" < TO ≤ 20'-0"
FOR APPLICABLE RISK CATEGORY WIND SPEEDS**
SCALE: NTS

1A

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0"x20'-0" ENCLOSED STRUCTURE		
	CHECKED BY: PDH	PROJECT MGR: WSM	DATE: 3-21-22	SCALE: NTS
<small>THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.</small>	CLIENT: TOL	SHT. 6G	DWG. NO: SK-3	REV: 1

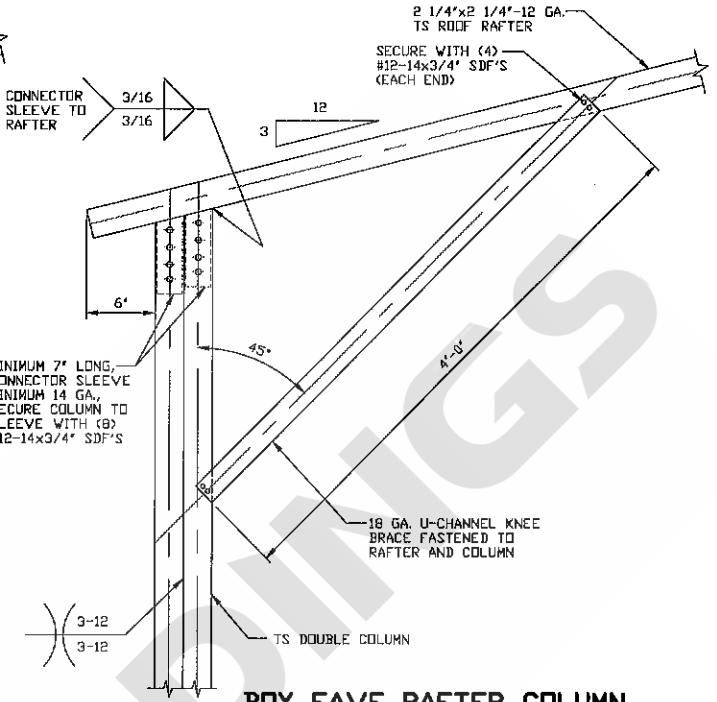
**SL ≤ 60 PSF
EXPOSURE B/C**



**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 12'-0" < TO ≤ 16'-0"
HEIGHTS 11'-0" < TO ≤ 15'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1B

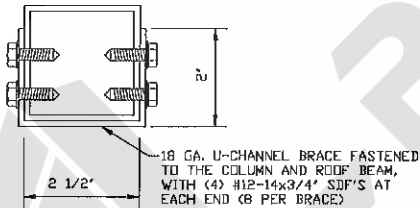
SCALE: NTS



**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 12'-0" < TO ≤ 16'-0"
HEIGHTS 11'-0" < TO ≤ 15'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1C

SCALE: NTS



BRACE SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6H

SCALE: NTS

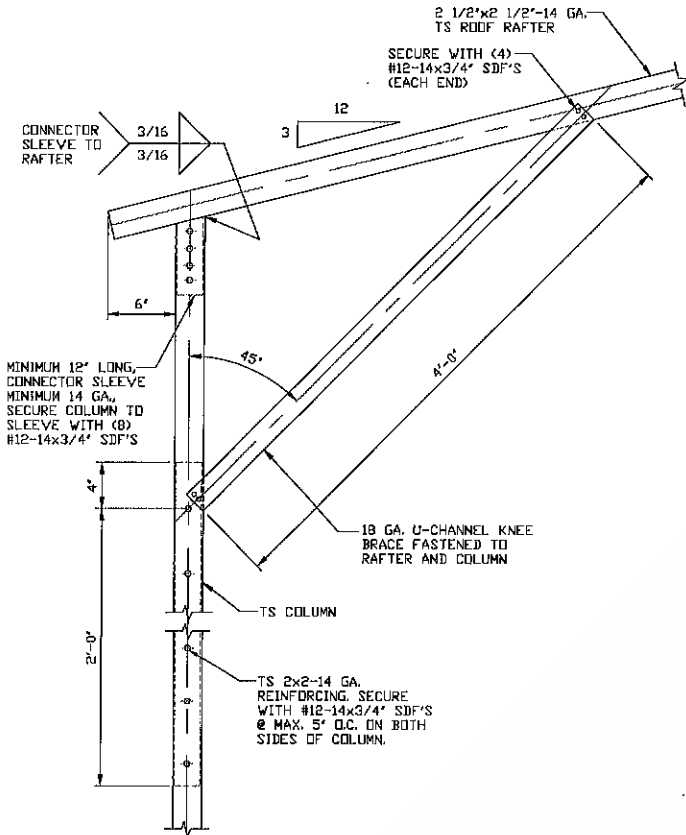
DWG. NO: SK-3

**JOB NO:
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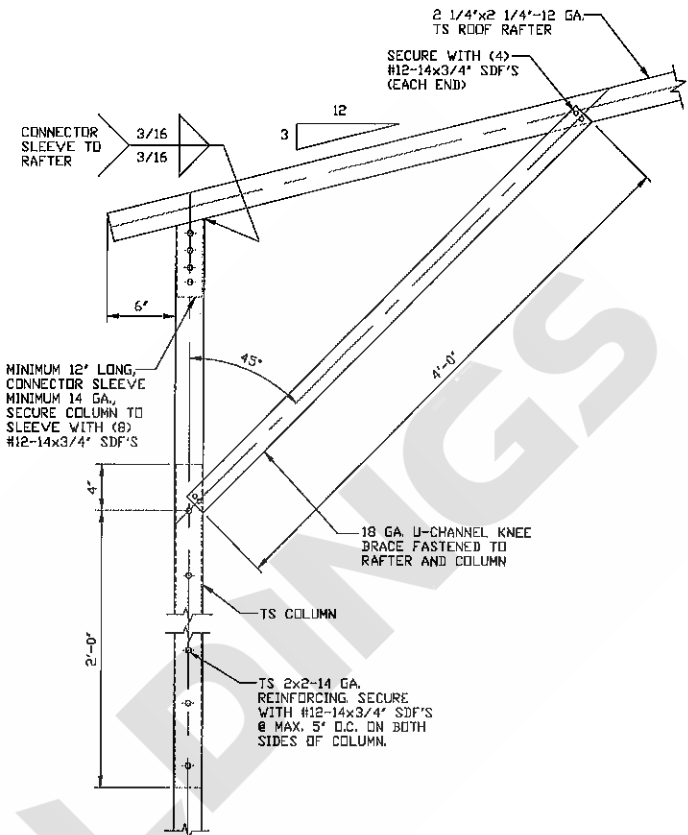
**SL ≤ 60 PSF
EXPOSURE B/C**



**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 11'-0" < TO ≤ 12'-0"
HEIGHTS 9'-0" < TO ≤ 11'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1D

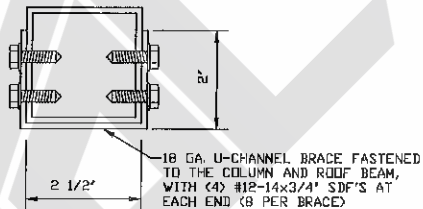
SCALE: NTS



**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 11'-0" < TO ≤ 12'-0"
HEIGHTS 9'-0" < TO ≤ 11'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1E

SCALE: NTS



BRACE SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

**TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE**

DATE: 3-21-22

SHT. 6J

SCALE: NTS

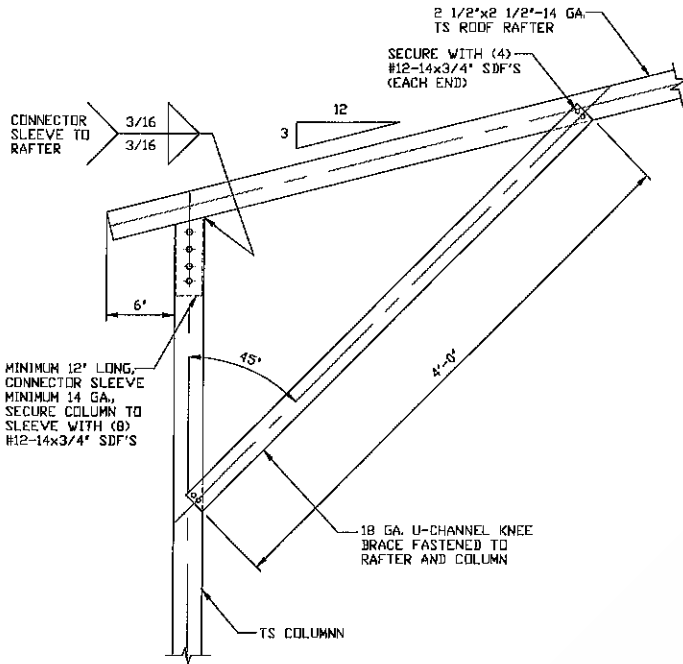
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**JOB NO:
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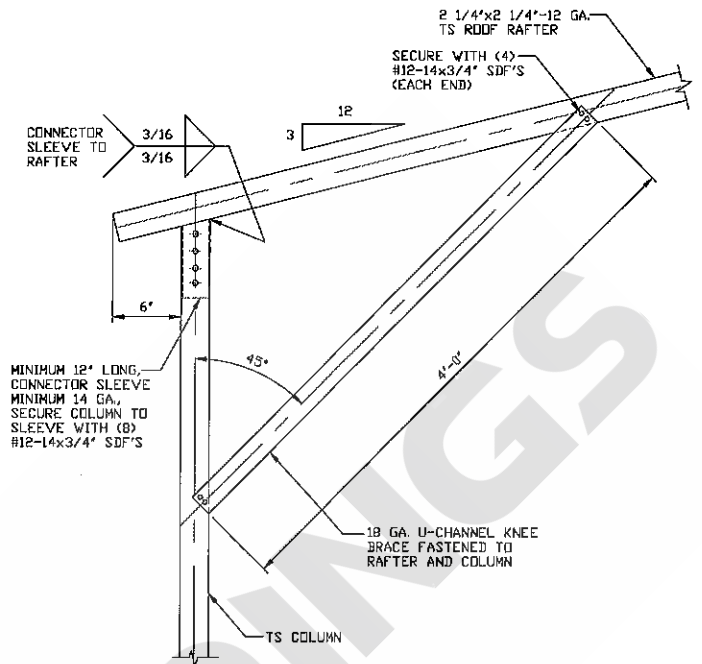
**SL ≤ 60 PSF
EXPOSURE B/C**



1F

**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS ≤ 11'-0"
HEIGHTS ≤ 9'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

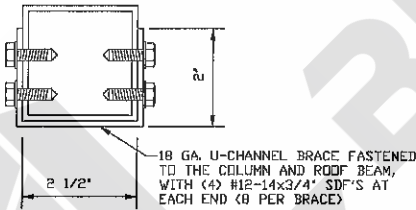
SCALE: NTS



1G

**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS ≤ 11'-0"
HEIGHTS ≤ 9'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

SCALE: NTS



BRACE SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

**TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE**

DATE: 3-21-22

SHT. 6K

SCALE: NTS

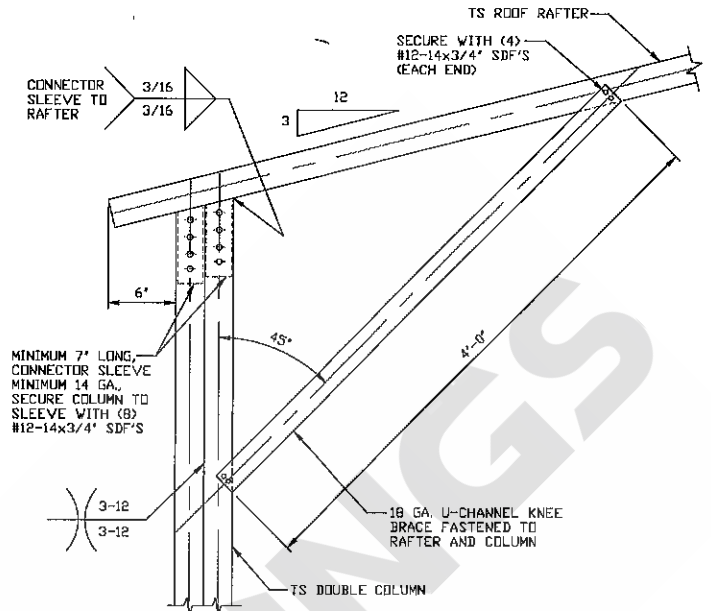
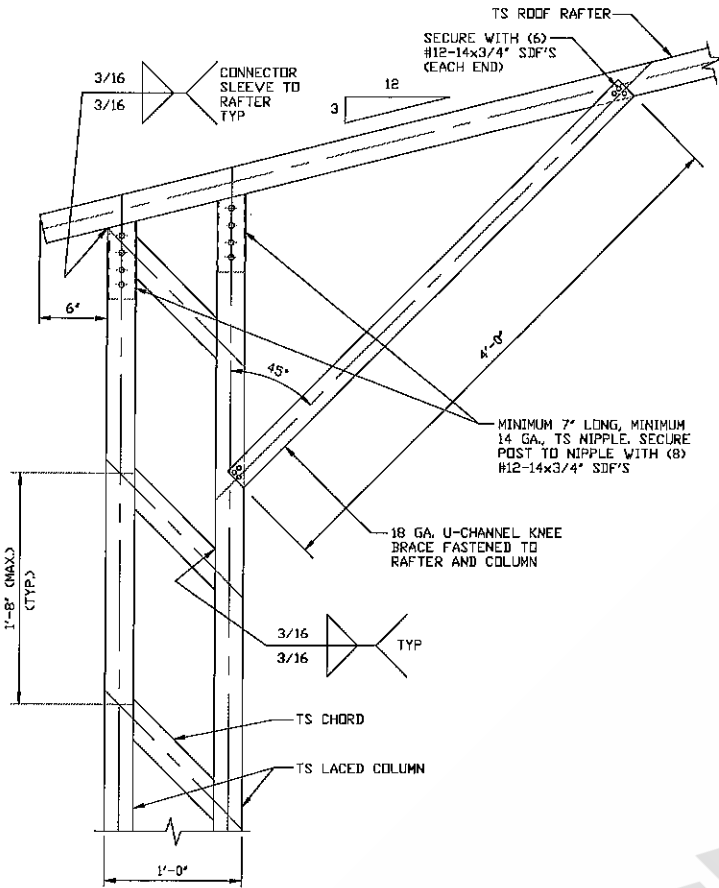
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**JOB NO:
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SL ≤ 30 PSF
EXPOSURE B/C



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12'-0" < TO ≤ 16'-0" HEIGHTS 11'-0" < TO ≤ 15'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

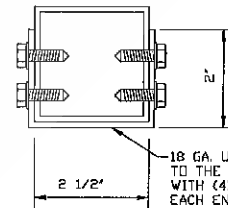
1A

SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 16'-0" < TO ≤ 20'-0" HEIGHTS 15'-0" < TO ≤ 20'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

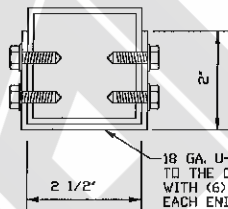
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SCALE: NTS



BRACE SECTION

SCALE: NTS



BRACE SECTION

SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 6L

SCALE: NTS

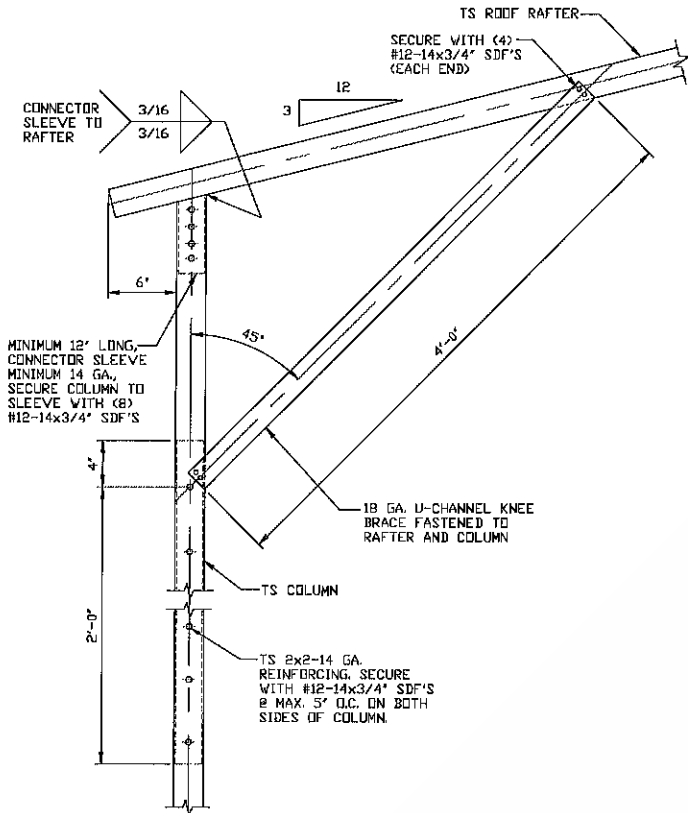
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JOB NO: 19164S/22020S

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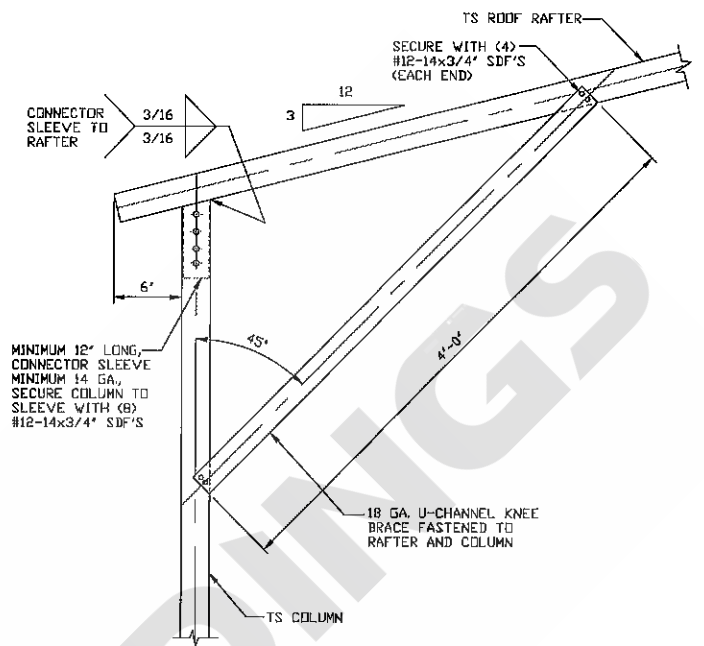
**SL ≤ 30 PSF
EXPOSURE B/C**



**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 11'-0" < TO ≤ 12'-0"
HEIGHTS 9'-0" < TO ≤ 11'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1B

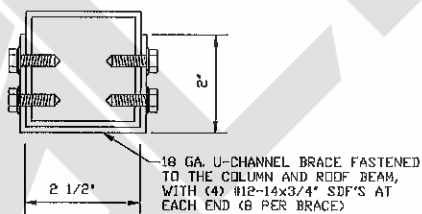
SCALE: NTS



**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS ≤ 11'-0"
HEIGHTS ≤ 9'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1C

SCALE: NTS



BRACE SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

**TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE**

DATE: 3-21-22

SHT. 6M

SCALE: NTS

DWG. NO: SK-3

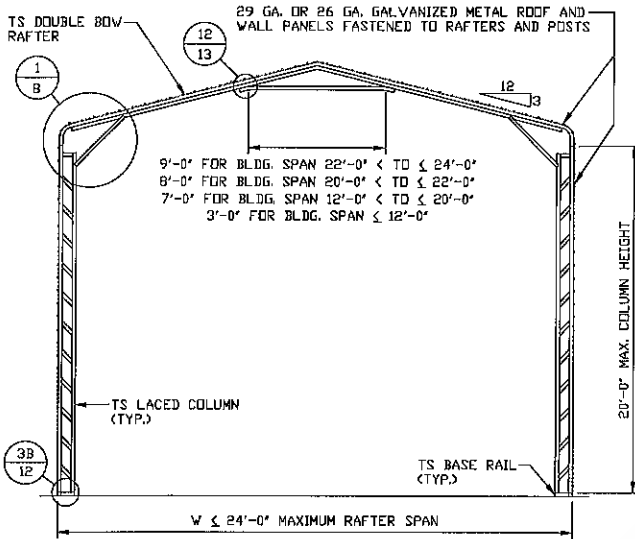
**JOB NO:
19164S/22020S**

REV: 1

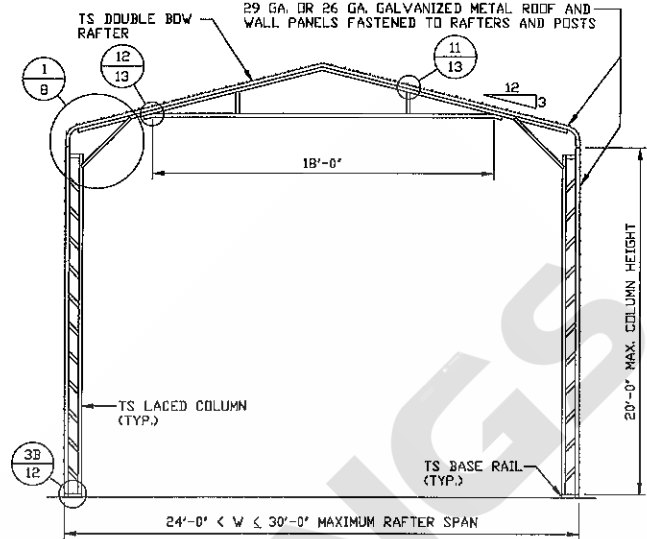
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60 PSF < SL ≤ 70 PSF

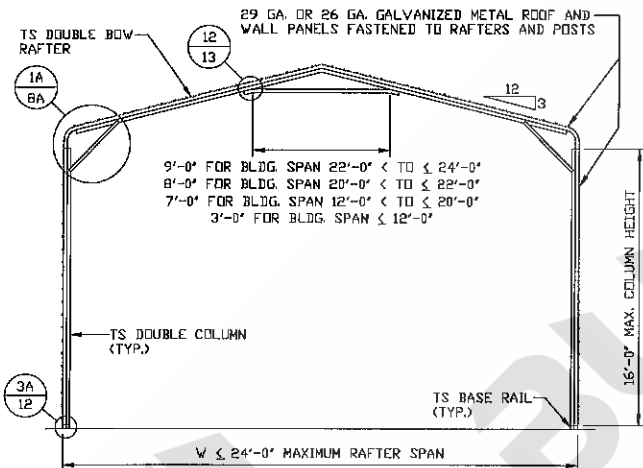
EXPOSURE B



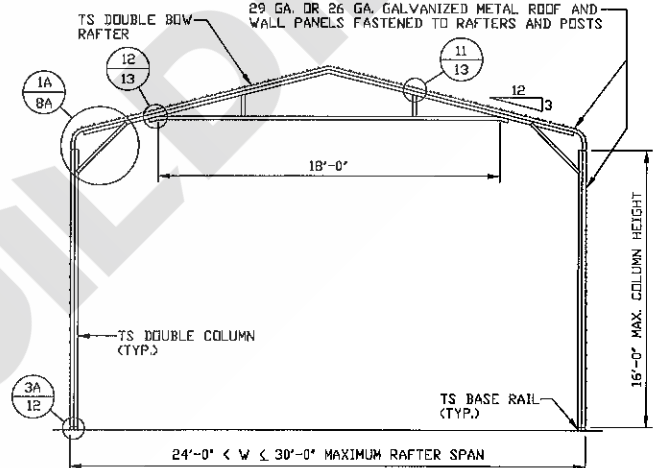
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PJH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 7

SCALE: NTS

DWG. NO: SK-3

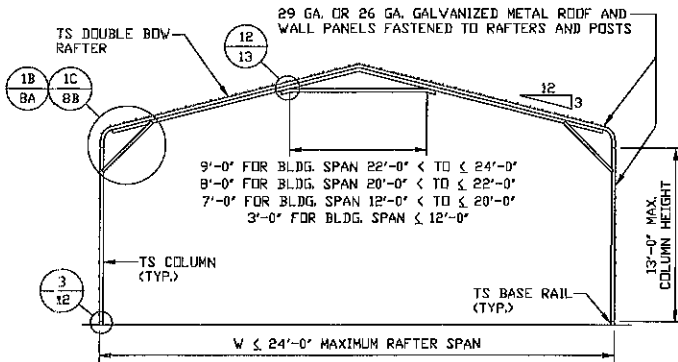
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REV: 1

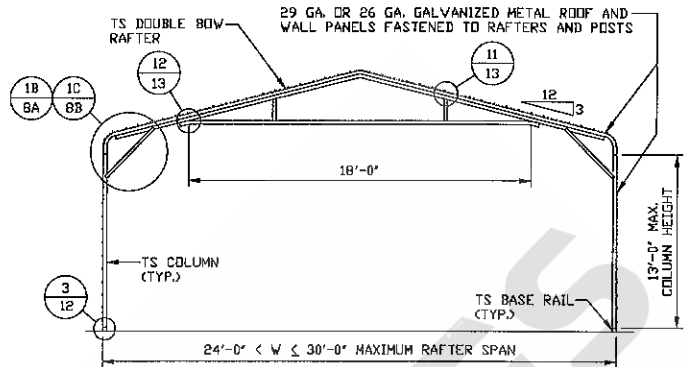
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60 PSF < SL ≤ 70 PSF

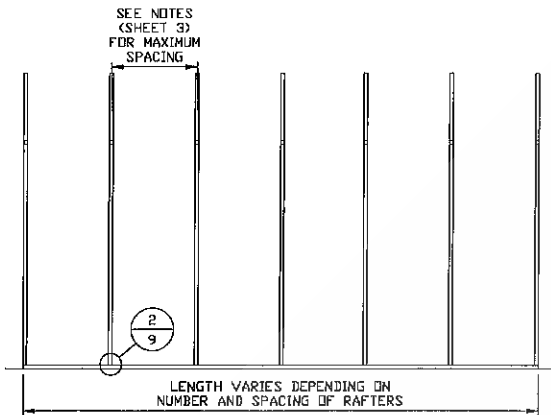
EXPOSURE B



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 7A

SCALE: NTS

DWG. NO SK-3

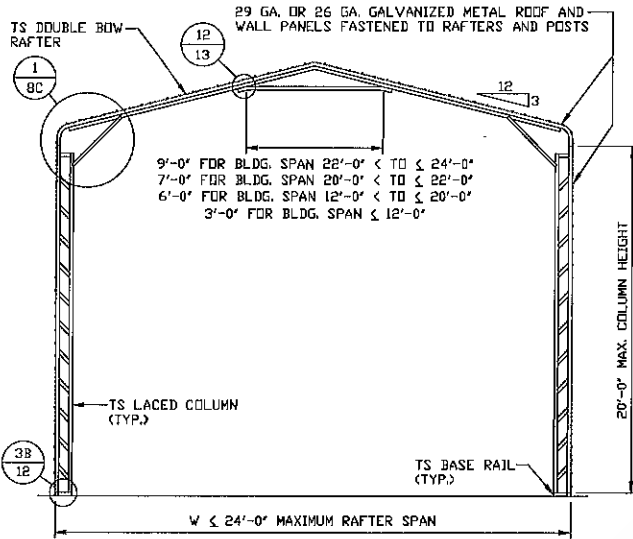
**JOB NO:
19164S/22020S**

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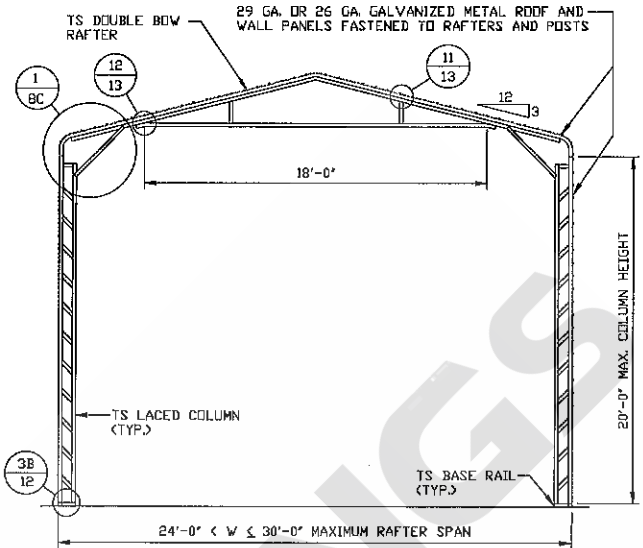
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EXPOSURE C



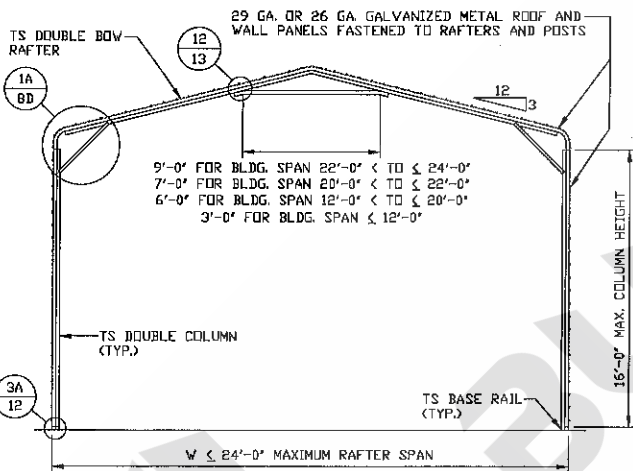
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



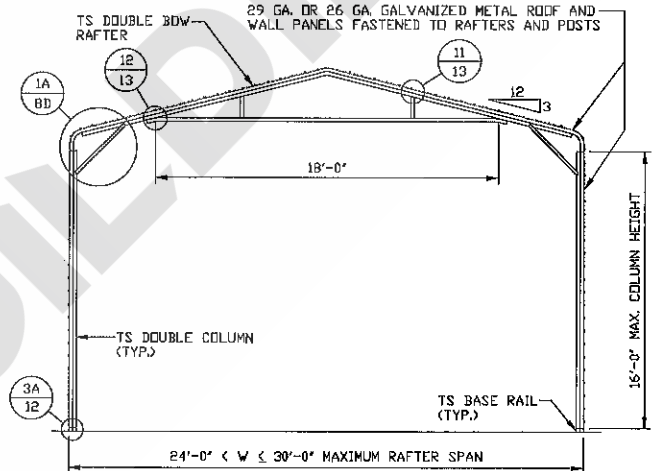
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 7B

SCALE: NTS

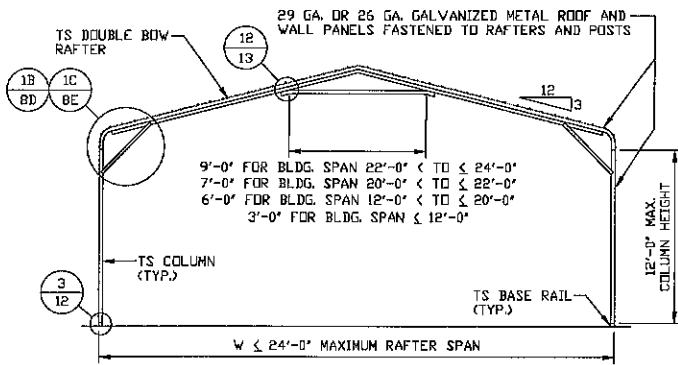
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JOB NO:
19164S/22020S

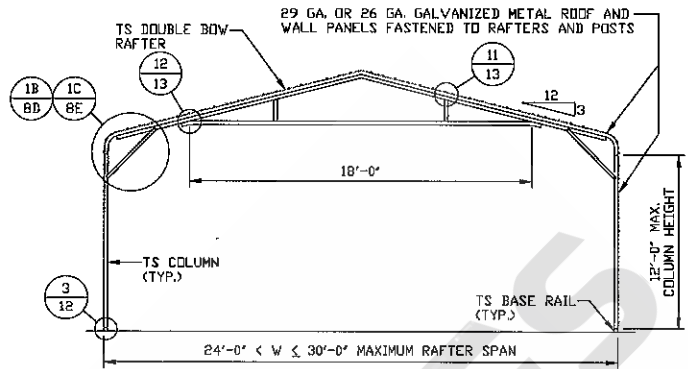
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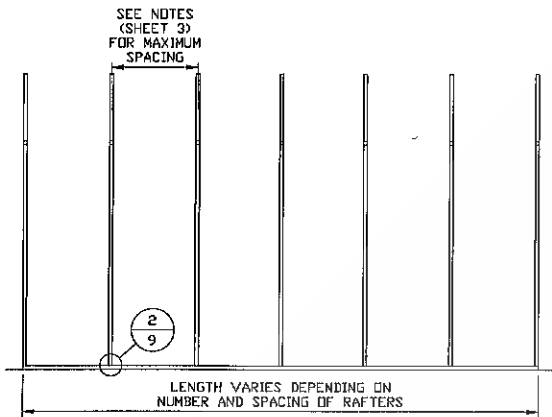
60 PSF < SL ≤ 70 PSF
EXPOSURE C



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 7C

SCALE: NTS

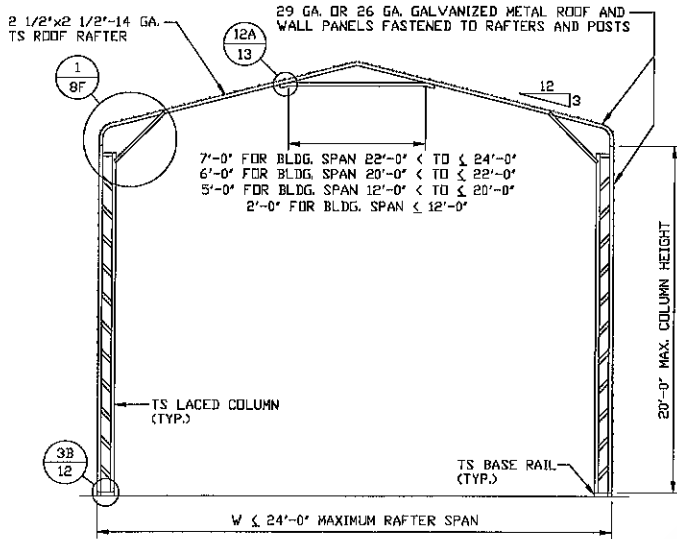
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**JOB NO:
19164S/22020S**

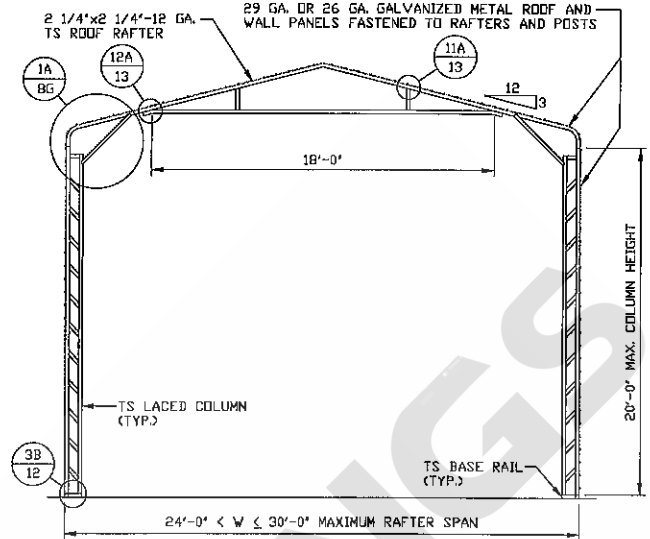
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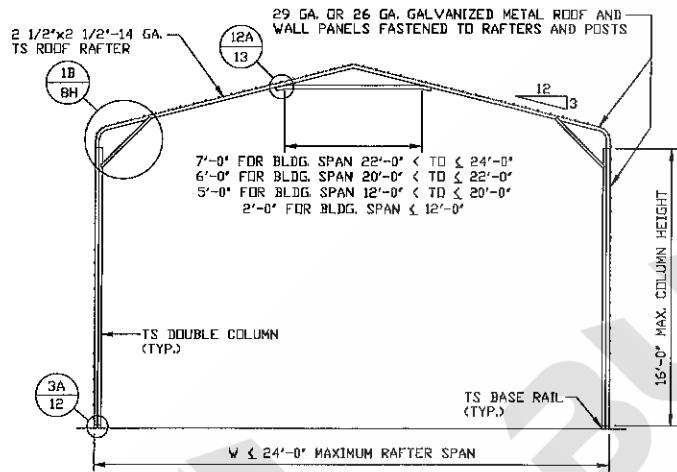
SL ≤ 60 PSF
EXPOSURE B/C



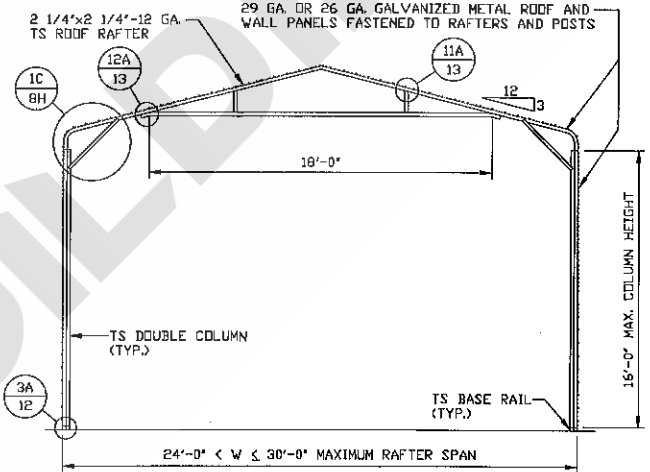
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 7D

SCALE: NTS

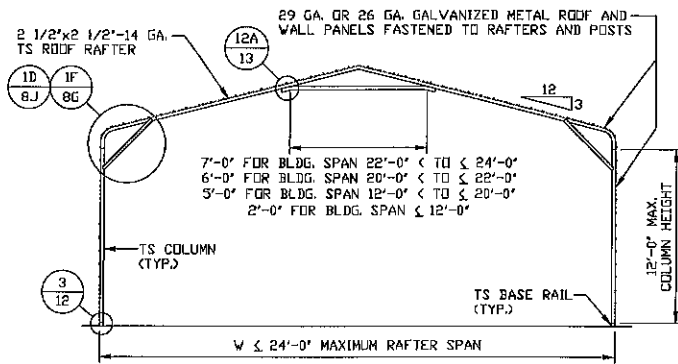
DWG. NO: SK-3

JOB NO: 19164S/22020S

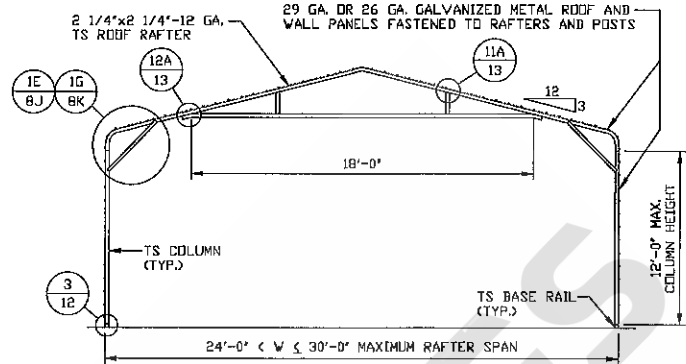
REV. 1

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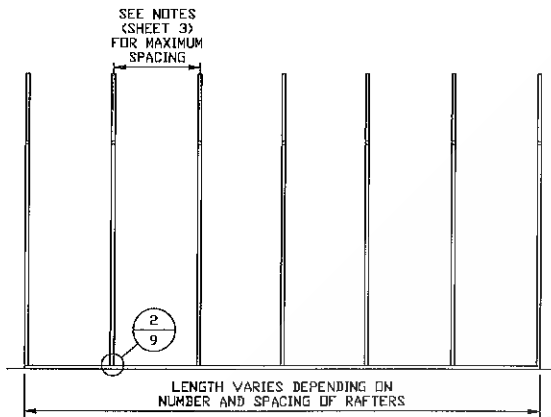
SL ≤ 60 PSF
EXPOSURE B/C



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 7E

SCALE: NTS

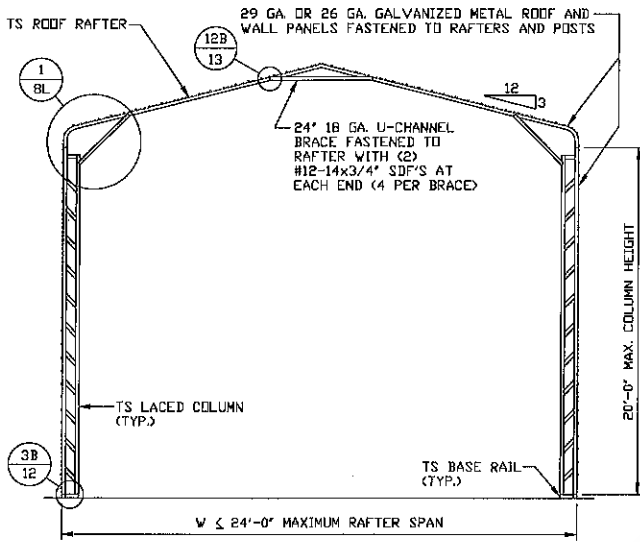
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

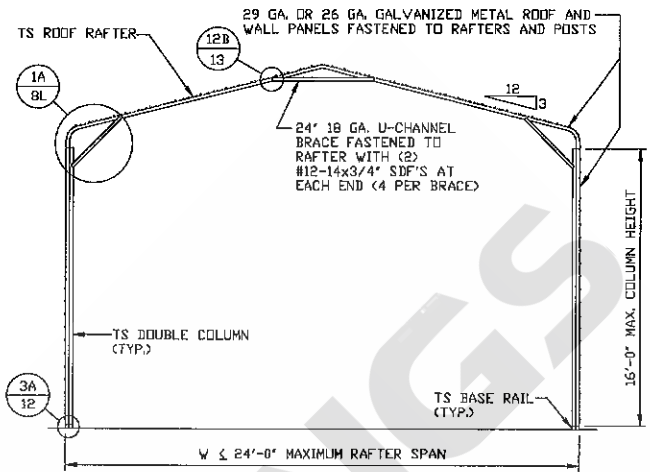
REV: 1

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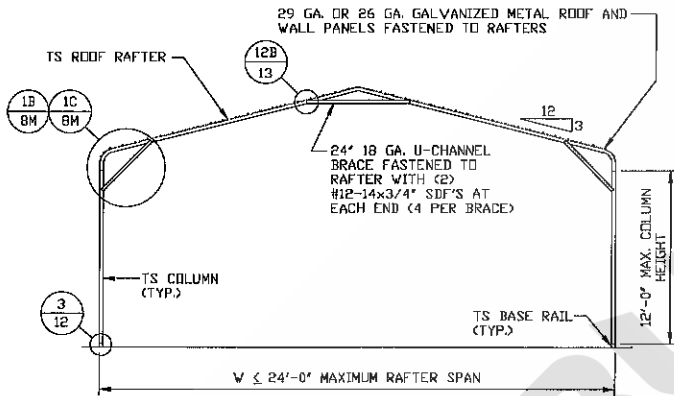
SL ≤ 30 PSF
EXPOSURE B/C



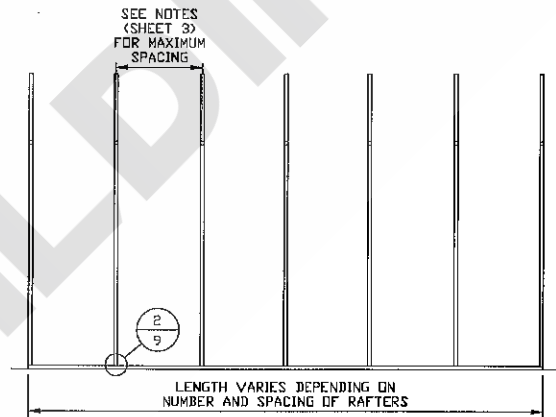
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 7F

SCALE: NTS

DWG. NO: SK-3

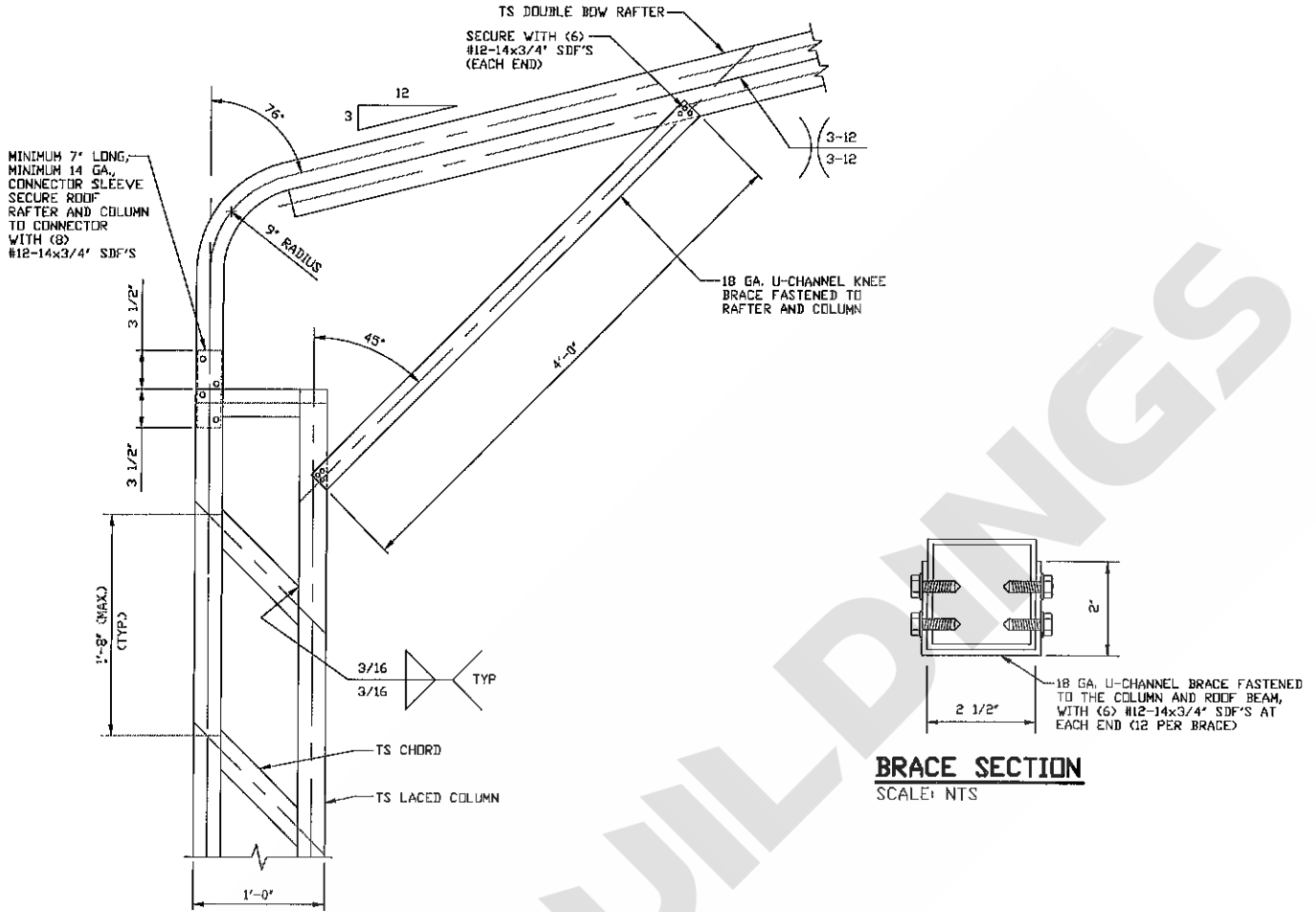
JOB NO: 19164S/22020S

REV: 1

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60 PSF < SL ≤ 70 PSF

EXPOSURE B



**BOW EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
HEIGHTS 15'-0" < TO ≤ 20'-0"
FOR APPLICABLE RISK CATEGORY WIND SPEEDS**

1
SCALE: NTS

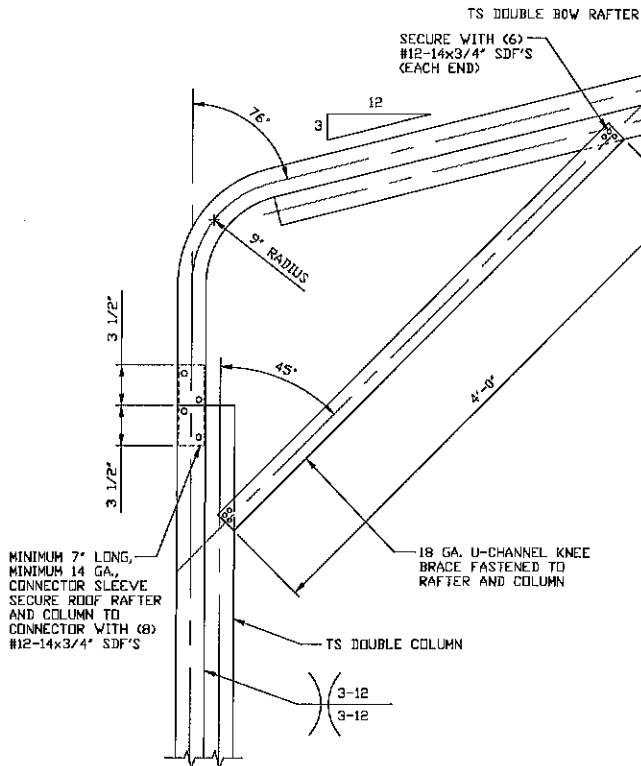
BRACE SECTION
SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.		TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0" x 20'-0" ENCLOSED STRUCTURE			
		DRAWN BY: LT	CHECKED BY: PDH		
PROJECT MGR: WSH		DATE: 3-21-22	SCALE: NTS	REV: 1	
CLIENT: TOL		SHT. 8	DWG. NO: SK-3	REV: 1	

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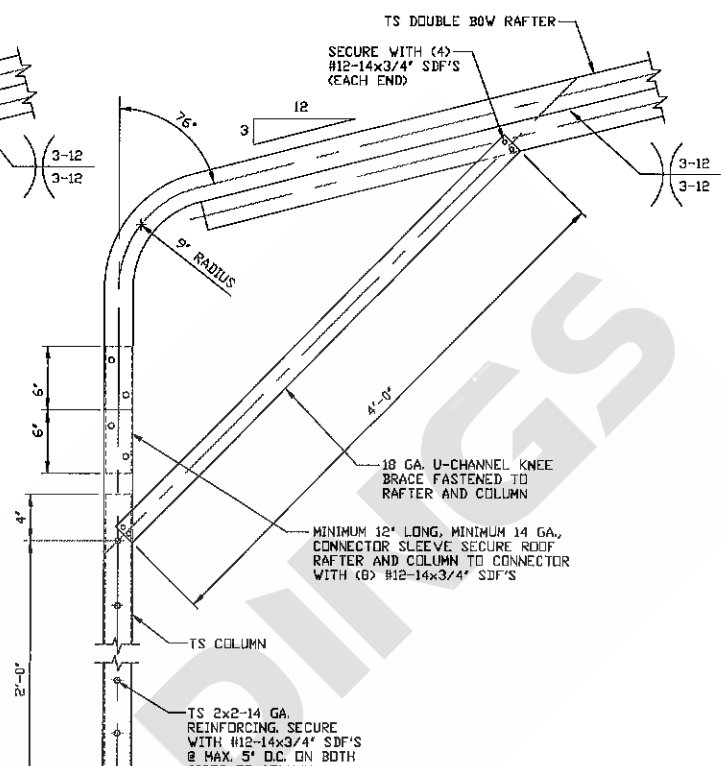
60 PSF < SL ≤ 70 PSF

EXPOSURE B



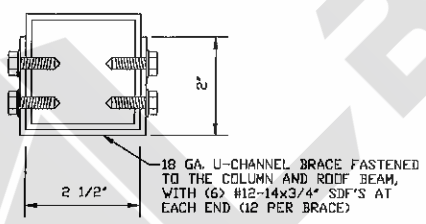
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 13'-0" < TO ≤ 16'-0" HEIGHTS 11'-0" < TO ≤ 15'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1A
SCALE: NTS

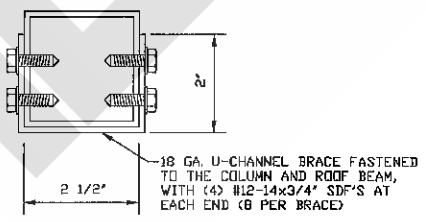


BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO ≤ 13'-0" HEIGHTS 9'-0" < TO ≤ 11'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1B
SCALE: NTS



BRACE SECTION
SCALE: NTS



BRACE SECTION
SCALE: NTS

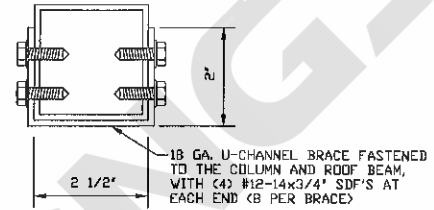
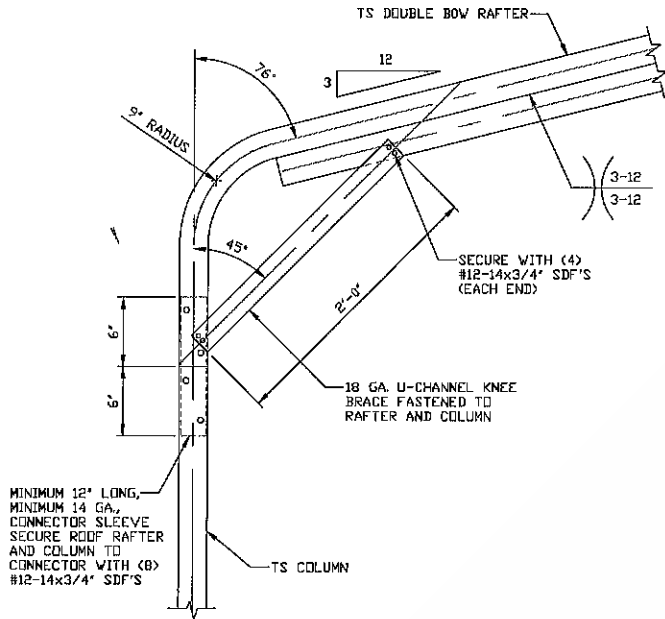
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT	TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0" x 20'-0" ENCLOSED STRUCTURE		
CHECKED BY: PDH	DATE: 3-21-22	SCALE: NTS	JOB NO: 19164S/22020S
PROJECT MGR: WSM	SHT: BA	DWG. NO: SK-3	REV: 1
CLIENT: TOL			

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60 PSF < SL ≤ 70 PSF

EXPOSURE B



BRACE SECTION
SCALE: NTS

**BOV EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS ≤ 11'-0"
HEIGHTS ≤ 9'-0"
FOR APPLICABLE RISK
CATEGORY WIND SPEEDS**

1C

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 08

SCALE: NTS

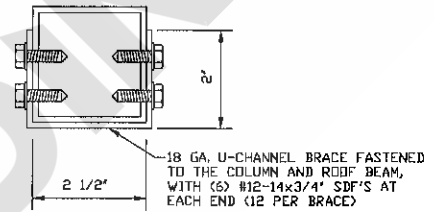
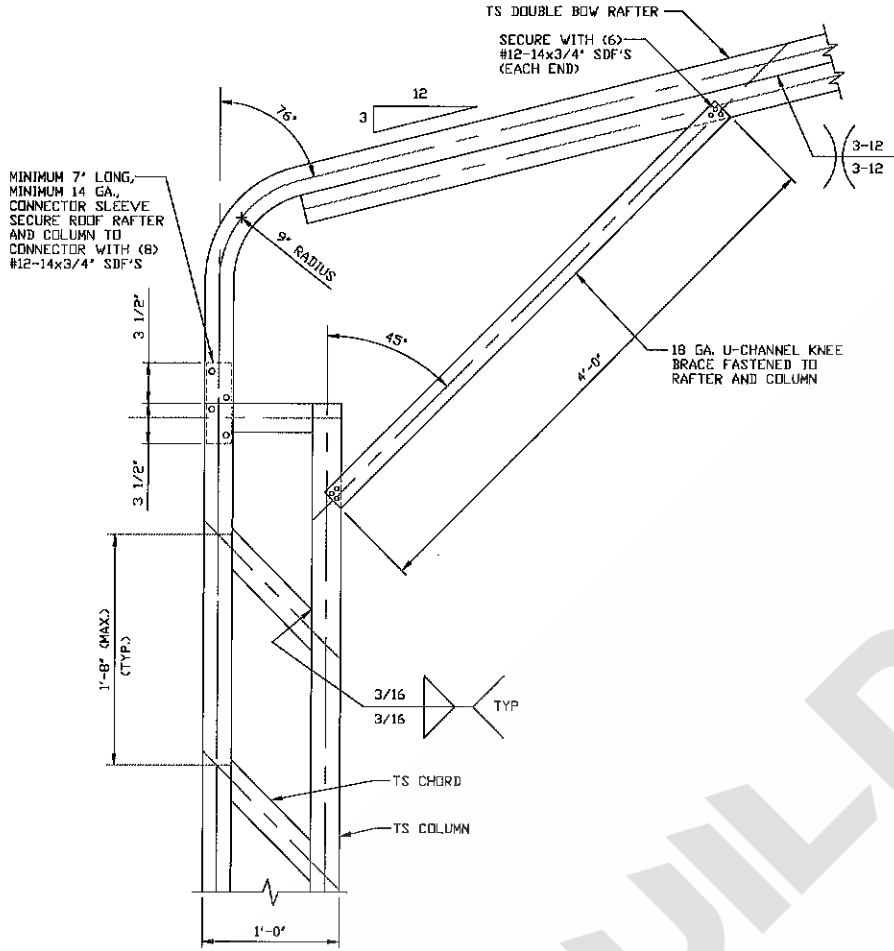
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

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60 PSF < SL ≤ 70 PSF
EXPOSURE C



BRACE SECTION
SCALE: NTS

BOW EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
HEIGHTS 14'-0" < TO ≤ 20'-0"
FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1

SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT
CHECKED BY: PDH

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0"x20'-0" ENCLOSED STRUCTURE

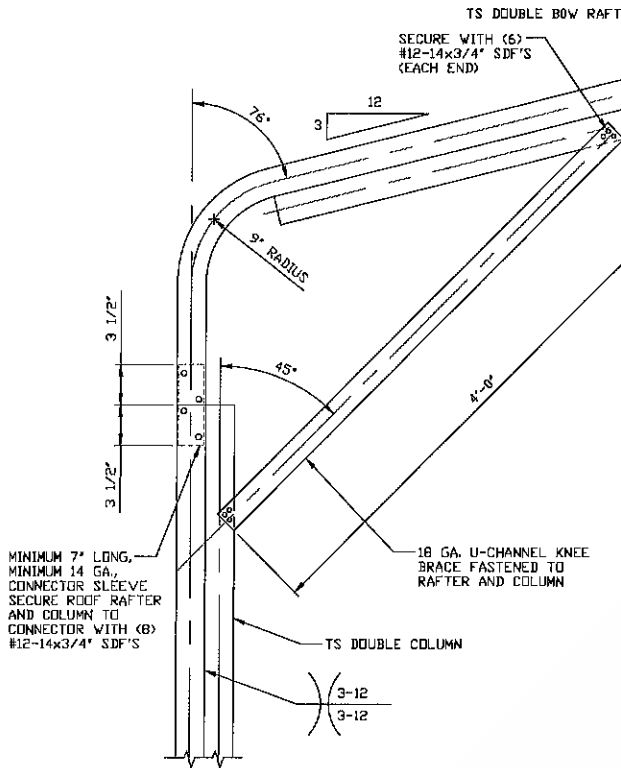
PROJECT MGR: WSM
CLIENT: TOL

DATE: 3-21-22
SHT. 8C
SCALE: NTS
DWG. NO: SK-3

JOB NO: 19164S/22020S
REV: 1

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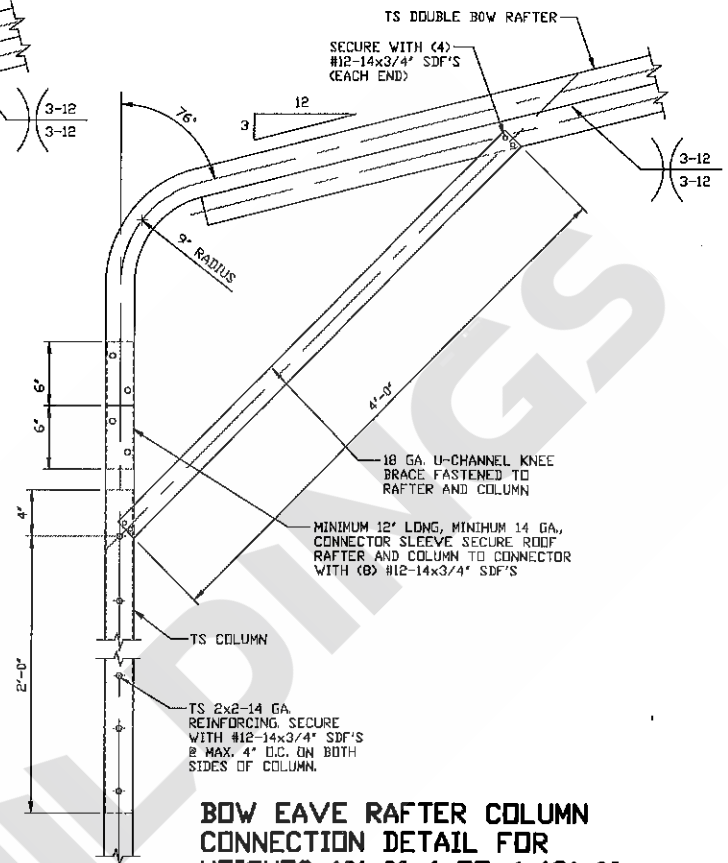
60 PSF < SL ≤ 70 PSF
EXPOSURE C



BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12'-0" < TO ≤ 16'-0" HEIGHTS 10'-0" < TO ≤ 14'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1A

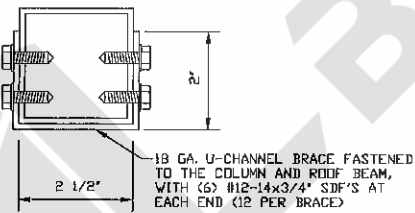
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BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10'-0" < TO ≤ 12'-0" HEIGHTS 9'-0" < TO ≤ 10'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

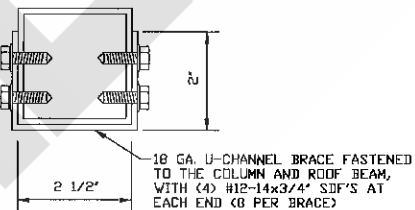
1B

SCALE: NTS



BRACE SECTION

SCALE: NTS



BRACE SECTION

SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 8D

SCALE: NTS

DWG. NO: SK-3

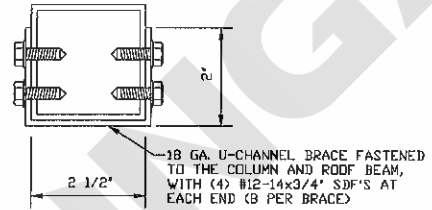
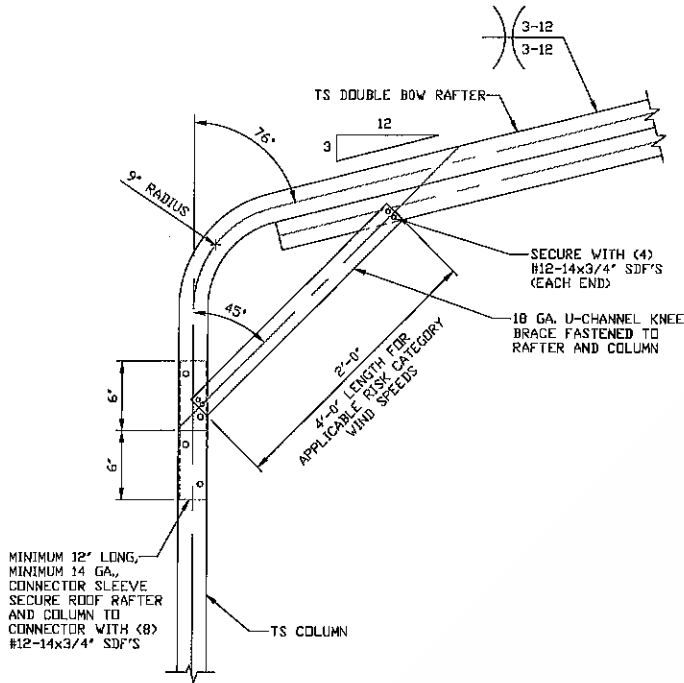
JOB NO:

19164S/P2020S

REV: 1

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60 PSF < SL ≤ 70 PSF
EXPOSURE C



BRACE SECTION
 SCALE: NTS

BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 10'-0" HEIGHTS ≤ 9'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

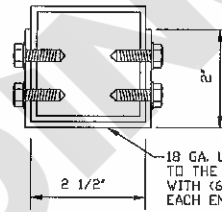
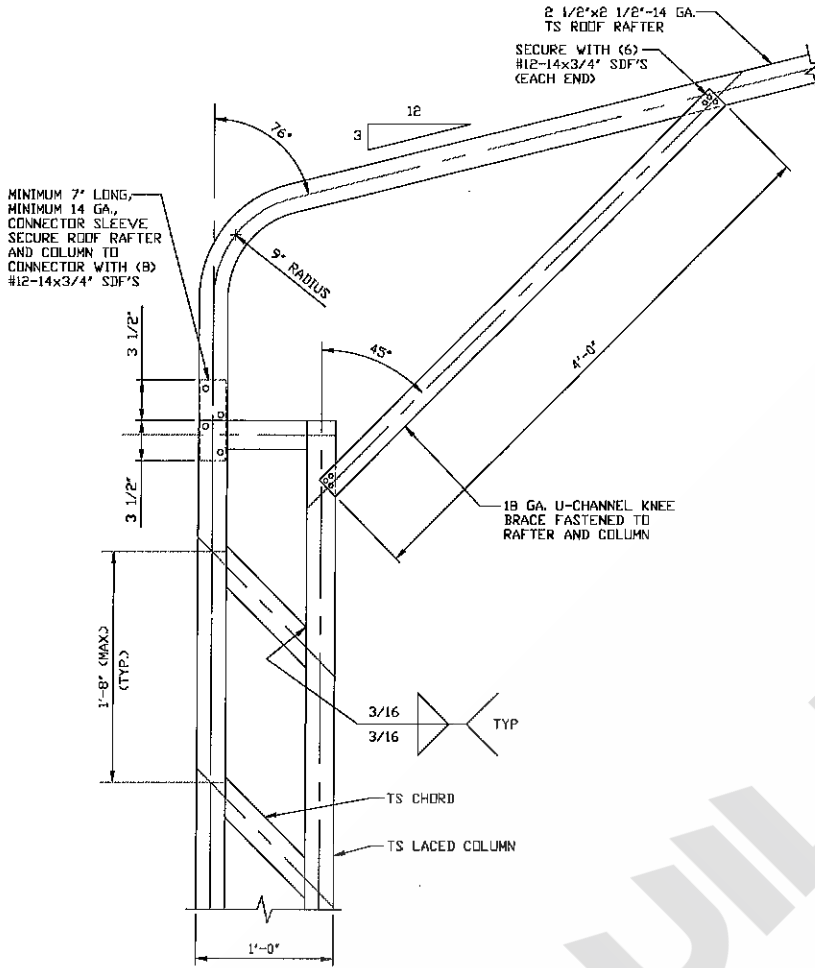
1C
 SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT	TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0"x20'-0" ENCLOSED STRUCTURE		
CHECKED BY: PDH			
PROJECT MGR: WSM	DATE: 3-21-22	SCALE: NTS	JOB NO: 19164S/22020S
CLIENT: TOL	SHT. NO: 0E	DWG. NO: SK-3	REV: 1

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SL ≤ 60 PSF
EXPOSURE B/C



BOW EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
HEIGHTS 15'-0" < TO ≤ 20'-0"
FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1A
 SCALE: NTS

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TDL

TOL BUILDINGS, INC.
 P.O. BOX 542
 TOAST, NC 27049
 30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 05

SCALE: NTS

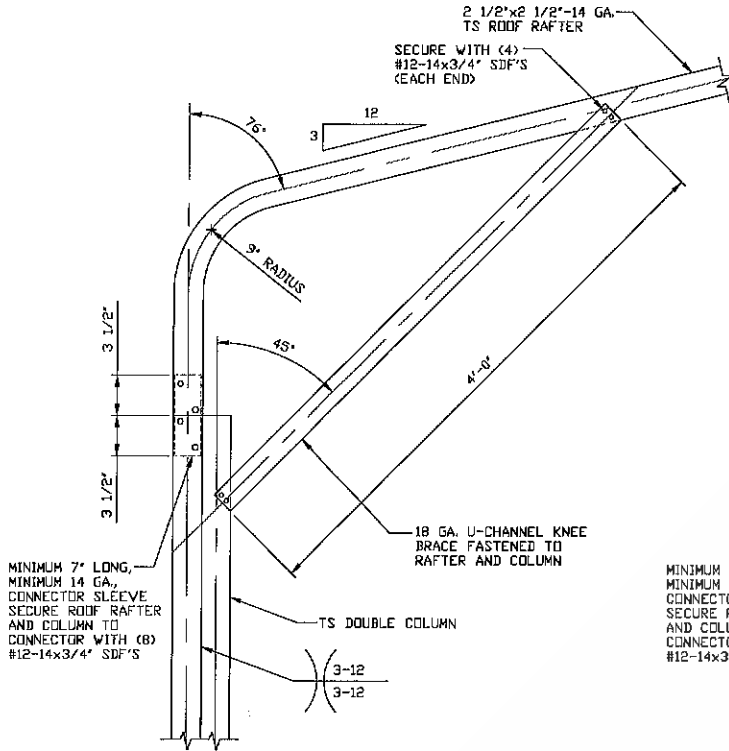
DWG. NO: SK-3

JOB NO:
19164S/22020S

REV: 1

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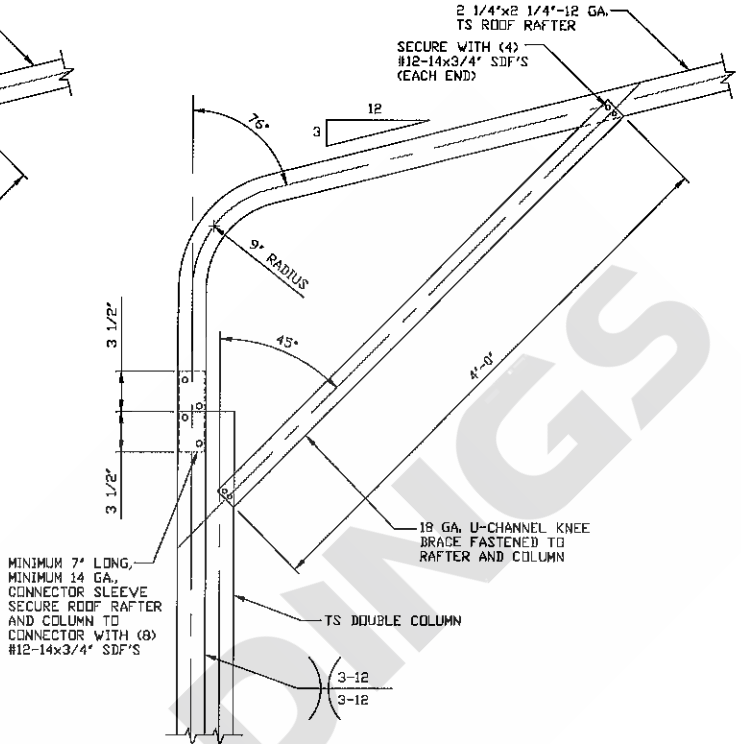
SL ≤ 60 PSF
EXPOSURE B/C



BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12'-0" < TO ≤ 16'-0" HEIGHTS 11'-0" < TO ≤ 15'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1B

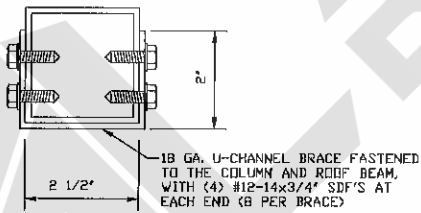
SCALE: NTS



BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12'-0" < TO ≤ 16'-0" HEIGHTS 11'-0" < TO ≤ 15'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1C

SCALE: NTS



BRACE SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 8H

SCALE: NTS

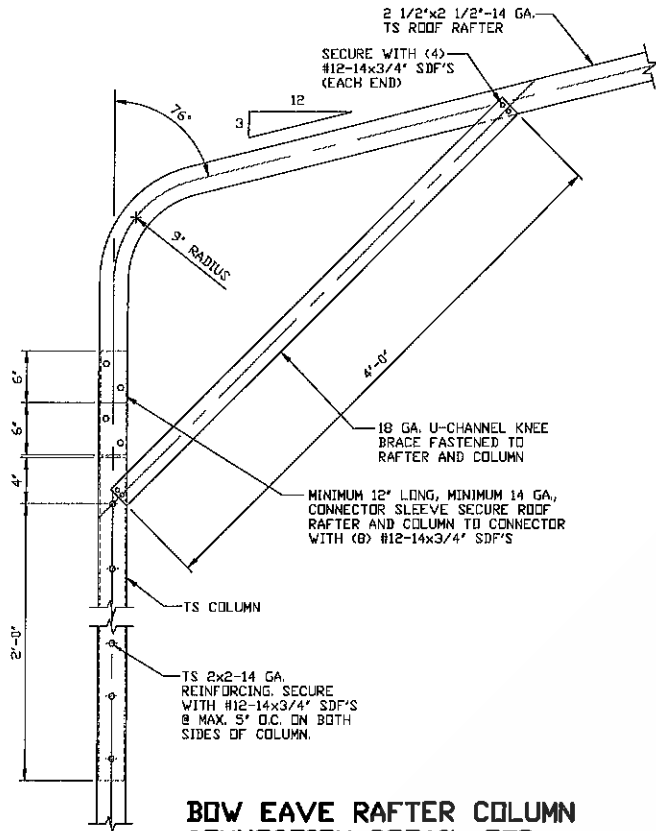
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JOB NO: 19164S/22020S

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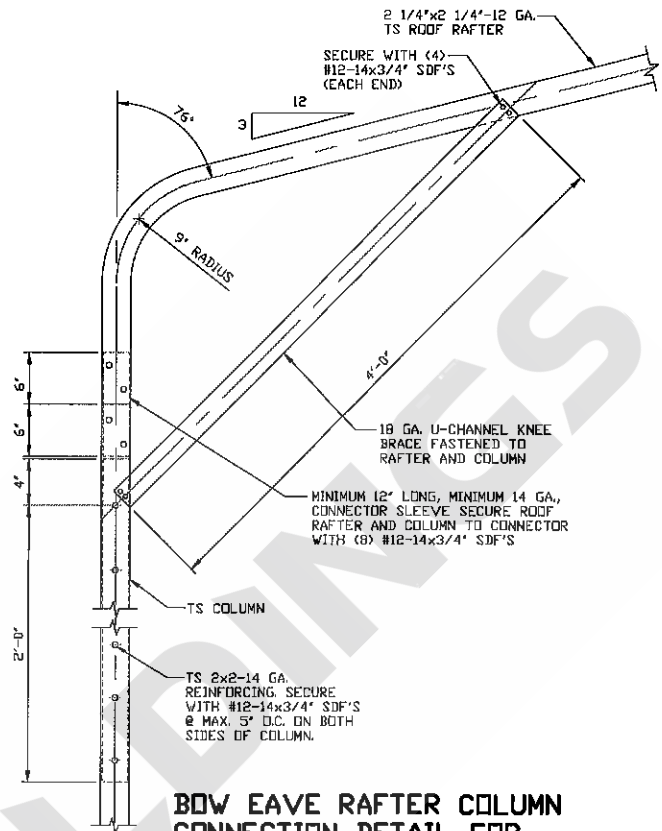
SL ≤ 60 PSF
EXPOSURE B/C



BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO ≤ 12'-0" HEIGHTS 9'-0" < TO ≤ 11'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1D

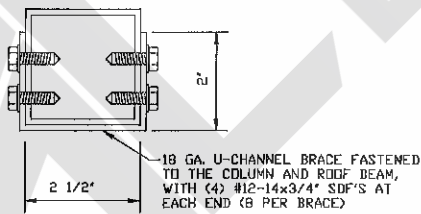
SCALE: NTS



BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO ≤ 12'-0" HEIGHTS 9'-0" < TO ≤ 11'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1E

SCALE: NTS



BRACE SECTION

SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 8J

SCALE: NTS

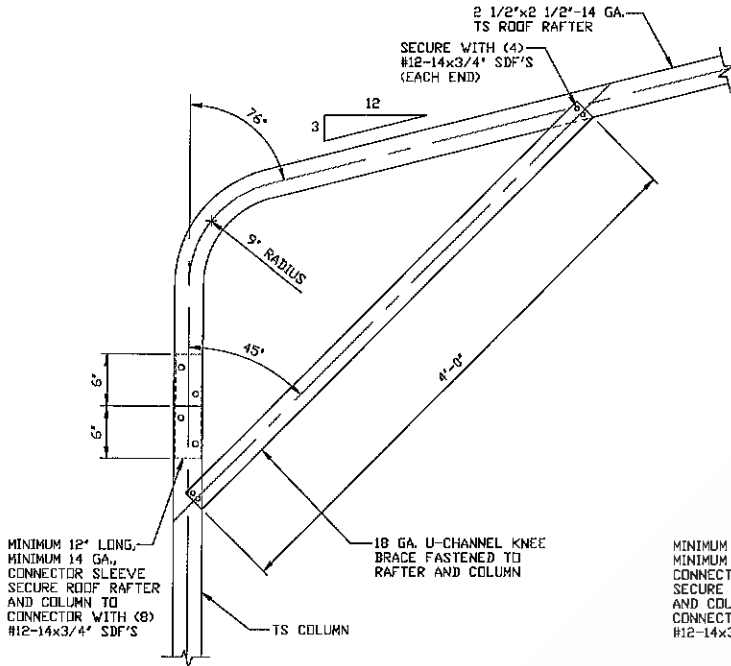
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JOB NO: 19164S/22020S

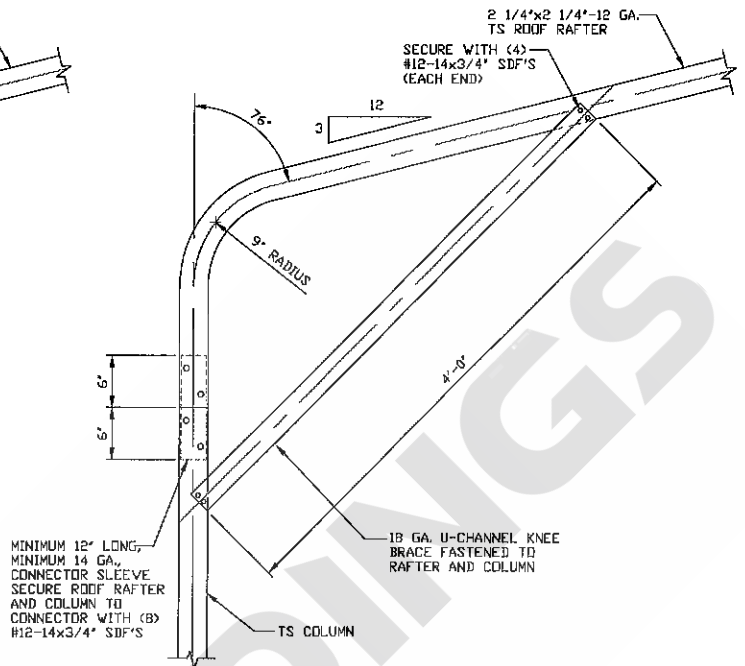
REV: 1

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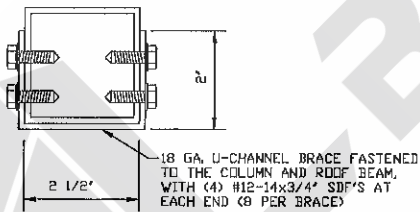
**SL ≤ 60 PSF
EXPOSURE B/C**



1F
**BOW EAVE RAFTER COLUMN
 CONNECTION DETAIL FOR
 HEIGHTS ≤ 11'-0"
 HEIGHTS ≤ 9'-0"
 FOR APPLICABLE RISK
 CATEGORY WIND SPEEDS**
 SCALE: NTS



1G
**BOW EAVE RAFTER COLUMN
 CONNECTION DETAIL FOR
 HEIGHTS ≤ 11'-0"
 HEIGHTS ≤ 9'-0"
 FOR APPLICABLE RISK
 CATEGORY WIND SPEEDS**
 SCALE: NTS



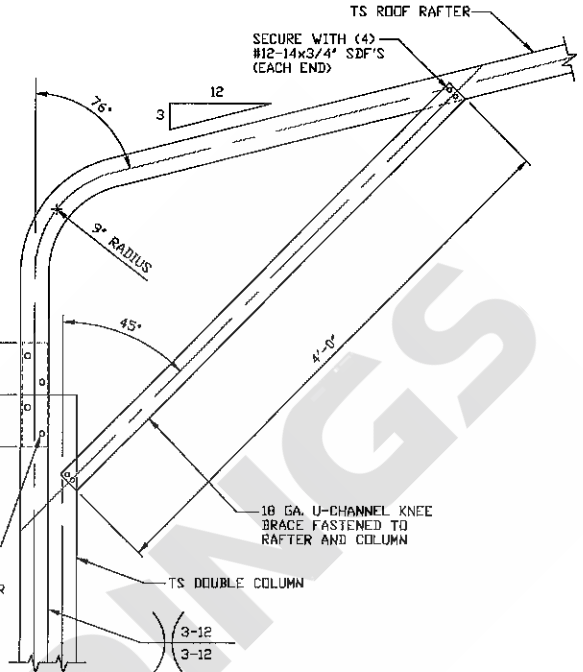
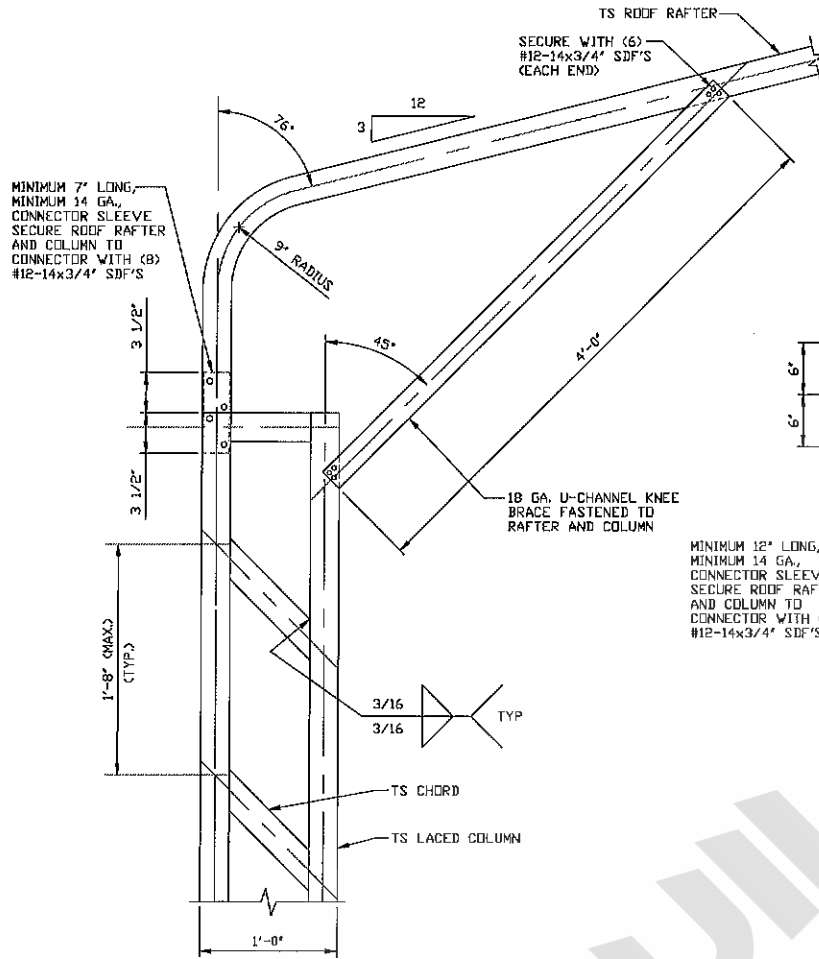
BRACE SECTION
 SCALE: NTS

**MOORE AND ASSOCIATES
 ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT	TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0" x 20'-0" ENCLOSED STRUCTURE		
CHECKED BY: PJH			
PROJECT MGR: WSH	DATE: 3-21-22	SCALE: NTS	JOB NO: 19164S/22020S
CLIENT: TOL	SHT. BK	DWG. NO: SK-3	REV: 1

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**SL ≤ 30 PSF
EXPOSURE B/C**



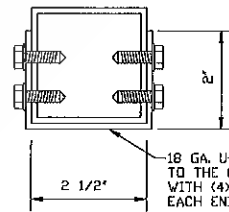
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12'-0" < TO ≤ 16'-0" HEIGHTS 11'-0" < TO ≤ 15'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1A

SCALE: NTS

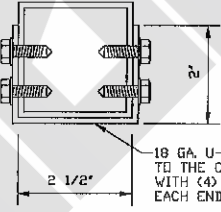
1
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 16'-0" < TO ≤ 20'-0" HEIGHTS 15'-0" < TO ≤ 20'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

SCALE: NTS



BRACE SECTION

SCALE: NTS



BRACE SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT
CHECKED BY: PDH

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

PROJECT MGR: WSM
CLIENT: TOL

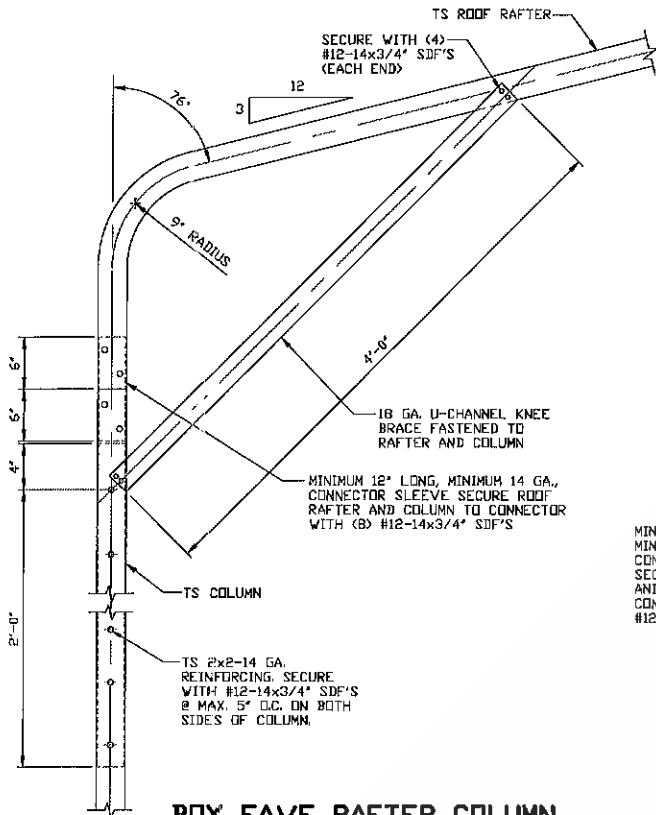
DATE: 3-21-22
SHT. 8L

SCALE: NTS
DWG. NO: SK-3

JOB NO: 19164S/22020S
REV: 1

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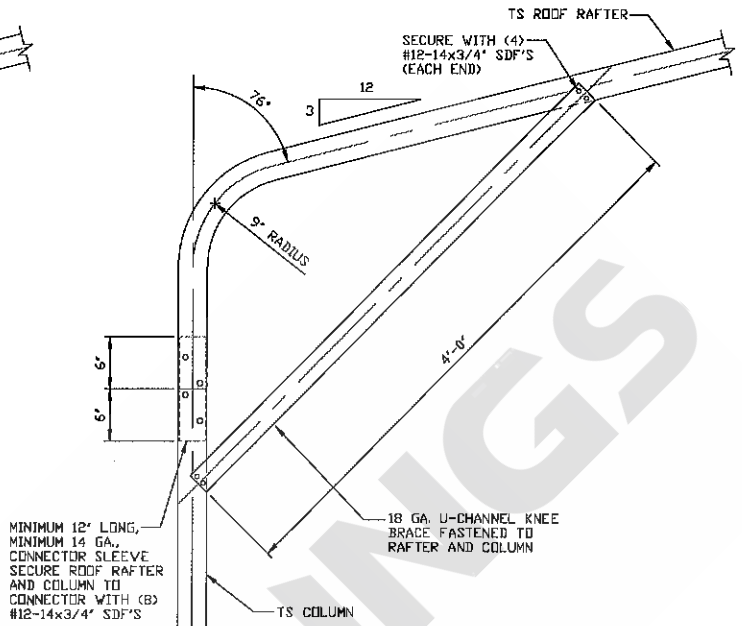
SL ≤ 30 PSF
EXPOSURE B/C



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 11'-0" < TO ≤ 12'-0" HEIGHTS 9'-0" < TO ≤ 11'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1B

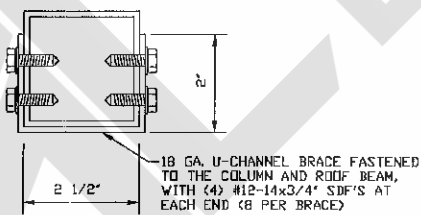
SCALE: NTS



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 11'-0" HEIGHTS ≤ 9'-0" FOR APPLICABLE RISK CATEGORY WIND SPEEDS

1C

SCALE: NTS



BRACE SECTION

SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 8M

SCALE: NTS

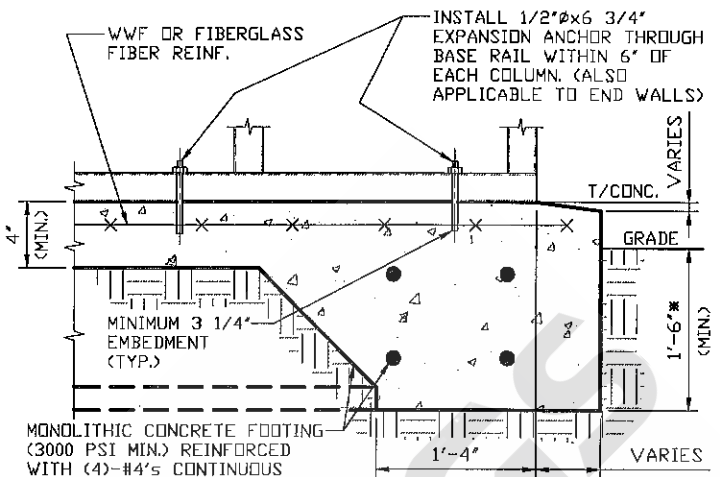
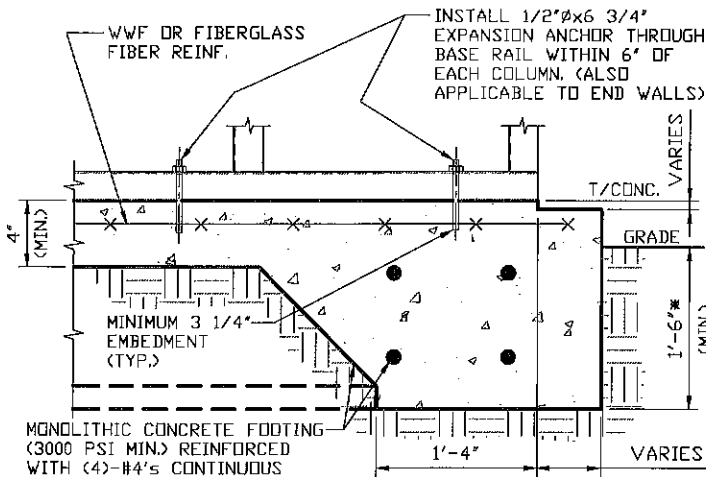
DWG. NO: SK-3

JOB NO: 19164S/22020S

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BASE RAIL ANCHORAGE OPTIONS WITH ATTACHED LEAN-TO



2 CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE
 SCALE: NTS
 (MINIMUM ANCHOR EDGE DISTANCE IS 4")
 * COORDINATE WITH LOCAL BUILDING CODE AND/OR D. REGARDING REQUIRED FOOTING DEPTH.

2A CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE
 SCALE: NTS
 (MINIMUM ANCHOR EDGE DISTANCE IS 4")
 * COORDINATE WITH LOCAL BUILDING CODE AND/OR D. REGARDING REQUIRED FOOTING DEPTH.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318; 3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

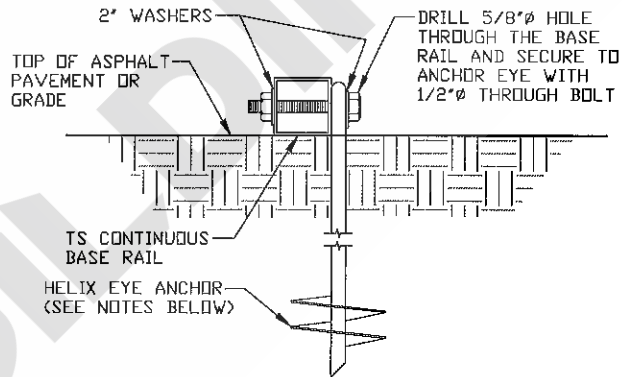
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



2B GROUND BASE HELIX ANCHORAGE
 SCALE: NTS (CAN BE USED FOR ASPHALT)
 * COORDINATE WITH LOCAL CODES/ORD. REGARDING MINIMUM FROST DEPTH REQ.
 NOTE: TWO EXPANSION ANCHORS ARE REQ'D. AT EVERY COLUMN WHEN LEAN-TO ARE ATTACHED TO STRUCTURE.

**MOORE AND ASSOCIATES
 ENGINEERING AND CONSULTING, INC.**

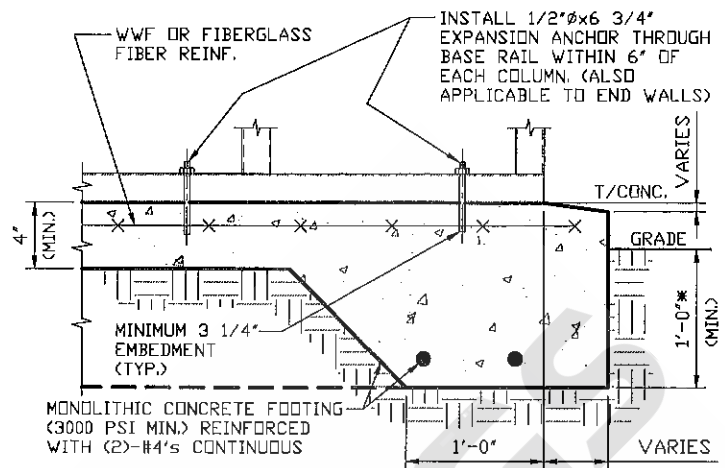
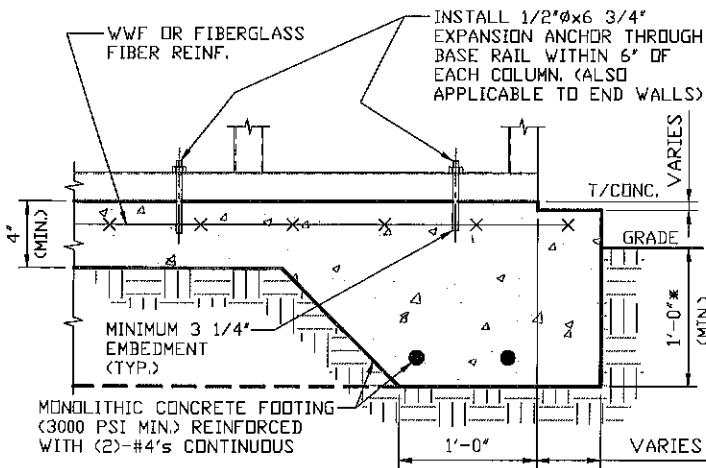
DRAWN BY: LT
CHECKED BY: PDH
PROJECT MGR: WSM
CLIENT: TOL

TOL BUILDINGS, INC.
 P.O. BOX 542
 TOAST, NC 27049
 30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22
SHT. 9
SCALE: NTS
DWG. NO.: SK-3
JOB NO.: 19164S/R2020S
REV.: 1

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BASE RAIL ANCHORAGE OPTIONS WITHOUT ATTACHED LEAN-TO



2 CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE
 SCALE: NTS
 (MINIMUM ANCHOR EDGE DISTANCE IS 4")
 * COORDINATE WITH LOCAL BUILDING CODE AND/OR DR. REGARDING REQUIRED FOOTING DEPTH.

2A CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE
 SCALE: NTS
 (MINIMUM ANCHOR EDGE DISTANCE IS 4")
 * COORDINATE WITH LOCAL BUILDING CODE AND/OR DR. REGARDING REQUIRED FOOTING DEPTH.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.

CONCRETE:
 CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:
 FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318;
 3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

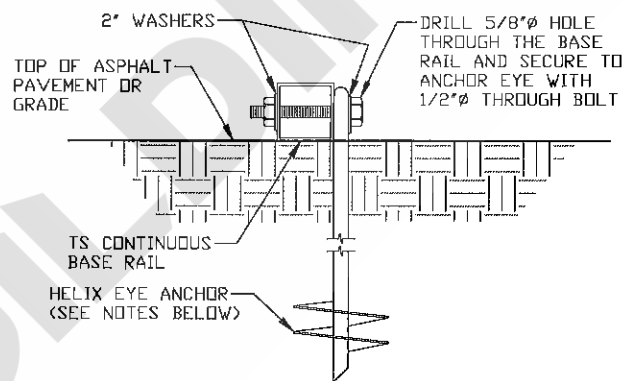
REINFORCING STEEL:
 THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

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HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.

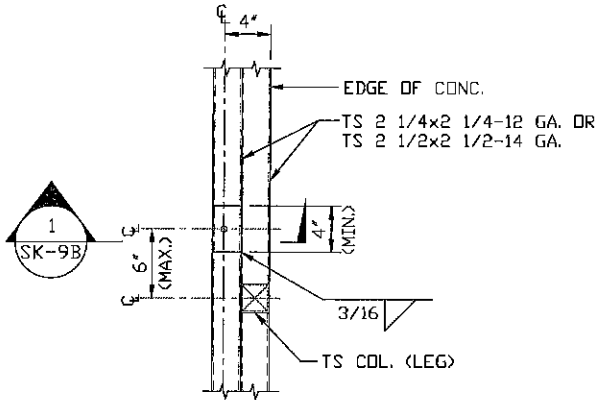


2B GROUND BASE HELIX ANCHORAGE
 SCALE: NTS (CAN BE USED FOR ASPHALT)
 * COORDINATE WITH LOCAL CODES/DR. REGARDING MINIMUM FROST DEPTH REQ.

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TOL BUILDINGS, INC. P.O. BOX 542 TOAST, NC 27049 30'-0"x20'-0" ENCLOSED STRUCTURE		
	CHECKED BY: PMH	PROJECT MGR: WSM	DATE: 3-21-22	SCALE: NTS
CLIENT: TOL	SHT. 9A	DWG. NO: SK-3	JOB NO: 19164S/2020S	REV: 1

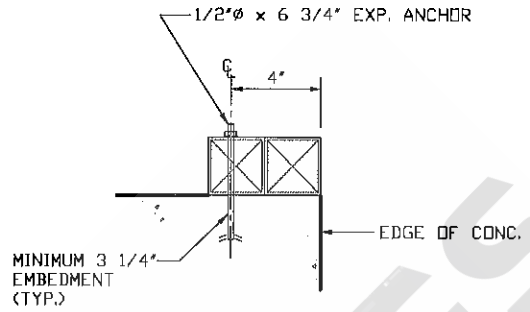
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BASE RAIL ANCHORAGE OPTIONS



TYPICAL ANCHOR DETAIL WHEN BASE RAIL IS NEAR EDGE OF CONCRETE

SCALE: NTS



SECTION 1
 SCALE: NTS

1
 SK-9B

**MOORE AND ASSOCIATES
 ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TDL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 9B

SCALE: NTS

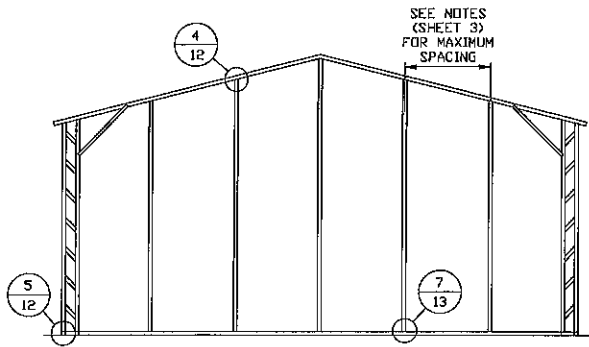
DWG. NO: SK-3

**JOB NO:
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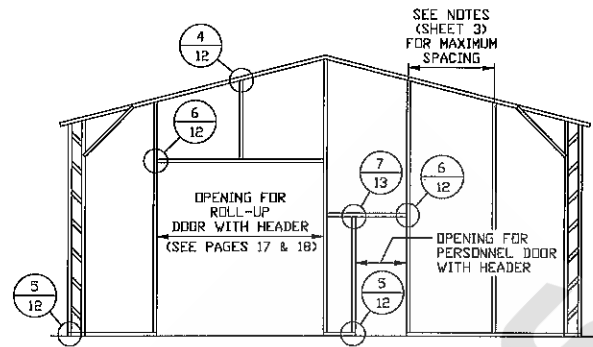
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



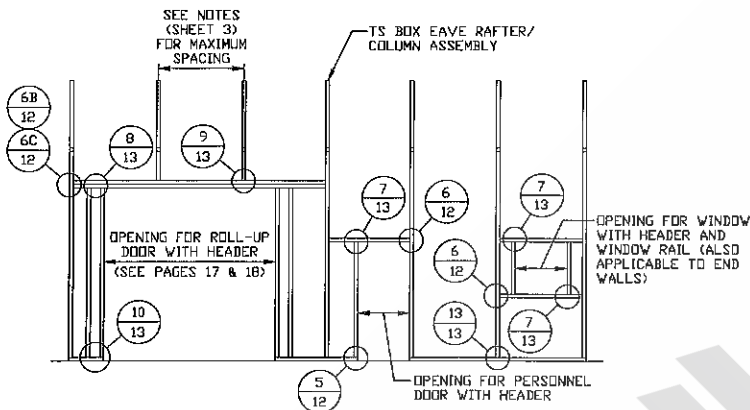
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 10

SCALE: NTS

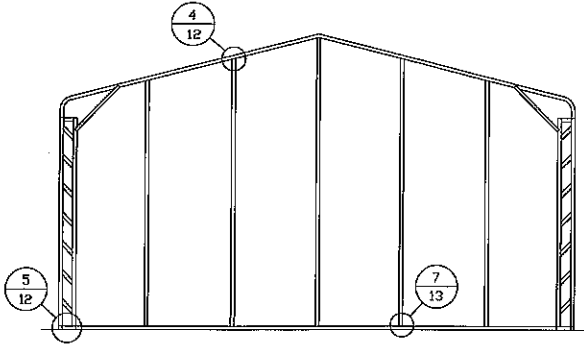
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

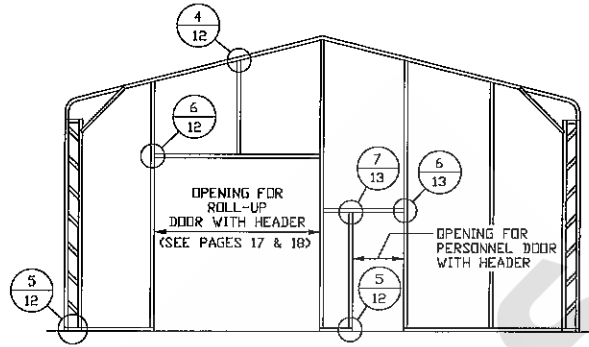
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BOW RAFTER END WALL AND SIDE WALL OPENINGS



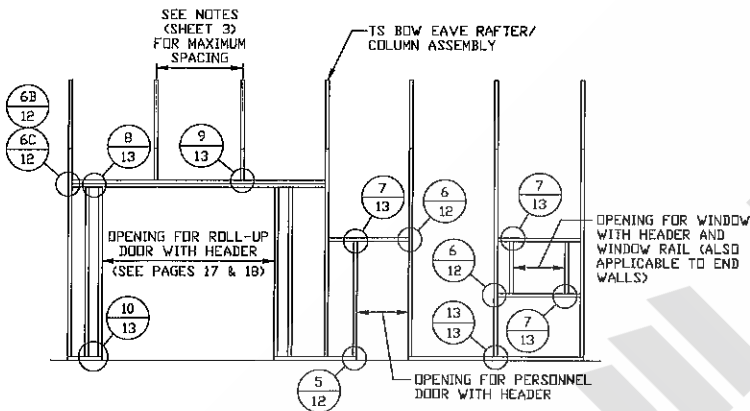
TYPICAL BOW RAFTER END WALL FRAMING SECTION

SCALE: NTS



TYPICAL BOW RAFTER END WALL OPENINGS FRAMING SECTION

SCALE: NTS



TYPICAL BOW RAFTER SIDE WALL OPENINGS FRAMING SECTION

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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TOL BUILDINGS, INC.
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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 11

SCALE: NTS

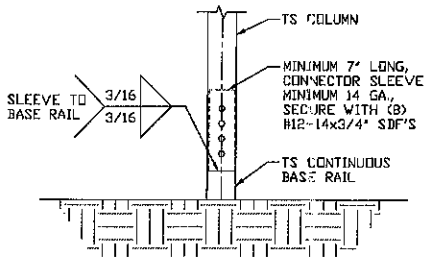
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

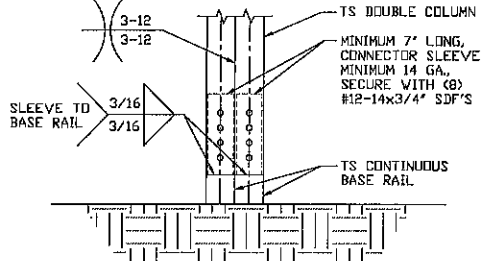
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CONNECTION DETAILS



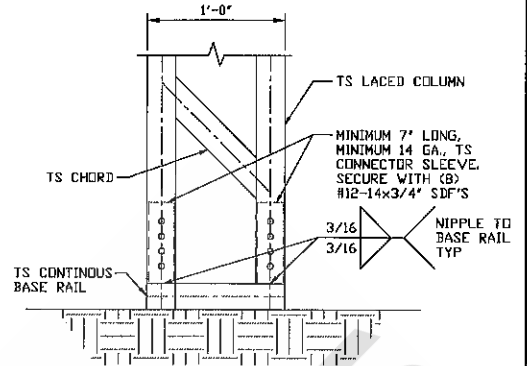
3 COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



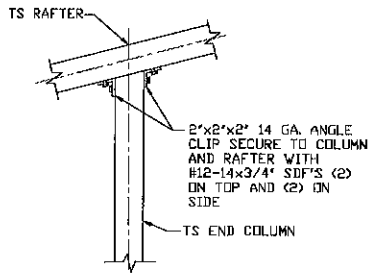
3A DOUBLE COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



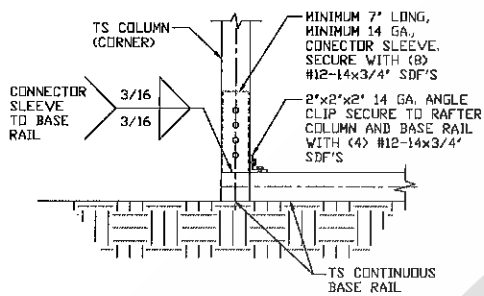
3B LACED COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



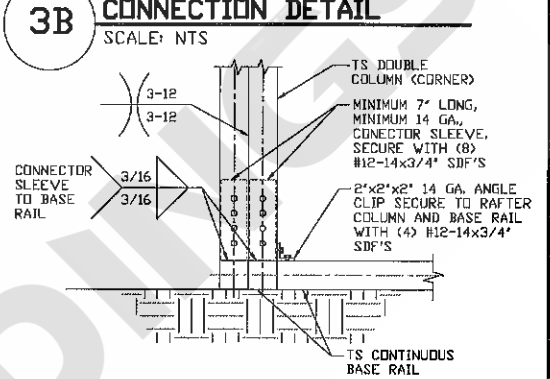
4 END COLUMN/RAFTER CONNECTION DETAIL

SCALE: NTS



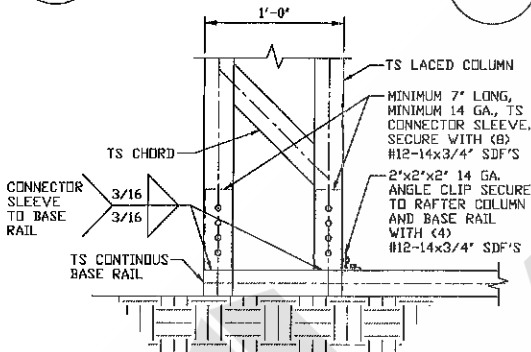
5 END COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



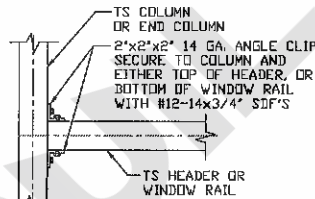
3B END COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



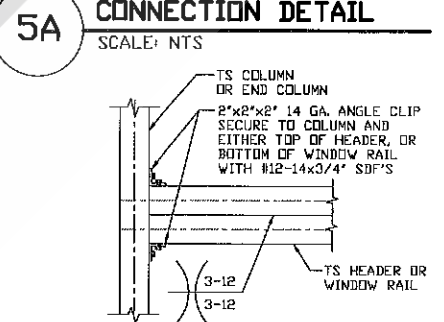
5B END COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



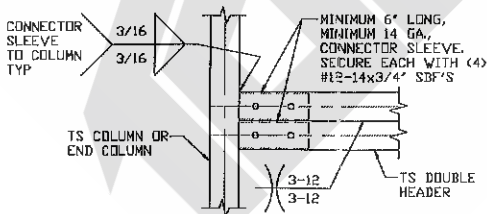
6 COLUMN OR WINDOW RAIL TO POST CONNECTION DETAIL

SCALE: NTS



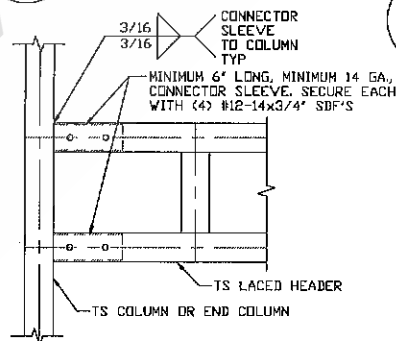
5A DOUBLE HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



6B SIDE WALL DOUBLE HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



6A SIDE WALL LACED HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 12

SCALE: NTS

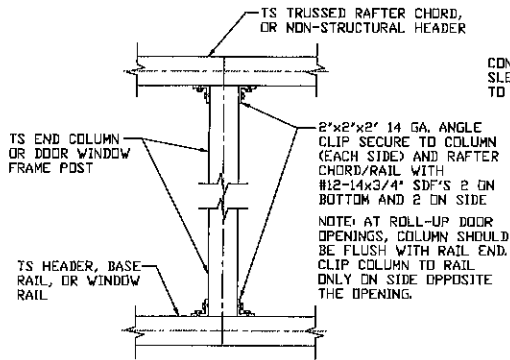
DWG. NO: SK-3

JOB NO: 19164S/22020S

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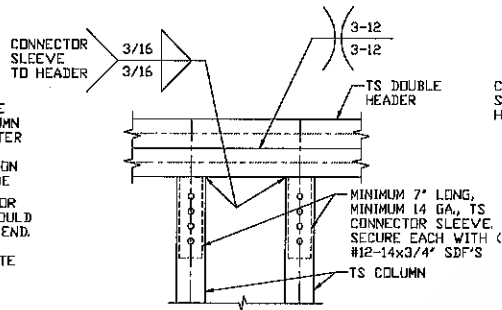
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CONNECTION DETAILS



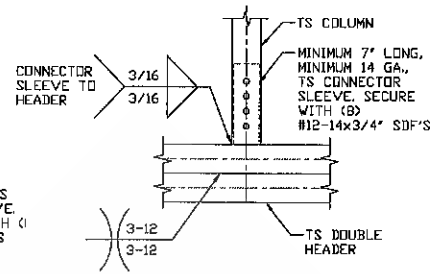
7 COLUMN TO HEADER, BASE RAIL OR WINDOW RAIL CONNECTION DETAIL

SCALE: NTS



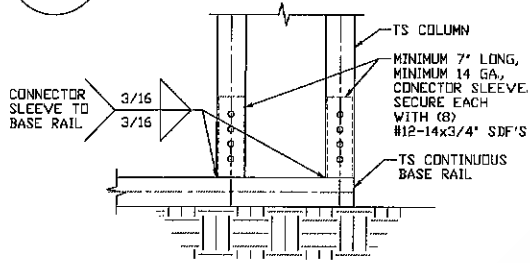
8 DOUBLE HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



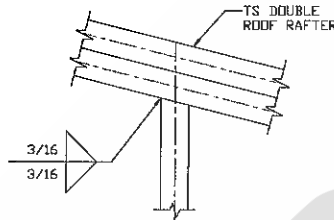
9 COLUMN/DOUBLE HEADER CONNECTION DETAIL

SCALE: NTS



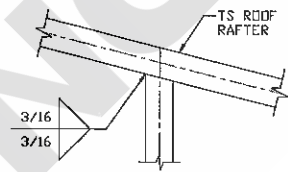
10 COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



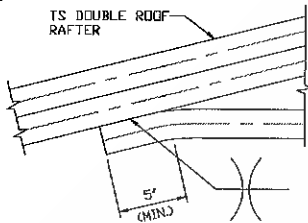
11 RAFTER TO CHORD CONNECTION DETAIL

SCALE: NTS



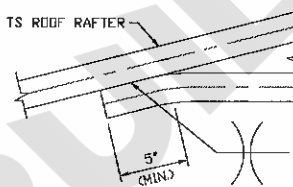
11A RAFTER TO CHORD CONNECTION DETAIL

SCALE: NTS



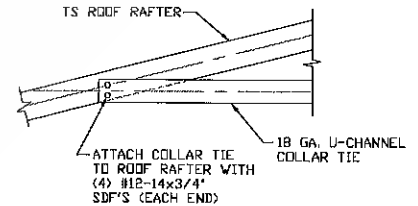
12 COLLAR TIE CONNECTION DETAIL

SCALE: NTS



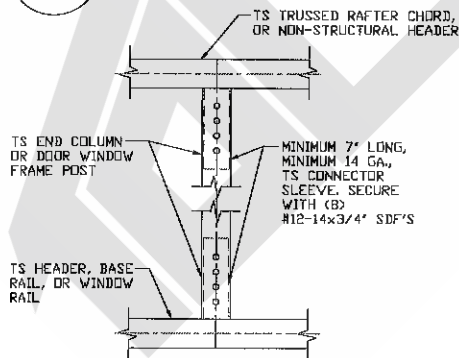
12A COLLAR TIE CONNECTION DETAIL

SCALE: NTS



12B COLLAR TIE CONNECTION DETAIL

SCALE: NTS



13 COLUMN TO HEADER OR BASE RAIL CONNECTION DETAIL

SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 13

SCALE: NTS

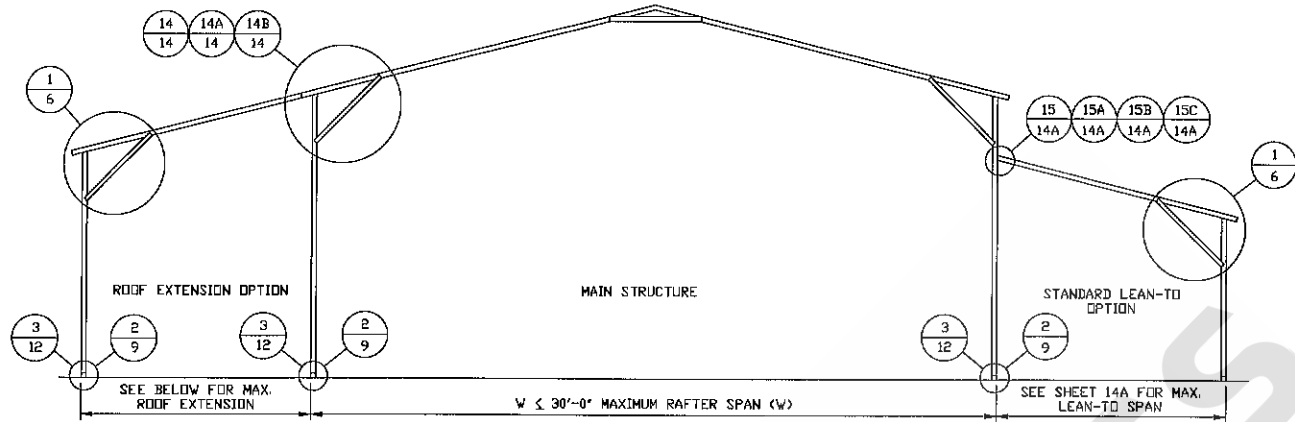
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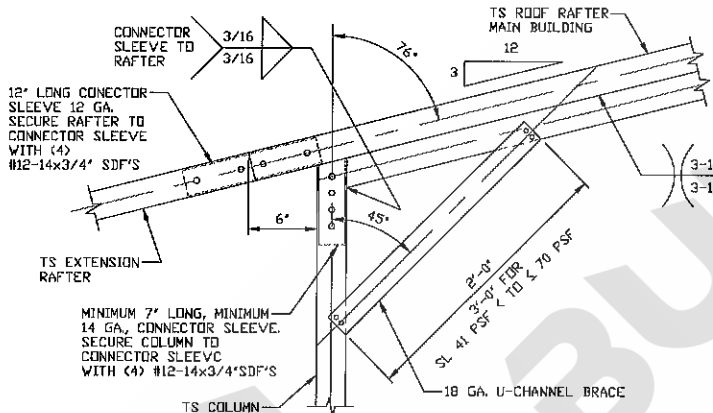
BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

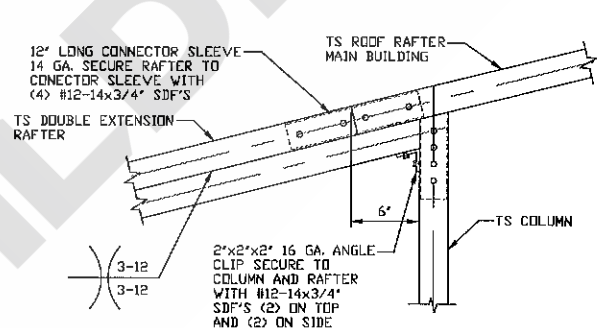
MAXIMUM WIDTH OF SINGLE MEMBER ROOF EXTENSION AND LEAN-TO IS 10'-0".
 MAXIMUM WIDTH OF DOUBLE MEMBER ROOF EXTENSION AND LEAN-TO IS 16'-0".
 MAXIMUM WIDTH OF LACED MEMBER ROOF EXTENSION AND LEAN-TO IS 24'-0".
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE LACED COLUMNS FOR EAVE HEIGHTS 14'-0" < TO ≤ 20'-0".
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE DOUBLE COLUMNS FOR EAVE HEIGHTS 10'-0" < TO ≤ 16'-0".
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS WITH INSERTS FOR EAVE HEIGHTS 9'-0" < TO ≤ 12'-0".
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS FOR EAVE HEIGHTS ≤ 9'-0".



14

SIDE EXTENSION RAFTER/COLUMN DETAIL FOR SPAN ≤ 10'-0"

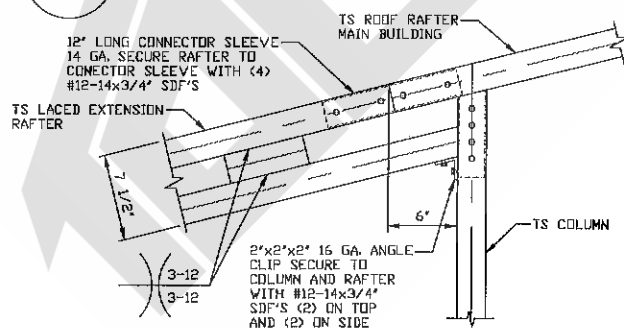
SCALE: NTS



14A

SIDE EXTENSION RAFTER/COLUMN DETAIL FOR SPAN 10'-0" < L ≤ 16'-0"

SCALE: NTS



14B

SIDE EXTENSION RAFTER/COLUMN DETAIL FOR SPAN 16'-0" < L ≤ 24'-0"

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
 P.O. BOX 542
 TOAST, NC 27049
 30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 14

SCALE: NTS

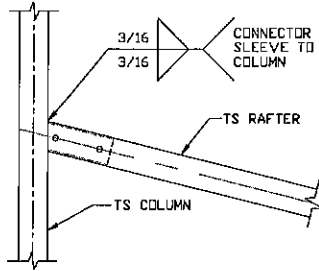
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

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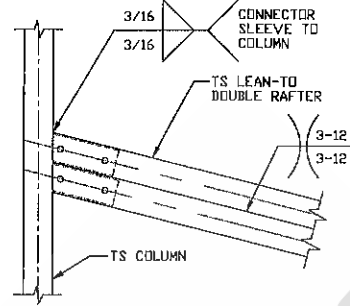
BOX EAVE RAFTER LEAN-TO OPTIONS



15

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR SPAN $\le 10'-0''$**

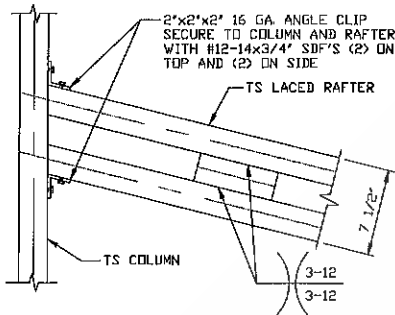
SCALE: NTS



15A

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR SPAN $10'-0'' < L \le 16'-0''$**

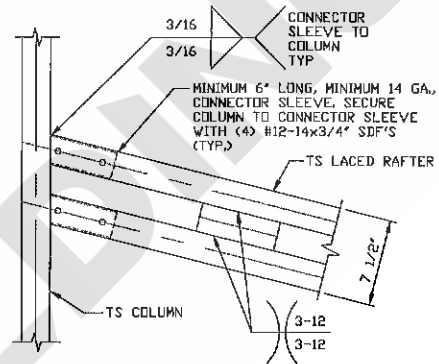
SCALE: NTS



15B

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR SPAN $16'-0'' < L \le 24'-0''$**

SCALE: NTS



15C

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR SPAN $16'-0'' < L \le 24'-0''$**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 14A

SCALE: NTS

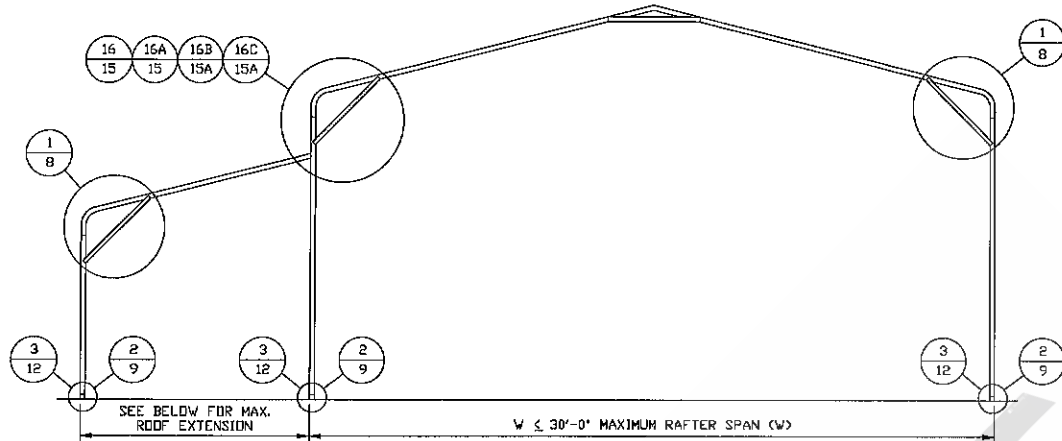
DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

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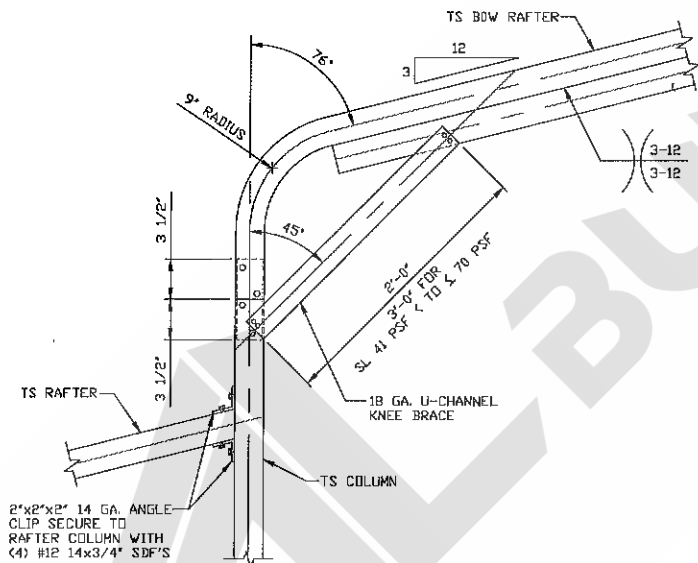
BOW RAFTER LEAN-TO OPTION



TYPICAL BOW EAVE RAFTER LEAN-TO OPTION FRAMING SECTION

SCALE: NTS

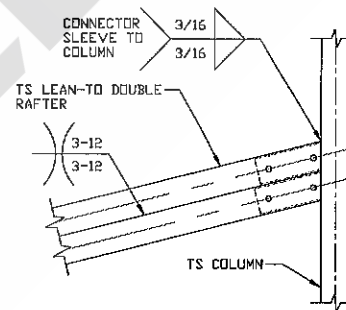
MAXIMUM WIDTH OF SINGLE MEMBER ROOF EXTENSION AND LEAN-TO IS 10'-0",
 MAXIMUM WIDTH OF DOUBLE MEMBER ROOF EXTENSION AND LEAN-TO IS 16'-0",
 MAXIMUM WIDTH OF LACED MEMBER ROOF EXTENSION AND LEAN-TO IS 24'-0",
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE LACED COLUMNS FOR
 EAVE HEIGHTS 14'-0" < TO ≤ 20'-0",
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE DOUBLE COLUMNS FOR
 EAVE HEIGHTS 10'-0" < TO ≤ 16'-0",
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS WITH
 INSERTS FOR EAVE HEIGHTS 9'-0" < TO ≤ 12'-0",
 MAIN BUILDING COLUMNS WITH LEAN-TO OR ROOF EXTENSION ATTACHED ARE REQUIRED TO BE SINGLE COLUMNS FOR
 EAVE HEIGHTS ≤ 9'-0".



16

LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR SPAN ≤ 10'-0"

SCALE: NTS



16A

LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR SPAN 10'-0" < L ≤ 16'-0"

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 15

SCALE: NTS

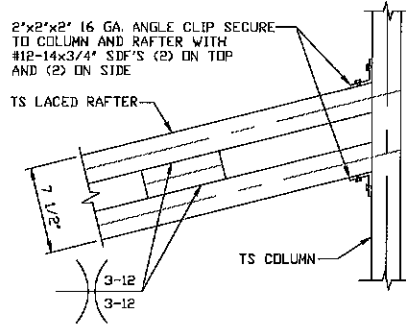
DWG. NO: SK-3

JOB NO: 19164S/22020S

REV: 1

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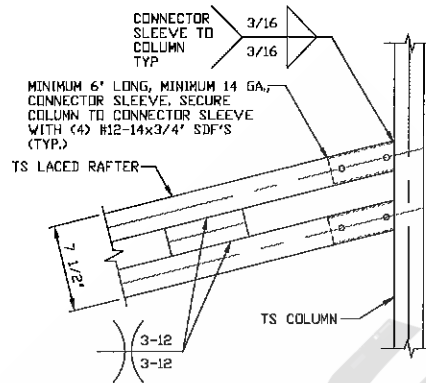
BOW RAFTER LEAN-TO OPTION



15B

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR SPAN 16'-0" < L ≤ 24'-0"**

SCALE: NTS



15C

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR SPAN 16'-0" < L ≤ 24'-0"**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDM

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 15A

SCALE: NTS

DWG. NO: SK-3

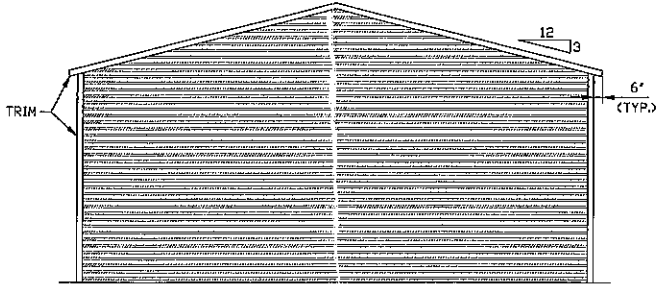
JOB NO:

19164S/22020S

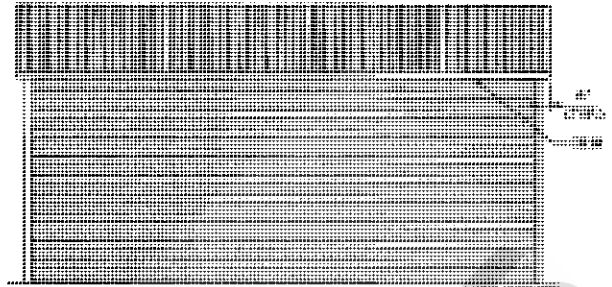
REV: 1

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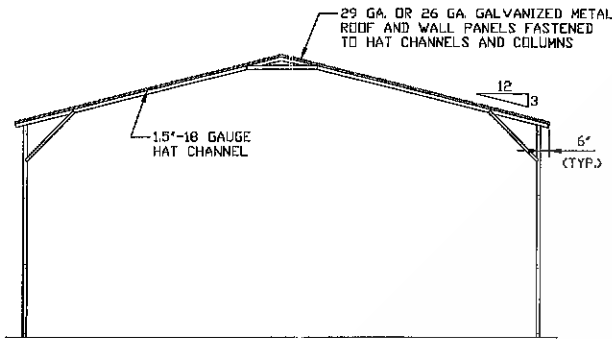
BOX EAVE RAFTER VERTICAL ROOF OPTION



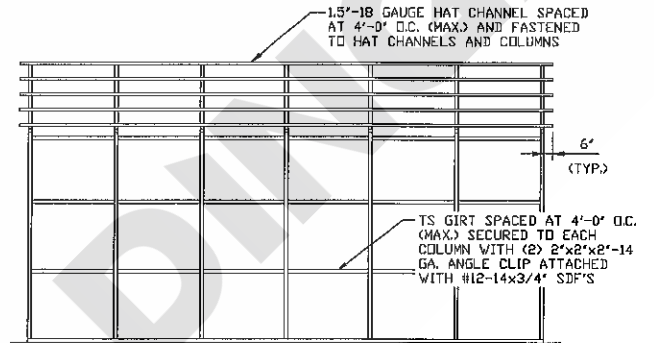
TYPICAL END ELEVATION-VERTICAL ROOF
SCALE: NTS



TYPICAL SIDE ELEVATION-VERTICAL ROOF OPTION
SCALE: NTS

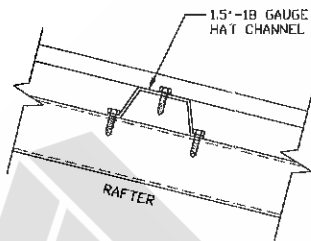


TYPICAL SECTION-VERTICAL ROOF
SCALE: NTS



TYPICAL FRAMING SECTION-VERTICAL ROOF OPTION
SCALE: NTS

NOTE: HAT CHANNELS CAN BE USED AS AN OPTION IN PLACE OF TS GIRTS. HAT CHANNELS MUST BE SPACED AT 4'-0" O.C. (MAX.) AND FASTENED TO EACH COLUMN (LEG) WITH #12-14x3/4" SDF'S.



ROOF PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 16

SCALE: NTS

DWG. NO: SK-3

JOB NO:
19164S/P2020S

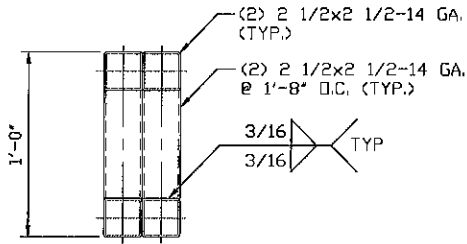
REV: 1

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SIDE WALL HEADER OPTIONS

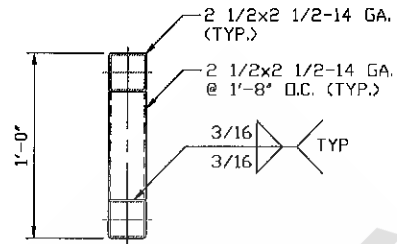
41 PSF < TO ≤ 70 PSF

NOTE: HEADER DESIGN DOES NOT TAKE IN TO ACCOUNT ADDITIONAL ROOF LOADING FROM ATTACHED LEAN-TO STRUCTURES.



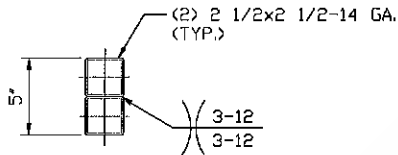
HEADER DETAIL FOR SIDE WALL DOOR OPENINGS 15'-0" < LENGTH ≤ 20'-0"

SCALE: NTS



HEADER DETAIL FOR SIDE WALL DOOR OPENINGS 8'-0" < LENGTH ≤ 15'-0"

SCALE: NTS

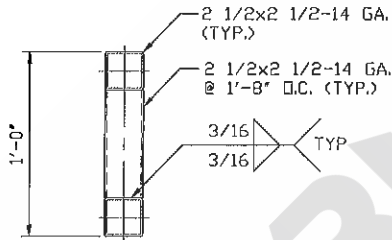


HEADER DETAIL FOR SIDE WALL DOOR OPENINGS ≤ 8'-0"

SCALE: NTS

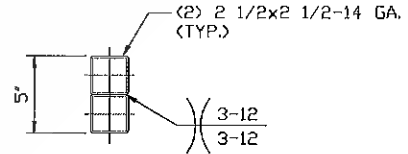
SIDE WALL HEADER OPTIONS

≤ 40 PSF



HEADER DETAIL FOR SIDE WALL DOOR OPENINGS 10'-0" < LENGTH ≤ 20'-0"

SCALE: NTS



HEADER DETAIL FOR SIDE WALL DOOR OPENINGS ≤ 10'-0"

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.

P.O. BOX 542

TOAST, NC 27049

30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 17

SCALE: NTS

DWG. NO: SK-3

JOB NO:

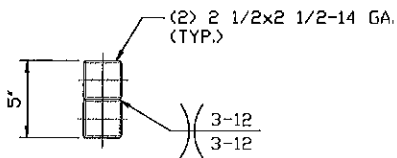
19164S/22020S

REV: 1

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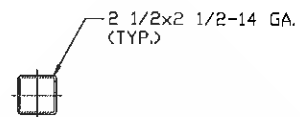
END WALL HEADER OPTIONS

NOTE: HEADER DESIGN DOES NOT TAKE IN TO ACCOUNT ADDITIONAL ROOF LOADING FROM ATTACHED LEAN-TO STRUCTURES.



HEADER DETAIL FOR SIDE WALL DOOR OPENINGS 13'-0" < LENGTH ≤ 20'-0"

SCALE: NTS



HEADER DETAIL FOR SIDE WALL DOOR OPENINGS ≤ 13'-0"

SCALE: NTS

TOL BUILDINGS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TOL

TOL BUILDINGS, INC.
P.O. BOX 542
TOAST, NC 27049

30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 3-21-22

SHT. 18

SCALE: NTS

DWG. NO: SK-3

**JOB NO:
19164S/22020S**

REV: 1

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To whom it may concern,

William Easterly II is applying for a variance to remove the existing 22.4' x 34.5' accessory building and replace it with a 24' x 35' Metal building. This would be larger than the stipulated 65% of the principal dwelling. My property is located nearby Mr. Easterly's, I have seen the plans for the proposed structure. Please let this letter serve in support of approval for Mr. Easterly's Application for a variance to the max accessory structure size. Please reach out to me if you have any questions.

Name: Dorothy Morris

Address: 1134 Betsy Hole Rd

Phone Number: Bunny Hill
843-565-3881

Signature: 

Date: 5-22-22

To whom it may concern,

William Easterly II is applying for a variance to remove the existing 22.4' x 34.5' accessory building and replace it with a 24' x 35' Metal building. This would be larger than the stipulated 65% of the principal dwelling. My property is located nearby Mr. Easterly's, I have seen the plans for the proposed structure. Please let this letter serve in support of approval for Mr. Easterly's Application for a variance to the max accessory structure size. Please reach out to me if you have any questions.

Name: Dalton Wyndham

Address: 1115 Betsy Holc Rd

Phone Number: 873 870-7660

Signature: 

Date: 05/22/22

To whom it may concern,

William Easterly II is applying for a variance to remove the existing 22.4' x 34.5' accessory building and replace it with a 24' x 35' Metal building. This would be larger than the stipulated 65% of the principal dwelling. My property is located nearby Mr. Easterly's, I have seen the plans for the proposed structure. Please let this letter serve in support of approval for Mr. Easterly's Application for a variance to the max accessory structure size. Please reach out to me if you have any questions.

Name: Leslie Blanton

Address: 1147 Walter Rd Bonneau

Phone Number: 843-749-0411

Signature: Leslie Blanton

Date: 5-22-22

To whom it may concern,

William Easterly II is applying for a variance to remove the existing 22.4' x 34.5' accessory building and replace it with a 24' x 35' Metal building. This would be larger than the stipulated 65% of the principal dwelling. My property is located nearby Mr. Easterly's, I have seen the plans for the proposed structure. Please let this letter serve in support of approval for Mr. Easterly's Application for a variance to the max accessory structure size. Please reach out to me if you have any questions.

Name: Margaret Daniel

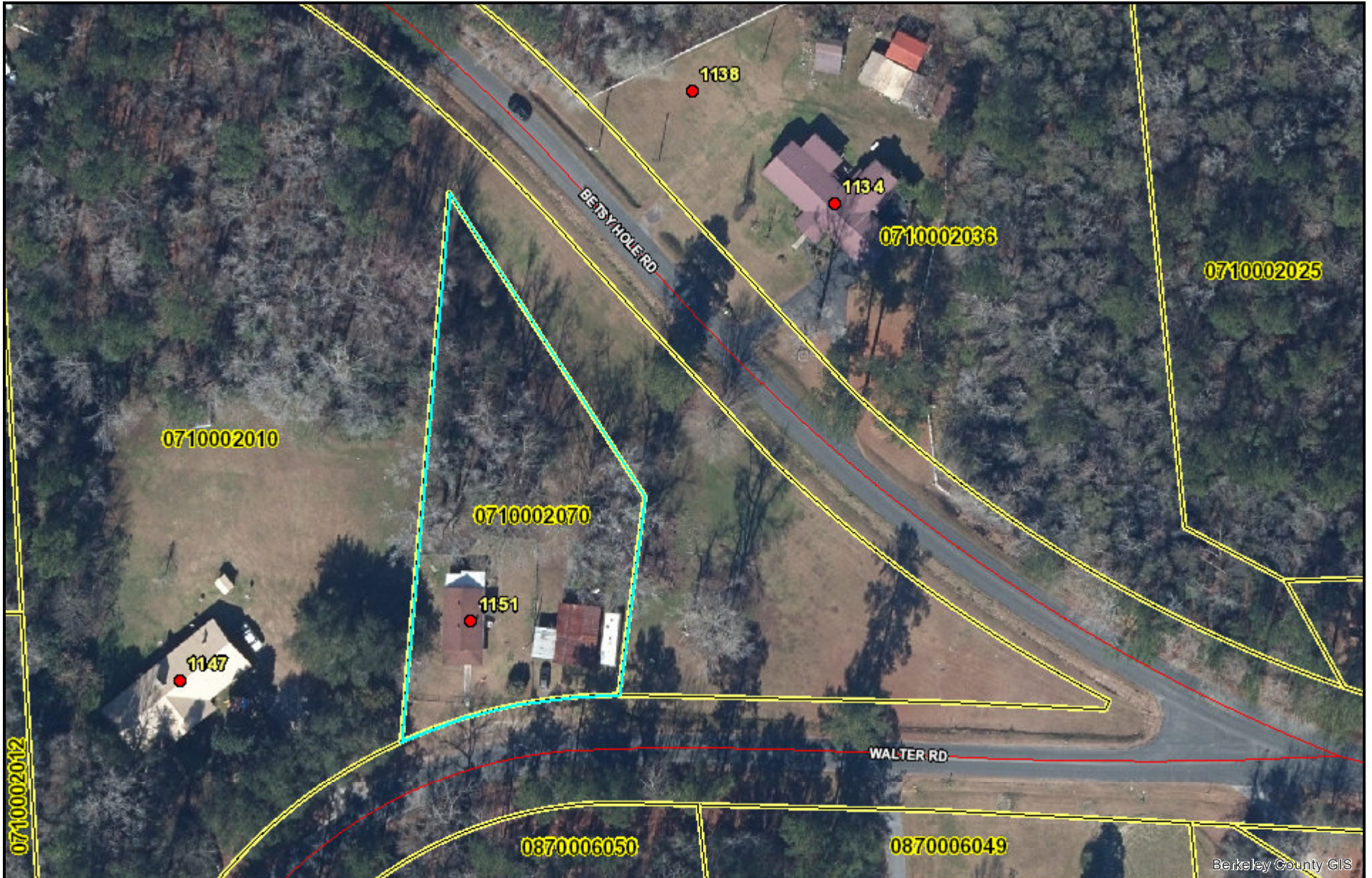
Address: _____

Phone Number: _____

Signature: _____

Date: _____

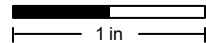
070-00-02-070



Berkeley County GIS



1 inch = 83 feet



Date: 5/31/2022

Berkeley County GIS



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STAFF SUMMARY FOR BOARD OF ZONING APPEALS

Topic: TMS#: 197-00-01-034. Request from Renfroe Outdoor LLC C/O Jacob Barker on behalf of North of Charleston LLC for a variance to §18.10 for relief of the locational requirements for an intended off-premises sign (Billboard) at/near 2690 Hwy 52 in near the Foxbank community. (PLVA 042662-2022)

Prepared By: Amanda Ellis, Planning & Zoning

Date: July 19, 2022

Background: The subject property is approximately 1.0 acre in size, zoned General Commercial (GC), presently undeveloped, and located along a frontage road that parallels Hwy 52 opposite Foxbank Plantation Blvd and the Foxbank Community.

The applicant is seeking to construct a billboard 40 in height and maintain a sign face of 400 square feet subject to the locational criteria established in the Ordinance.

The applicant is seeking relief certain locational requirements established within §18.10. The proposed sign is located within 1,000 feet of a residence and on-premises sign and within 1,500 feet of a wetland (as pursuant to the national wetland inventory dataset).

18.10(b) No portion of any off-premises sign shall be located nearer than a 1,000-foot radius of the following structures as measured from the proposed point of placement along the public right-of-way to the nearest edge of the structure:

- a. An existing off-premises sign;*
- b. Church;*
- c. Cemetery;*
- d. Public building or facility;*

- e. On-premises sign;*
- f. Residence (single-family or multifamily).*

18.10(j) No signs shall be located nearer than 1,500 feet to any location designated a scenic area or highway or wetlands or heritage preserve as defined herein and established pursuant to article 10.3.

Attachment(s):

- Application.pdf
- Letter.pdf
- Relevant Factors Pertaining to the Variance Application.pdf
- 2688 US 52 Location Exhibit.pdf
- Aerial.pdf
- Article18.10_Off_Premise_Signs.pdf
- Buffer_Analysis_Billboard.pdf
- THIS PAGE LEFT INTENTIONALLY BLANK.docx



BERKELEY COUNTY SC

PLANNING AND ZONING DEPARTMENT

Alison Simmons, AICP, Director
P.O. Box 6122
1003 Highway 52 • Moncks Corner, SC 29461
843.719.4095

APPLICATION FOR VARIANCE

Of the Berkeley County Zoning Ordinance No. 01-8-35 (as amended)

ALL SECTIONS OF THIS APPLICATION ARE REQUIRED TO BE COMPLETED TO BE ACCEPTED

Applications are due by COB of the previous month's meeting date. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the *Property Owner Authorization* (found on page 3) to designate the Applicant as the Authorized Agent. Application Fee is \$150.00 (Non-Refundable). Cash, Card, and Check Accepted. Checks may be made out to BERKELEY COUNTY

APPLICANT INFORMATION

PRINTED Name of Applicant: Refnroe Outdoor, LLC, c/o Jacob Barker, Esq. Relation to Property Owner (Check One): I am the Owner I am the Authorized Agent

Phone #: 843-408-4063 Email Address: jbarker@glvlawfirm.com

Mailing Address: 225 Seven Farms Drive, Suite 207, Charleston, SC 29492

PROPERTY OWNER'S CONTACT INFORMATION (IF NOT STATED ABOVE)

Name: North of Charleston, LLC c/o David L. Lucarelli II

Mailing Address: 1204 N. Main Street, Suite G, Summerville, SC 29483

Phone #: 843-437-7514 Email Address:

BZA MEETING DATE AND EXPECTATIONS

BZA Meeting Date Applied for: July 19, 2022

I understand that I will be asked to speak on behalf of my request and that I, or a representative will need to be in attendance. If, for some reason I or a representative will not be able to attend the scheduled meeting, I must submit a written request for deferral to another date in accordance with the adopted Defeat/Deferral Policy or withdraw my application.

Applicant's Initials Here:

ALB

PROPERTY INFORMATION

TMS#: 197-00-01-034 Lot Size: 1.00 acres Zoning: GC

Physical Address or Location of Subject Property: 2690 Goose Creek Blvd, Hwy 52, Moncks Corner, SC 29461

Present Use of the Property: Raw Land

The following information MUST BE submitted with this application:

- 1. **SITE PLAN** This should be on a copy of the recorded plat (8"x11"), if available. Sketch showing ALL existing and proposed buildings, bufferyards, roads, driveways, parking spaces, fencing, and other physical improvements in relation to the request.
- 2. **OTHER RELEVANT EVIDENCE** The burden of proof to demonstrate a physical hardship falls on the applicant. Please enclose any documents, letters of support, surveys, pictures, or other materials deemed necessary to demonstrate the conditions of the property.

SUBMITTAL ENCLOSURES (PLEASE CHECK ALL THAT APPLY)

- Existing Plat of Record
- Site Plan
- Letters of Support from Neighboring Property Owners
- Owner's Notarized Written Authorization (if Owner's Signature Cannot Be Obtained)
- Other (please specify): See Attached

RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to: See Attached

And the Planning and Zoning Department either denied it or stated that it does not conform on the grounds that: See Attached

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, feet, acreage, numbers of, ratio, etc.): See Attached

State Law and the Berkeley County Ordinance requires that the following four (4) facts are sufficiently met in order for a variance to be considered by the BZA. The applicant must prove through fact that the strict application of the ordinance will result in unnecessary hardship. Please provide a response to EACH question provided below and use additional sheets if necessary.

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance. **NOTE: The BZA REQUESTS precise measurements, either drawn on a map or plat or prepared by a Surveyor or other qualified professional. If insufficient information is presented to the BZA, the applicant risks the Variance being denied or held for a future meeting until the Applicant can provide the necessary evidence.**

See Attached

2. These conditions do not generally apply to other property in the vicinity. The applicant should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance? **A simple example pertaining to lot shape: "The triangular shape makes it impossible for me to meet the requirements. All the adjacent lots around me are square."**

See Attached

3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use? **NOTE: Monetary gain or advantage is not to be considered by the board in determining hardship. A simple example pertaining to building a detached garage on a residential lot: "Because of the triangular shape of the lot, a detached garage will not fit within the boundaries of the lot and still adhere to the setback requirements. This prevents the lot from being fully utilized."**

See Attached

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. **Affected/Interested stakeholders, either in support or in opposition, have the privilege to be heard during the Public Hearing.**

See Attached

ACKNOWLEDGMENTS:
TERMS OF THIS APPLICATION

1. Hardship resulting from financial difficulty, and the applicant's own actions are generally not sufficient cause for the board to grant a variance.
2. Although the appeal will be advertised in the local newspaper, and the property posted with a sign concerning the details of the meeting, staff strongly recommend that all neighbors and property owners be contacted, by the applicant, before the application is submitted.
3. The applicant may present, at the discretion of the BZA Chairman, and items and/or individuals he/she believes will help his/her case.
4. Five, of the eight appointed Board members, must be present before action can be taken on the variance, and the concurring vote of majority of the Board present is necessary in order for a Variance to be approved.
5. No Variance, having been denied, shall be resubmitted to the Board for a period of one (1) year, unless conditions have changed substantially and new evidence is received, and the Board votes unanimously to rehear the matter.
6. Any person who may have a substantial interest in any decision of the Board may appeal said decision to a court of competent jurisdiction in and for the county of Berkeley, filing with the clerk of such court a petition in writing setting fourth plainly, fully and distinctly wherein such decision is contrary to the law. Such appeal shall be filed within thirty (30) days after the decision of the board is rendered.

APPLICANT DISCLOSURES

I, the applicant, hereby acknowledge by my signature that this application is complete and accurate to the best of my knowledge, information, and benefit, have read and understand the terms and expectations associated with this Application, hereby release, hold harmless, and indemnify forever Berkeley County, its employees, and agents, both individually and jointly, from any and all liability or responsibility for any foreseen or unforeseen damage, including, but not limited to, death, bodily injury, personal injury, and property damage, arising from the home occupation located at the above-referenced property by adjoining landowners, visitors and/or any user of the home, including, but not limited to, the public at large, am the owner of the subject property or the authorized representative of the owner, authorize the subject property to be posted and/or inspected, AND hereby certify that the tract(s) or parcel(s) of land to which this request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in the South Carolina Code of Laws, Section 6-29-1145, and are exempt per Section 59.35 of the Berkeley County Code of Ordinances.

Signature:  Date: 6/21/2022

PROPERTY OWNER AUTHORIZATION (IF DIFFERENT FROM APPLICANT)

I (we) certify that I (we) are the owners of the property involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this special exception application.

Property Owner(s) Printed Name: North of Charleston, LLC

Property Owner(s) Signature: See Attached Notarized Authorization Letter Date: _____

OFFICE USE SECTION

AMOUNT PAID: _____ CHECK #: _____ ; CASH; ONLINE PAYMENT INTENDED
 DATE RECEIVED: _____ ; RECEIPT NUMBER: _____
 DATE FILED: _____ ; MEETING DATE: _____

ZONING OFFICIAL

DATE

NORTH OF CHARLESTON, LLC
1204 N. Main Street, Suite G
Summerville, SC 29483

June 15, 2022

Berkely County
Planning and Zoning Department
1003 Hwy 52
Moncks Corner, SC 29461

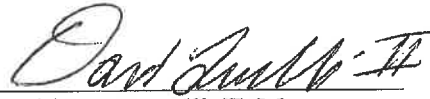
Re: Application for Variance
TMS #1970001034

Dear Sir or Madam:


North of Charleston, LLC is the owner of the above referenced property located in Berkeley County (the "Property"). Renfroe Outdoor, LLC is hereby authorized to seek all necessary permits and licenses necessary to construct and maintain an outdoor billboard structure on the Property. Please allow this letter to act as owner's authorization for Renfroe Outdoor, LLC to apply for and obtain a variance from the Berkeley County Board of Zoning Appeals for that purpose, as well as any other actions necessary to effectuate the erection of a billboard structure on the Property.

Sincerely,

North of Charleston, LLC


David L. Lucarelli, II, Manager

June 16, 2022.



Notary Public for South Carolina (SEAL)
My Commission Expires: 01/24/2032



RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to:

Applicant has a lease over a portion of the subject property on which it would like to erect a dual-faced billboard, an "Off-premises sign" under 18.2(a)(20) of the Berkeley County Ordinance.

And the Planning and Zoning Department either denied it or stated that it does not conform to the grounds that:

- a. The proposed Billboard will lie within 1,000 feet of an existing On-premises sign, which is not allowed under 18.10(b)-e of the Berkeley County Ordinance.
- b. The proposed Billboard will be within 1,000 feet of existing residence(s), which is not allowed under 18.10(b)-f of the Berkeley County Ordinance.

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, fee, acreage, numbers of, ratio, etc.):

- a. The applicant requests a variance from 18.10(b)-e of the Berkeley County Ordinance to place an Off-premises sign within 1000 feet of an existing On-premises sign on a neighboring property.
- b. The applicant requests a variance from 18.20(b)-f of the Berkeley County Ordinance to place an Off-premises sign within 1,000 feet of an existing residence(s).

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

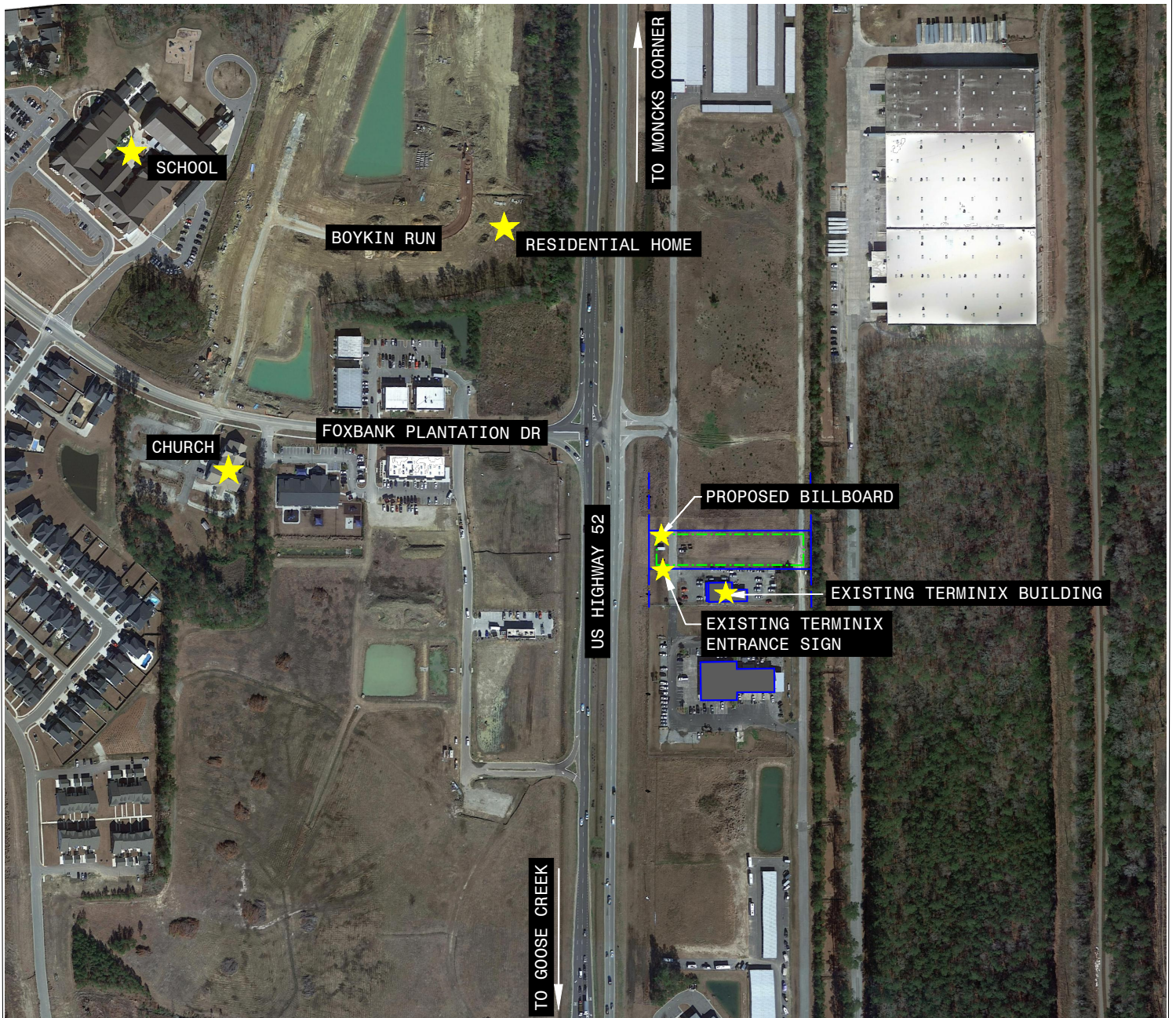
1. **There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance.**
 - a. The allowance of the Billboard within 1,000 feet of the existing On-premises sign is a request made because the subject property's size would not allow for an Off-premises sign outside of the distance from an On-premises sign on a neighboring property required under 18.10(b)-e of the Berkeley County Ordinance.
 - b. The frontage and shape of the subject property would not allow for an Off-premises sign outside the distance from residence(s) as required under 18.10(b)-f of the Berkeley County Ordinance.
2. **These conditions do not generally apply to other property in the vicinity. The application should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance?**

- a. As set forth in (a) in response to #1 of this section, the frontage of the subject property upon which an Off-premises sign could be erected necessitates said sign being within the required distance of a potential neighboring on-premises sign.
 - b. As set forth in (d) in response to #2 of this section, the frontage of the subject property upon which an Off-premises sign could be erected necessitates said sign being within the required distance of residence(s).
- 3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use?**

As set forth above, application of the Ordinance without the requested variances would make it impossible to utilize the leased site for applicant's intended purpose, as the subject property's nature and configuration would not allow for an off-premises sign without the variances Applicant is requesting.

- 4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.**

Granting the variance as requested will cause no harm to the adjacent properties, which are of similar use as the subject property. The public good will not be negatively impacted by the variances, nor will the character of the district.



DISTANCE FROM PROPOSED BILLBOARD TO:
 EXISTING TERMINIX BUILDING: 228'
 EXISTING TERMINIX ENTRANCE SIGN: 92'
 RESIDENTIAL HOME ON BOYKIN RUN: 919'
 SCHOOL (FOX BANK ELEMENTARY): 1,733'
 CHURCH: 1160'

EXHIBIT
 PROPOSED BILLBOARD
 2688 US HIGHWAY 52

PREPARED AT THE REQUEST OF
 NORTH OF CHARLESTON, LLC
 BERKELEY COUNTY, SOUTH CAROLINA

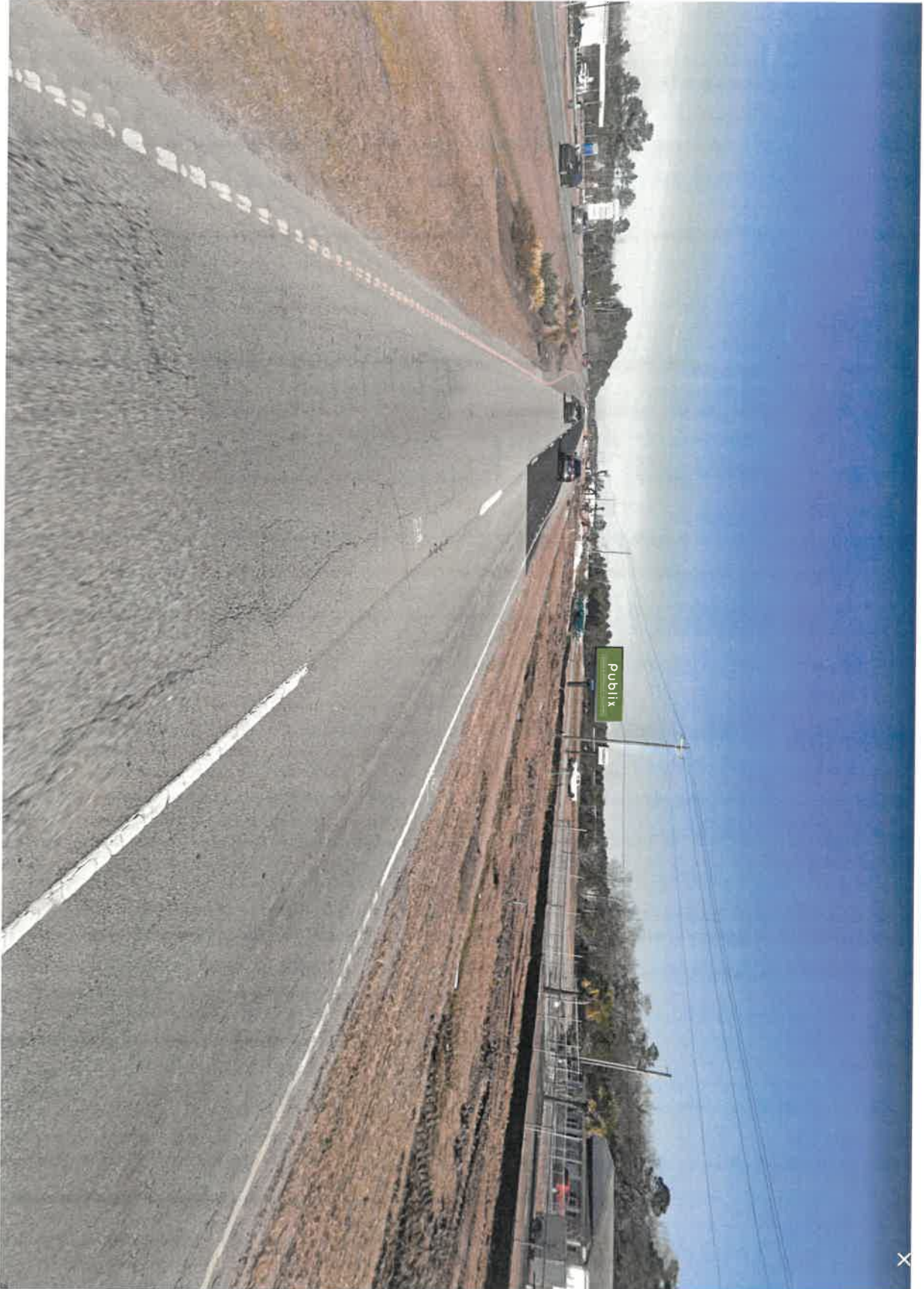
TMS NO. 197-00-01-034

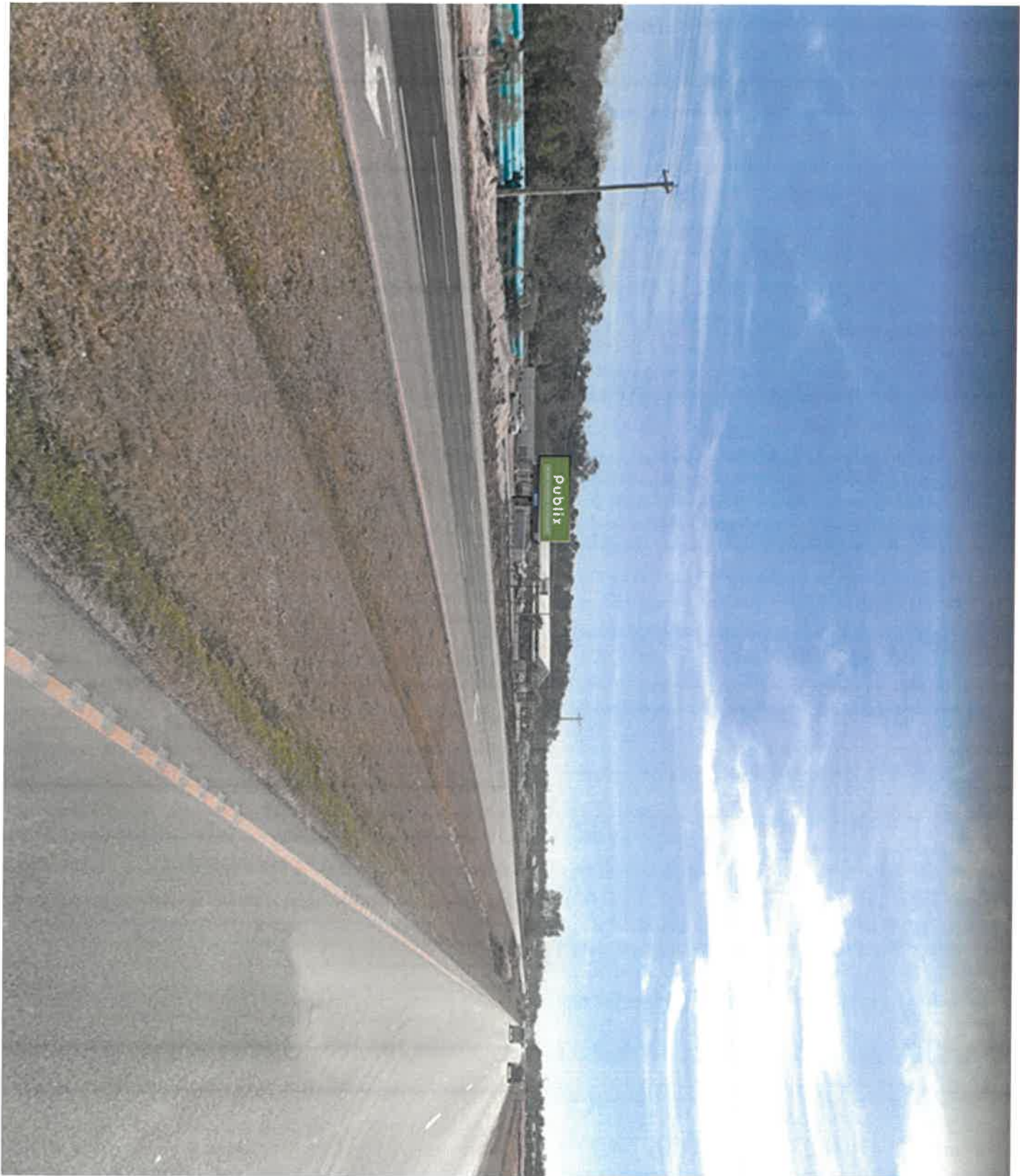
DATE: JUNE 15, 2022



RP & ASSOCIATES LAND SURVEYING AND DRAFTING, LLC

PO BOX 1820 MOUNT PLEASANT
 SOUTH CAROLINA 29465
 VOICE: (803) 873-0482
 WWW.RPASURVEYING.COM





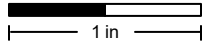
197-00-01-034



Berkeley County GIS



1 inch = 83 feet



Date: 6/28/2022

Berkeley County GIS



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18.10. - Off-premises signs.

The following provisions shall apply to all off-premises signs:

- a) Off-premises signs may be located only within 600 feet of a commercial business or industrial operation measured from the centerline of the commercial or industrial structure and only on the same side of the highway as the commercial use.

Commercial business or industrial operation does not include:

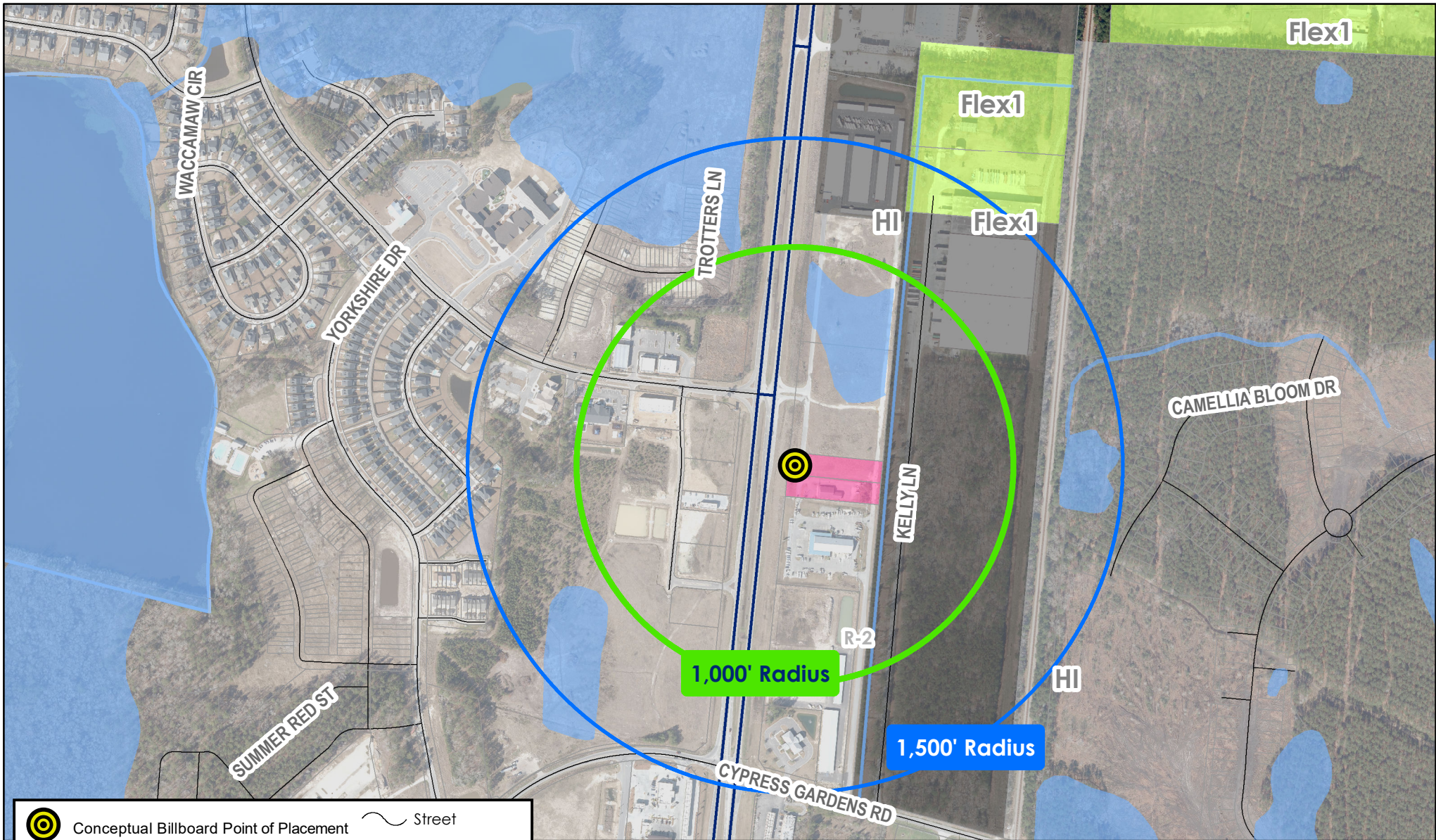
- 1) Such activities not visible from the main traveled thoroughfare;
 - 2) Transient or temporary activities;
 - 3) Outdoor advertising structures;
 - 4) Agricultural, forestry, ranching, grazing or farming activities;
 - 5) Activities conducted in a building used principally as a residence, i.e., home occupations;
 - 6) Activities more than 660 feet from the nearest edge of right-of-way;
 - 7) Railroad tracks and sidings;
 - 8) Public buildings or activities.
- b) No portion of any off-premises sign shall be located nearer than a 1,000-foot radius of the following structures as measured from the proposed point of placement along the public right-of-way to the nearest edge of the structure:
- a. An existing off-premises sign;
 - b. Church;
 - c. Cemetery;
 - d. Public building or facility;
 - e. On-premises sign;
 - f. Residence (single-family or multifamily).
- c) The maximum permitted area of an off-premises sign shall be 400 square feet.
- d) The maximum permitted height of any off-premises sign shall not exceed 40 feet measured from the elevation of existing grade to the highest part of the sign and its supporting structure.
- e) Back-to-back signs and V-sign structures shall be considered as one sign for purposes of spacing requirements.
- f) *Off-premises directional signs.* In order to provide information and directional aid to the general public, off-premises directional signs may be erected with a building permit in Berkeley County provided the sign is not larger than 32 square feet or higher than eight feet from the finished road grade. No off-premises sign shall be located within 150 feet from any other freestanding sign. A business may utilize and/or construct a maximum of three off-premises directional signs.
- g)

Directory listing signs. Directory listing signs will be placed at strategic locations on major highways in order to provide pertinent Berkeley County area information to tourists and visitors. Such listings are intended to be informational and helpful for the convenience of visitors and not promotional of any particular business or type of business. Listings may be limited to local area hotels/motels, restaurants, major residential developments, major retail outlet centers and the like.

- h) The design, location and information character of off-premises directional signs and directory listing signs will be consistent with policies adopted by Berkeley County Council and, in addition, must be in compliance with the Highway Advertising Control Act of South Carolina.
- i) Administration of directory listing signs will be in accordance with regulations developed by the county supervisor.
- j) No signs shall be located nearer than 1,500 feet to any location designated a scenic area or highway or wetlands or heritage preserve as defined herein and established pursuant to article 10.3.

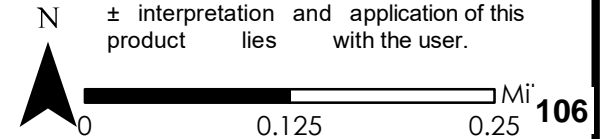
(Ord. No. 02-12-58, 12-16-2002; Ord. No. 04-11-68, 11-23-2004)

197-00-01-034 - Buffer Analysis



	Conceptual Billboard Point of Placement		Street
	publixsignbuff1500		Interstate
	publixsignbuffer1000		US Highway
	National Wetlands Inventory		State Highway
			Forest Road
			Municipalities
			Parcels

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**STAFF SUMMARY
FOR BOARD OF ZONING APPEALS**

Topic: TMS#: 211-15-02-193. Request from Larry Krause for a variance to the Spring Grove Planned Development District (Ord# 14-04-06) for relief of primary structure setback requirements for an intended home addition at/near 204 Goshen Road in the Spring Grove Gables community. (PLVA 042618-2022)

Prepared By: Amanda Ellis, Planning & Zoning

Date: July 19, 2022

Background: The subject property is approximately 8,644 square feet in size, zoned in the Spring Grove Planned Development (PD), contains a 1,959 square foot dwelling constructed in 2018, and located along Goshen Lane (County maintained). The property adjoins HOA common area/open space to the rear and western lot lines.

The applicant is seeking to add onto his primary dwelling a 4' x 14' screened porch, resulting in an encroachment into the 20' rear yard setback of 4'.

The applicant is seeking relief of the primary structure setback requirements established in the Spring Grove PD.

The primary structure setbacks established in the Spring Grove PD are as follows:

Front: 20'

Sides: 5'

Rear: 20'

Of note, variances authorized by the BZA are not a typical remedy within PDs. Instead, should a deviation be desired within the PD, the Master Developer may pursue a Minor or Major PD amendment, as applicable. Because of this, many PDs include a clause authorizing the Planning Director to grant minor relief of up to 25% of certain typical dimensional requirements (typically, setback) upon demonstration of a physical hardship or no practical alternatives. The Spring Grove PD does not include such an allowance for administrative relief. For this reason and because it is uncertain if a Master Developer maintains a presence in the community [since it has built out], this variance is deemed by the Department as the most appropriate remedy for the applicant to pursue.

Attachment(s):

[Application Krause.pdf](#)

[Plat.pdf](#)

[Proposal.pdf](#)

[Photo of patio.pdf](#)

[GIS maps.pdf](#)

[Aerial.pdf](#)

[s_d_plat.pdf](#)

[PDMU Spring Grove-dim standards.pdf](#)

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APPLICATION FOR VARIANCE

Of the Berkeley County Zoning Ordinance No. 01-8-35 (as amended)

ALL SECTIONS OF THIS APPLICATION ARE REQUIRED TO BE COMPLETED TO BE ACCEPTED

Applications are due by COB of the previous month's meeting date. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the Property Owner Authorization (found on page 3) to designate the Applicant as the Authorized Agent. Application Fee is \$150.00 (Non-Refundable). Cash, Card, and Check Accepted. Checks may be made out to BERKELEY COUNTY

APPLICANT INFORMATION

PRINTED Name of Applicant: Larry Krause
Relation to Property Owner (Check One): [X] I am the Owner [] I am the Authorized Agent
Phone #: 843-934-9887
Email Address: LL Krause 204@icloud.com
Mailing Address: 204 Goshen Road, Moncks Corner SC, 29461

PROPERTY OWNER'S CONTACT INFORMATION (IF NOT STATED ABOVE)

Name:
Mailing Address:
Phone #:
Email Address:

BZA MEETING DATE AND EXPECTATIONS

BZA Meeting Date Applied for:
I understand that I will be asked to speak on behalf of my request and that I, or a representative will need to be in attendance. If, for some reason I or a representative will not be able to attend the scheduled meeting, I must submit a written request for deferral to another date in accordance with the adopted Defeat/Deferral Policy or withdraw my application.
Applicant's Initials Here:

PROPERTY INFORMATION

TMS#: 211-15-02-193 Lot Size: Zoning:
Physical Address or Location of Subject Property: 204 Goshen Road Moncks Corner S.C.
Present Use of the Property: Residential

The following information MUST BE submitted with this application:

- 1. SITE PLAN This should be on a copy of the recorded plat (8"x11"), if available. Sketch showing ALL existing and proposed buildings, bufferyards, roads, driveways, parking spaces, fencing, and other physical improvements in relation to the request.
2. OTHER RELEVANT EVIDENCE The burden of proof to demonstrate a physical hardship falls on the applicant. Please enclose any documents, letters of support, surveys, pictures, or other materials deemed necessary to demonstrate the conditions of the property.

SUBMITTAL ENCLOSURES (PLEASE CHECK ALL THAT APPLY)

- [] Existing Plat of Record
[X] Site Plan
[] Letters of Support from Neighboring Property Owners
[] Owner's Notarized Written Authorization (If Owner's Signature Cannot Be Obtained)
[] Other (please specify):

RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to:

Add 4' x 14' Screen Porch with vinyl panels

And the Planning and Zoning Department either denied it or stated that it does not conform on the grounds that:

Exceeds rear set back

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, feet, acreage, numbers of, ratio, etc.):

Allowance for 4' screen porch encroachment

State Law and the Berkeley County Ordinance requires that the following four (4) facts are sufficiently met in order for a variance to be considered by the BZA. The applicant must prove through fact that the strict application of the ordinance will result in unnecessary hardship. Please provide a response to EACH question provided below and use additional sheets if necessary.

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance. NOTE: The BZA REQUESTS precise measurements, either drawn on a map or plat or prepared by a Surveyor or other qualified professional. If insufficient information is presented to the BZA, the applicant risks the Variance being denied or held for a future meeting until the Applicant can provide the necessary evidence.

The angle of the lot cuts across proposed addition.

2. These conditions do not generally apply to other property in the vicinity. The applicant should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance? A simple example pertaining to lot shape: "The triangular shape makes it impossible for me to meet the requirements. All the adjacent lots around me are square."

All the adjacent lots around me are square

The angle of the lot limits 4' screen porch addition

3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use? NOTE: Monetary gain or advantage is not to be considered by the board in determining hardship. A simple example pertaining to building a detached garage on a residential lot: "Because of the triangular shape of the lot, a detached garage will not fit within the boundaries of the lot and still adhere to the setback requirements. This prevents the lot from being fully utilized."

We struggle to use the small screen porch built in to foot print of home. need 4 more feet out

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Affected/Interested stakeholders, either in support or in opposition, have the privilege to be heard during the Public Hearing.

This addition is small and will not harm adjacent property view or limit any access.

ACKNOWLEDGMENTS:

TERMS OF THIS APPLICATION

1. Hardship resulting from financial difficulty, and the applicant's own actions are generally not sufficient cause for the board to grant a variance.
2. Although the appeal will be advertised in the local newspaper, and the property posted with a sign concerning the details of the meeting, staff strongly recommend that all neighbors and property owners be contacted, by the applicant, before the application is submitted.
3. The applicant may present, at the discretion of the BZA Chairman, and items and/or individuals he/she believes will help his/her case.
4. Five, of the eight appointed Board members, must be present before action can be taken on the variance, and the concurring vote of majority of the Board present is necessary in order for a Variance to be approved.
5. No Variance, having been denied, shall be resubmitted to the Board for a period of one (1) year, unless conditions have changed substantially and new evidence is received, and the Board votes unanimously to rehear the matter.
6. Any person who may have a substantial interest in any decision of the Board may appeal said decision to a court of competent jurisdiction in and for the county of Berkeley, filing with the clerk of such court a petition in writing setting fourth plainly, fully and distinctly wherein such decision is contrary to the law. Such appeal shall be filed within thirty (30) days after the decision of the board is rendered.

APPLICANT DISCLOSURES

I, the applicant, hereby acknowledge by my signature that this application is complete and accurate to the best of my knowledge, information, and benefit, **have read and understand the terms and expectations associated with this Application**, hereby release, hold harmless, and indemnify forever Berkeley County, its employees, and agents, both individually and jointly, from any and all liability or responsibility for any foreseen or unforeseen damage, including, but not limited to, death, bodily injury, personal injury, and property damage, arising from the home occupation located at the above-referenced property by adjoining landowners, visitors and/or any user of the home, including, but not limited to, the public at large, **am the owner of the subject property or the authorized representative of the owner**, authorize the subject property to be posted and/or inspected, AND hereby certify that the tract(s) or parcel(s) of land to which this request pertains is *not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought*, as provided in the South Carolina Code of Laws, Section 6-29-1145, and are exempt per Section 59.35 of the Berkeley County Code of Ordinances.

Signature: Larry J. Krause Date: 5/12/2022
Linda Y. Krause

PROPERTY OWNER AUTHORIZATION (IF DIFFERENT FROM APPLICANT)

I (we) certify that I (we) are the owners of the property involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this special exception application.

Property Owner(s) Printed Name: LARRY J KRAUSE

Property Owner(s) Signature: LINDA Y. KRAUSE Date: 5/12/2022

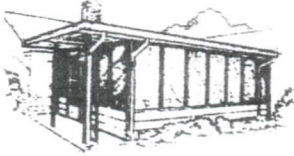
OFFICE USE SECTION

AMOUNT PAID: 150.00 CHECK #: 1428 ; CASH; ONLINE PAYMENT INTENDED

DATE RECEIVED: 6/15/22 ; RECEIPT NUMBER: N/A

DATE FILED: 6/15/22 ; MEETING DATE: July 19, 2022

Amanda S. Lee 6/15/22
 ZONING OFFICIAL DATE



SPECIAL ADDITIONS, INC.
 Screen Rooms • Glass Rooms • Carports • Pool Enclosures
 10892 Dorchester Road • Summerville, SC 29485
 (843) 851-2303



Proposal submitted to: **Linda Krause** Date: **3-24-22**
 Address: **204 Goshen Road** Phone: **843-934-9887**
Moncks Corner SC 29461 Start Date:
 Job Name and Location: **lkrause204@icloud.com** Finish Date:

- Over pour existing porch slab and extend to 14' x 14'**
- Cover new slab and add 4' to projection with 3' insulated studio style roof.**
- Mount off over hang of house roof shingle to match home as close as possible.**
- Remove existing screen walls and enclose with aluminum framing for Eze Breeze Four Track Window System. Floor to header.**
- Full exterior screens. Install solid panel below one widow for Customers A/C**
- Solid end wing panels in upper ends above windows.**
- Install one exterior light fixture, one ceiling fan at existing ceiling light both purchased by customer. 2- 110 outlets.**
- French style Cabana doors on left side of front wall.**
- All White Framing.**
- Included County Permit and HOA approval**

"Lifetime Warranty"

ACCEPTED: The above prices, specifications and conditions are satisfactory, and are hereby accepted. I/We have read and understand the Standard Conditions of Contract as contained on the back of this proposal. You are authorized to do the work as specified. Payment will be made as outlined above. This contract may be cancelled within 72 hours by either party with no penalty. Contract subject to office approval.

SUBTOTAL	\$17,815.00
TAX	0
TOTAL	
DEPOSIT:	\$1,780.00
BALANCE:	

\$5,300.00 at concrete \$5,300.00 at wall and roof framing.

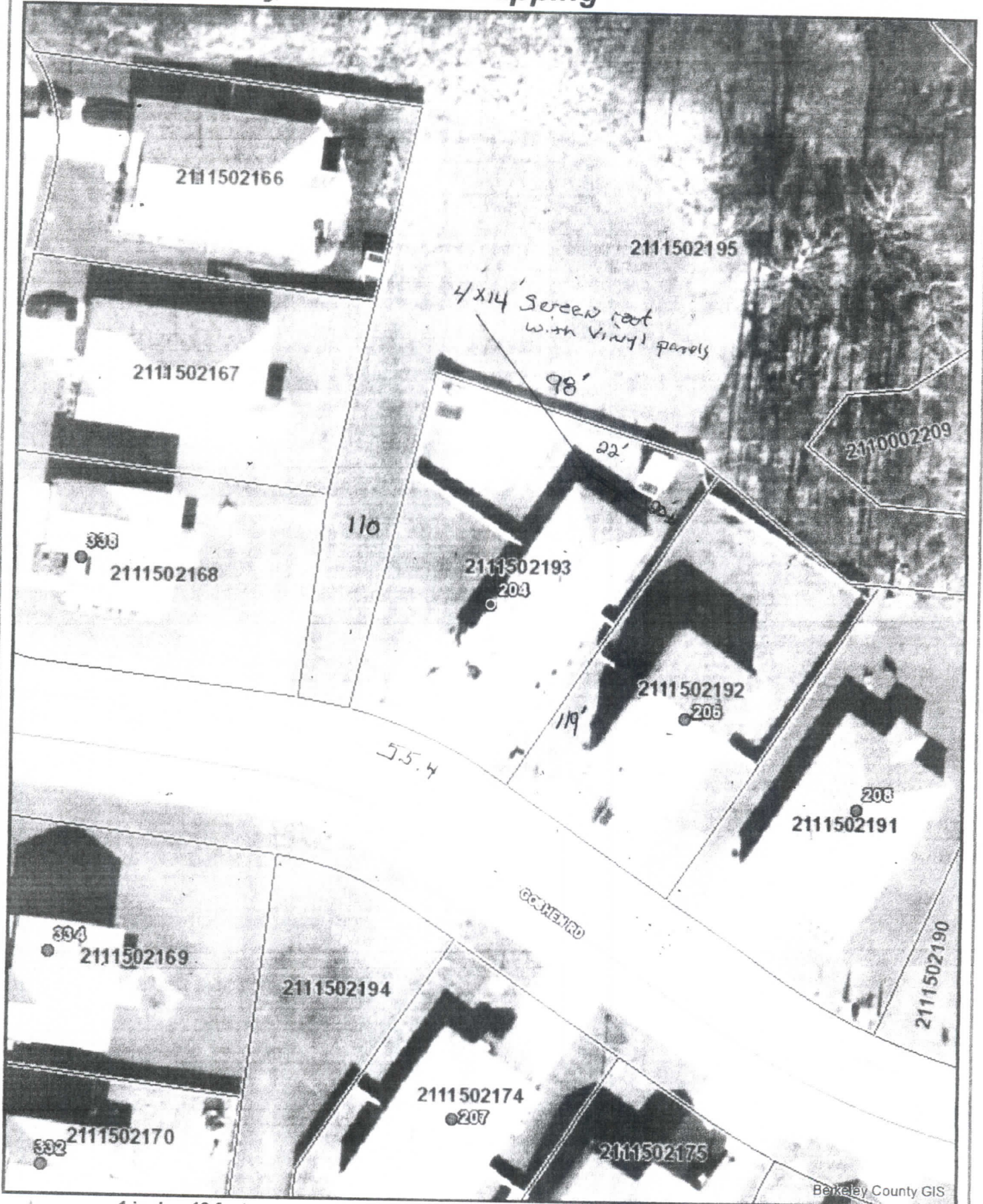
SIGNATURE *Larry D Krause* **\$5,435.00 at total competition**
 REPRESENTATIVE *Daniel E...* **Krause**

See back for Standard Conditions of Contract

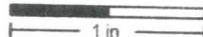
Larry



Berkeley County GIS Online Mapping



1 inch = 42 feet



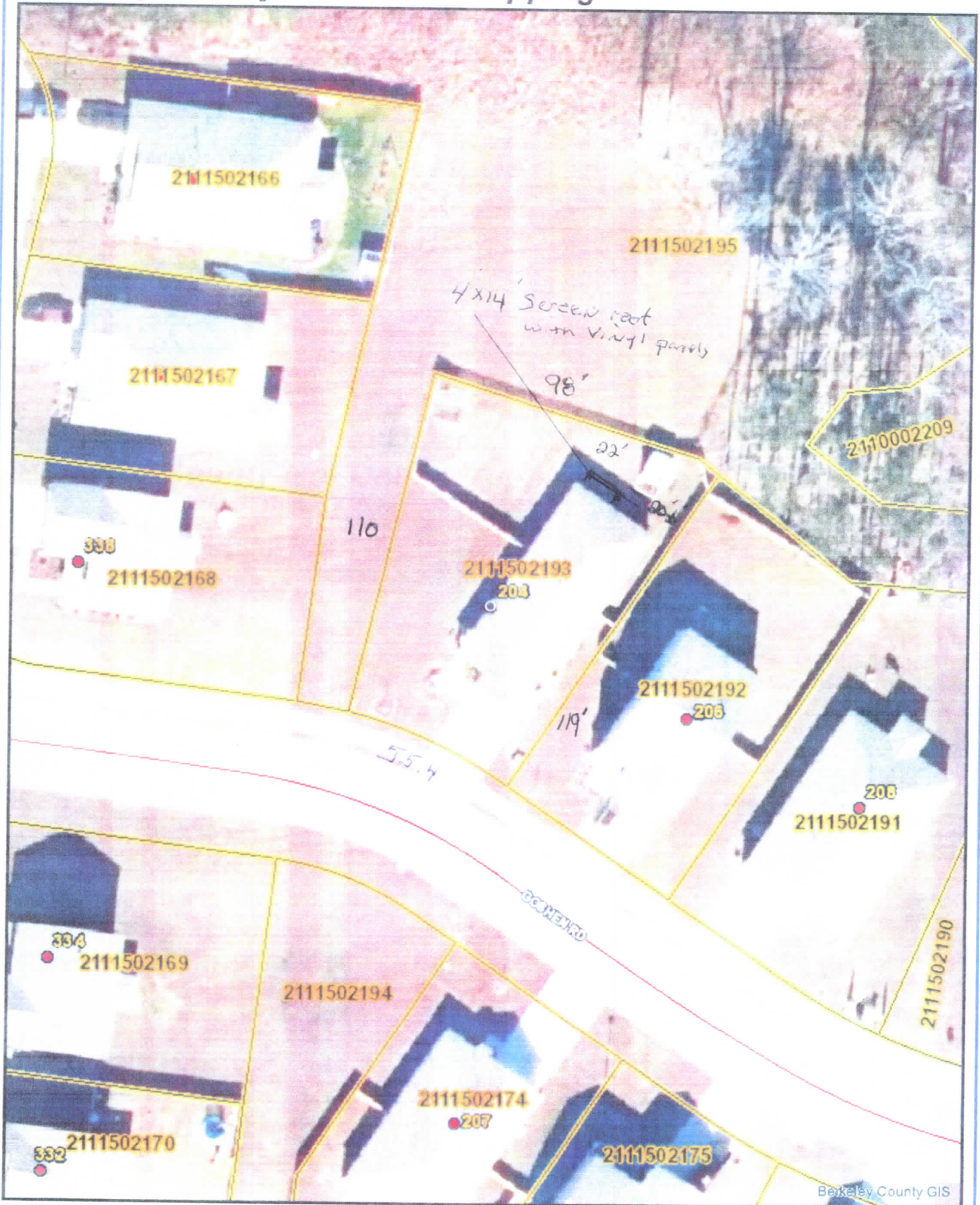
Date: 3/28/2022

Berkeley County GIS



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Berkeley County GIS Online Mapping



Berkeley County GIS



1 inch = 42 feet
Date: 3/28/2022
Berkeley County GIS

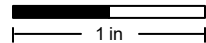


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211-15-02-193



1 inch = 42 feet



Date: 6/15/2022

Berkeley County GIS



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REFERENCES:

1. PLAT OF PHASE 1 DATED SEPTEMBER 13, 2016, BY CHRISTOPHER R. ELMER, SCPLS No. 30759 AND RECORDED IN CABINET S, PAGE 396 & 397.
2. SUBDIVISION PLAT SHOWING POCKET F, POCKET H, AND THE RIGHT-OF-WAY OF COLONY POST LOOP BEING SUBDIVIDED FROM THE RESIDUAL OF TRACT A.S. DATED JULY 31, 2014, BY TIMOTHY D. ELMER, SCPLS No. 17586, AND RECORDED IN CABINET R, PAGE 395P.
3. PLAT SHOWING METLANDS A, B, & C, DATED SEPTEMBER 12, 2008, BY TIMOTHY D. ELMER, SCPLS No. 17566, AND RECORDED IN PLAT CABINET M, PAGE 394 & 395-P.
4. BERKELEY COUNTY TAX MAP 211-00-02-208.

NOTES:

1. THIS PROPERTY IS LOCATED IN FLOOD ZONE X, PER FLEM, COMMUNITY PANEL 4501SC 0385 D, EFFECTIVE DATE OCTOBER 16, 2003.
2. AREA WAS DETERMINED BY COORDINATE METHOD.
3. ALL PROPERTY CORNERS SET ARE 3/4" REBAR.
4. THIS PROPERTY IS ZONED PD-MU.
5. OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF ALL LAKES/PONDS/LAGOONS, OPEN SPACES, COMMON AREAS, OUTFALL STRUCTURES, AND SWALES ARE THAT OF THE HOMEOWNERS ASSOCIATION (H.O.A.). BERKELEY COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR DRAINAGE OF THE LAKES/PONDS/LAGOONS, OPEN SPACES, COMMON AREAS, OUTFALL STRUCTURES, AND SWALES. ONLY DRAINAGE EASEMENTS AND RIGHTS-OF-WAY TO BE DEDICATED AS PUBLIC.
6. DRIVEWAYS ON CORNER LOTS SHALL BE AT LEAST 40 FEET FROM THE POINT OF INTERSECTION OF THE NEAREST STREET RIGHT-OF-WAY LINES.
7. METLAND MITIGATION BY PERMIT # SAC-2004-13510 (FORMERLY 2003-1U-242-C) DATED MAY 21, 2009.
8. IN AREAS WHERE MORE THAN ONE EASEMENT IS OCCUPYING THE SAME SPACE, THE DRAINAGE EASEMENT WILL HAVE PRIORITY.
9. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.

PROJECT DETAILS:
TMS # 211-00-02-208

PROJECT AREA - 11.744 ACRES

PD-MU: PLANNED UNIT DEVELOPMENT-MIXED USE

TYPICAL LOT WIDTH - 63 FT

TYPICAL LOT DEPTH - 110 FT

TYPICAL LOT DEPTH/WIDTH - 1.75:1

ROAD ASPHALT WIDTH - 22 FT

RIGHT-OF-WAY WIDTH - 50 FT

PHASE 2 INFORMATION:

NUMBER OF LOTS - 37

SMALLEST LOT - LOT 81-6,930.00 sq.ft.

LARGEST LOT - LOT 69-11,815.94 sq.ft.

AVERAGE LOT - 6,930.00 sq.ft.

DENSITY - 3.1 DU/AC

H.O.A. OPEN SPACE ACREAGE - 3.477 AC

PROPOSED R/W ACREAGE - 1.607 AC

SEWER/WATER UTILITIES: BERKELEY COUNTY WATER AND SANITATION

LEGEND

- PROPERTY LINE WITH PROPERTY CORNER FOUND
- PROPERTY LINE WITH PROPERTY CORNER SET (SEE NOTE #3)
- ADJACENT PROPERTY LINE
- RIGHT OF WAY LINE
- CENTERLINE OF RIGHT OF WAY
- EASEMENT LINE
- QUATER
- OPEN DRAINAGE SETBACK
- PHASE LINE
- METLAND & METLAND BUFFER
- G.U.E. GENERAL UTILITY EASEMENT
- ESMT. EASEMENT
- E.S. EACH SIDE

TIM ELMER RLS, LLC
407 COTTON HOPE LANE
SUMMERVILLE, SC 29483
Phone: (843) 482-0795
Facsimile: (843) 482-0796
CElmer.TRLS@gmail.com



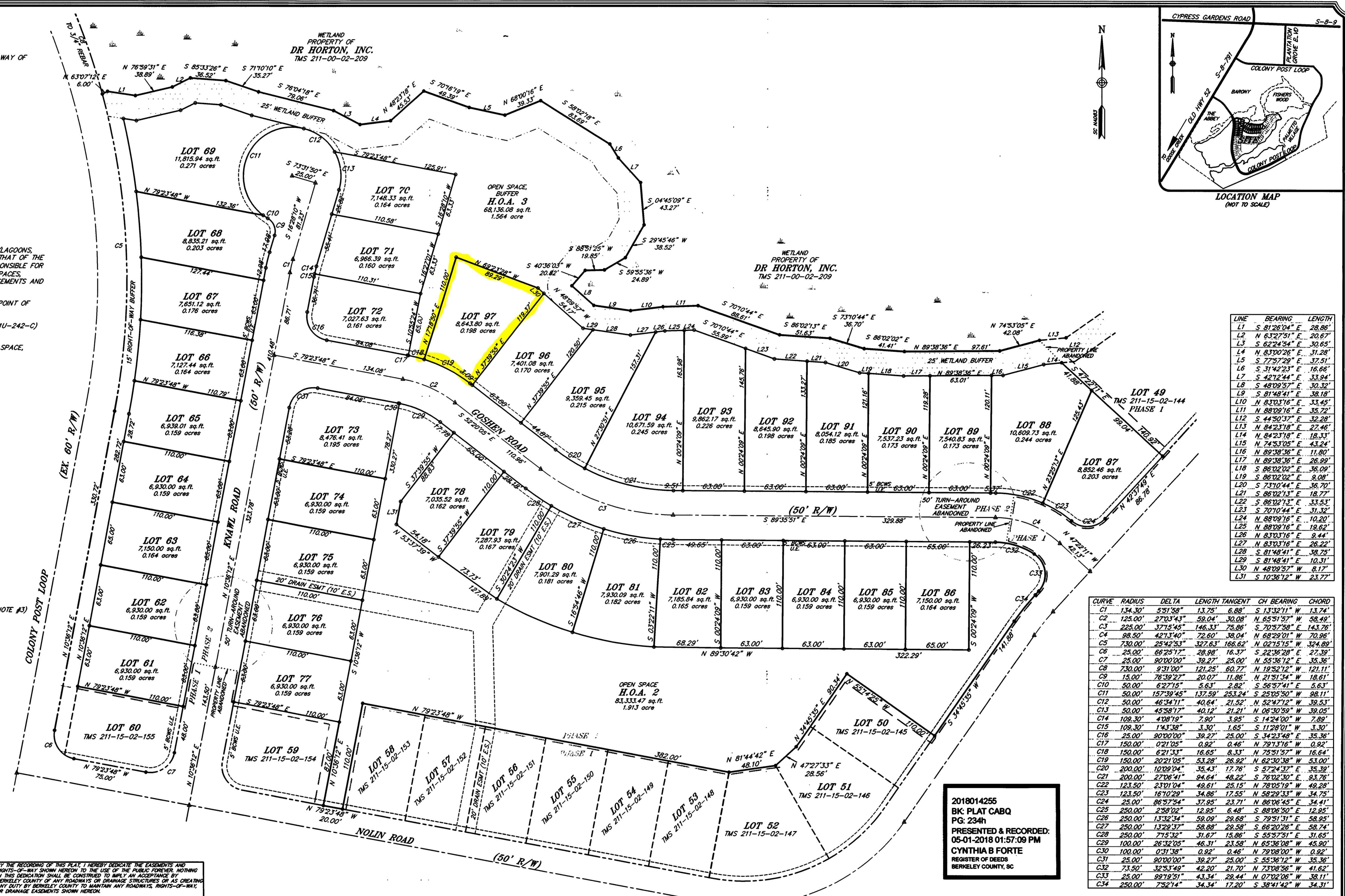
BY THE RECORDING OF THIS PLAT I HEREBY DENY THE EXISTENCE AND RIGHTS-OF-WAY SHOWN HEREON TO THE USE OF THE PUBLIC FENCED, NOTHING IN THIS DENIAL SHALL BE CONSTRUED TO WAIVE OR WAIVER BY BERKELEY COUNTY OF ANY RIGHTS-OF-WAY OR DRAINAGE STRUCTURES OR AS CREATING ANY DUTY BY BERKELEY COUNTY TO MAINTAIN ANY RIGHTS-OF-WAY OR DRAINAGE EASEMENTS SHOWN HEREON.

ACCREAGE TABLE

37 LOTS (PHASE 2):	6.660 ACRES
RIGHT-OF-WAY (SUBDIVISION):	1.607 ACRES
H.O.A. (OPEN SPACE & BUFFERS):	3.477 ACRES
TOTAL (PHASE 2):	11.744 ACRES

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR CLASS A SURVEY AS SPECIFIED THEREIN.

CHRISTOPHER R. ELMER, SCPLS No. 30759



LINE BEARING LENGTH

L1	S 81°26'04" E	28.86'
L2	N 63°27'51" E	30.65'
L3	S 62°24'54" E	30.65'
L4	N 83°00'26" E	31.28'
L5	S 77°57'29" E	37.51'
L6	S 31°42'23" E	16.68'
L7	S 42°24'44" E	33.94'
L8	S 48°02'57" E	30.52'
L9	S 81°46'41" E	38.18'
L10	N 83°03'16" E	33.45'
L11	N 88°02'16" E	35.27'
L12	S 70°14'44" E	32.28'
L13	N 84°21'18" E	22.46'
L14	N 84°21'18" E	18.33'
L15	N 74°53'05" E	43.27'
L16	N 88°02'16" E	11.80'
L17	N 88°38'36" E	26.89'
L18	S 86°02'02" E	36.00'
L19	S 86°02'02" E	4.08'
L20	S 73°10'44" E	36.70'
L21	S 86°02'13" E	18.77'
L22	S 86°02'12" E	33.52'
L23	S 70°14'44" E	4.08'
L24	N 88°02'16" E	10.20'
L25	N 88°02'16" E	12.62'
L26	N 83°03'16" E	8.44'
L27	S 70°14'44" E	31.30'
L28	S 81°46'41" E	38.21'
L29	S 81°46'41" E	10.31'
L30	N 48°02'57" E	0.17'
L31	S 10°36'12" W	23.77'

CURVE RADIUS DELTA LENGTH TANGENT CH BEARING CHORD

C1	134.30'	571°58'	13.75'	6.86'	S 133°12'11" W	13.74'
C2	125.00'	270°43'	59.04'	30.08'	N 65°51'57" E	58.49'
C3	228.00'	371°45'	146.33'	76.86'	S 70°57'58" E	143.78'
C4	88.50'	42°34'	22.60'	11.64'	N 82°47'12" W	22.11'
C5	730.00'	28°42'53"	327.63'	166.62'	N 02°15'15" W	324.68'
C6	25.00'	69°25'12"	28.98'	16.37'	S 22°36'28" E	27.39'
C7	25.00'	80°00'00"	39.27'	24.00'	N 55°36'12" E	35.38'
C8	238.00'	91°02'00"	117.89'	60.77'	N 10°38'02" W	121.11'
C9	15.00'	78°39'27"	20.07'	11.86'	N 21°51'34" W	18.61'
C10	50.00'	62°17'5"	56.63'	2.82'	S 56°57'41" E	56.83'
C11	50.00'	167°39'45"	137.88'	283.44'	S 28°39'50" W	98.11'
C12	30.00'	46°34'11"	40.84'	21.81'	N 82°47'12" W	35.23'
C13	50.00'	45°58'17"	40.12'	21.21'	N 06°30'59" W	39.05'
C14	109.30'	498°19"	7.90'	3.95'	S 142°40'00" W	7.89'
C15	198.30'	14°35'8"	13.70'	6.85'	S 112°01'10" W	13.70'
C16	25.00'	80°00'00"	39.27'	24.00'	S 34°23'48" E	35.38'
C17	150.00'	0°21'05"	0.82'	0.46'	N 79°37'16" W	0.92'
C18	150.00'	871°34"	16.88'	8.33'	N 75°01'57" W	16.64'
C19	150.00'	203°10'5"	33.89'	28.92'	N 62°03'58" W	52.07'
C20	200.00'	103°04'	35.43'	17.76'	S 57°24'37" E	35.38'
C21	200.00'	278°41'	94.64'	48.22'	S 78°02'30" E	93.78'
C22	123.50'	231°04'	49.61'	25.15'	N 78°02'19" W	49.29'
C23	123.50'	181°02'00"	34.88'	17.55'	N 58°20'13" W	34.79'
C24	25.00'	86°57'24"	37.65'	23.71'	N 66°06'45" E	34.41'
C25	250.00'	258°02"	12.85'	6.48'	S 88°08'50" E	12.85'
C26	250.00'	133°23'4"	59.09'	29.68'	S 75°51'51" E	58.93'
C27	250.00'	132°57'	58.68'	29.58'	S 66°20'26" E	58.74'
C28	250.00'	215°32'	31.67'	15.86'	S 55°51'51" E	31.65'
C29	100.00'	88°32'05"	46.31'	23.58'	N 65°38'08" W	46.80'
C30	100.00'	0°51'58"	0.82'	0.46'	N 79°08'00" W	0.92'
C31	25.00'	80°00'00"	39.27'	24.00'	S 55°36'12" W	35.38'
C32	25.00'	32°34'49"	42.20'	21.70'	N 73°08'56" W	41.62'
C33	25.00'	89°18'51"	43.34'	22.44'	N 07°02'06" W	38.11'
C34	250.00'	78°27'4"	34.34'	17.20'	S 38°41'42" W	34.31'

2018014255
BK: PLAT CABQ
PG: 234H
PRESENTED & RECORDED:
05-01-2018 01:57:09 PM
CYNTHIA B FORTE
REGISTER OF DEEDS
BERKELEY COUNTY, SC

FINAL PLAT
SHOWING SPRING GROVE POCKET H - PHASE 2, LOTS 61-97,
BEING A PORTION OF TMS 211-00-02-208 (11.744 ACRES),
PROPERTY OF D R HORTON, INC., LOCATED NEAR BUSHY PARK,
BERKELEY COUNTY, SOUTH CAROLINA.

DATE: DECEMBER 20, 2017
UPDATED: MARCH 30, 2017 (BERKELEY COUNTY COMMENTS)

SCALE: 1" = 50'

0 25 50 100 200
IN FEET
1 Inch = 50 ft.

JOB NO. 16-POCKET H GRE

Roads (including Right of ways): 26.2 Ac (Major collector roads) 5.5%

<u>Development Use</u>	<u>Acreage</u>	<u>Percentage</u>
Single Family	+355.9 Ac	74.6%
Commercial	± 5.0 Ac	1.1%
Open Space	+ 90.0 Ac	18.8%
Total	477.2 Ac	

NOTES:

- ± (Plus/Minus) indicates estimated areas of expected projection for future development
- Right-of-Way total (26.2 Ac) includes main collector roads outside of residential and commercial pockets
- Open Space total includes recreational and wetland areas outside of residential and commercial pockets

b. Minimum Lot Area:

Residential

Pockets A through N: Minimum residential lot area is 5,250 square feet (sf).

The minimum allowed residential lot area will be 5,250 square foot with a minimum width of 50'. Pockets F, H, I, J, and N will have an additional restriction of minimum lot size that will allow only 5% of the total number of lots in each pocket as shown in Revised Master Plan, 10/29/2013, can be minimum lot size, 5,250, and cannot exceed the total of lots in each of the above pockets as shown in Revised Master Plan, 10/29/2013. The 50' width of lot shall be measured at front and rear setback lines or be denoted as special setback lines if not located at minimum setback lines.

Commercial

Pocket O: Maximum commercial lot area is 5.0 acres (Ac).

c. Approximate Square Footage of Non Residential Use: No Change

d. Minimum Lot Yards, Setbacks:

- PD-MU Residential lot setbacks

Parcel Size	Front	Sides	Rear	2nd Street Front	Open Drainage Easement	Ingress / Egress Easement
5,250 to 15,000 sf lots	20'	5'	20'	7.5'	30'***	Min. required for front side or rear

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**STAFF SUMMARY
FOR BOARD OF ZONING APPEALS**

Topic: TMS#: 226-00-00-001. Request from Carver Maritime on behalf of DUPONT SPECIALTY PRODUCTS USA LLC for a variance to §7.5.5(D) for relief of the screening requirements for outdoor storage at/near 3300 Cypress Gardens Rd and 1001 Dupont Way in the Bushy Park vicinity. (PLVA 042646-2022)

Prepared By: Amanda Ellis, Planning & Zoning

Date: July 19, 2022

Background: The subject property is approximately 452.29 acres in size, fronts the Cooper River, zoned Heavy Industrial (HI), and used historically as part of the Dupont industrial assemblage.

The applicant is seeking relief of the screening requirements applicable to outdoor storage uses for an intended laydown yard (and any future laydown yards) for Carver Maritime at or near the DuPont industrial assemblage. A temporary use permit has been authorized by staff for temporary storage of business materials until site development plans are approved.

According to our records, state maintenance and public access of Cypress Gardens Road ends approximately 1 mile before the subject site and is gated from public access by the existing industrial developments, DuPont facilities and DAK Americas. The initial outdoor storage component is internal to the future site development and will be accessory to primary use industrial facilities upon buildout. As such the applicant is

seeking relief of the screening requirements, according to their application.

Typical screening for accessory outdoor storage is as follows:

Continuous visual screen constructed of wood, brick, masonry, or chain-link with opaque slats not less than 8' in height but not to exceed 12' in height.

Sec. 7.5.5 (D) (2). Outdoor storage (primary use).

- a. *Screening. Open storage shall be enclosed by a continuous visual screen provided and maintained as well as buffering requirements found in article 17. The continuous screen shall be wood, brick, or masonry, or chain link with opaque slats and not less than eight feet in height and shall not exceed 12 feet in height.*
- b. *Materials stored. Materials stored in the open shall not be permanently stacked higher than the required screen.*
- c. *No outdoor storage activity shall create a nuisance or unduly disrupt the allowed uses of other property. Vehicle transportation associated with the activity shall be considered when evaluating this criterion with respect to residential areas.*
- d. *All outdoor storage activities must have a designated manager; and said manager must be sufficiently bonded to ensure that, in case of abandonment, the site will be rehabilitated and restored, and that all permit conditions regarding the final disposition of the site will be fulfilled.*
- e. *For all outdoor storage activities that are subject to permitting by the S.C. Department of Health and Environmental Control (DHEC), information supplied to DHEC under the permit process may be used for the required submission to Berkeley County; provided, however, that where these criteria request information in addition to that provided to DHEC, such additional information must be provided in full. A DHEC permit does not constitute full compliance with the provisions of the Berkeley County zoning and development standards ordinance.*
- f. *Required information. The applicant shall provide the zoning administrator with information as specified below. The zoning administrator shall confer with other county officials as appropriate, and within 60 days of submission of a complete application, shall either approve the conditional use or deny the permit application. Both permit denials and conditions shall be*

based upon these criteria and the information required of the applicant.

- 1. Applicant: name, address, phone number.*
 - 2. If the applicant will not actually manage the activities on-site, provide the manager's name, address, and phone number*
 - 3. Is the applicant or manager bonded? If so, provide details.*
 - 4. What are the proposed activities? Where are they proposed to occur? List the substances that are proposed for storage or disposal. Indicate which, if any, of these substances has been designated as a hazardous material or is required to be disclosed pursuant to the provisions of the Superfund Amendments and Reauthorization Act (SARA), title III (Public Law 99-499, 199 Stat. 1613 (1986)).*
 - 5. Provide a site map. If certain areas of the site are to be used for storage/disposal of hazardous substances and/or substances required to be disclosed pursuant to SARA, title II (supra), show such areas on the site map.*
 - 6. Provide a detailed, step-by-step description of the proposed activities. Describe the methods for ensuring that all stored/disposed substances will not create objectionable sanitary, aesthetic, or other nuisance conditions. If applicable, describe the methods and procedures for dealing with spills of liquid materials.*
 - 7. Indicate hours of operation for activities on-site.*
 - 8. Indicate the type and extent of outdoor lighting that will be used, and the duration of such lighting (e.g., 24 hours, will end at midnight, etc.)*
 - 9. Indicate the type, extent, and duration of machinery noise that will be associated with activities on-site.*
 - 10. Specify the extent and type of vegetative buffering to be used to protect adjoining properties.*
 - 11. Specify the distance of the site from the nearest property zoned specifically for residential use (R1, R1-MM, R2, R3, R4, R5, R1-R, R2-R, R15, Flex1).*
 - 12. Submit a drainage plan that meets the requirements of Berkeley County Drainage Ordinance No. 89-4-9, as amended.*
 - 13. Indicate what roads and transportation corridors will be used to support the proposed activities, and indicate the types of vehicles, estimated numbers of vehicles and trips, and times of day that traffic can be expected to be generated.*
- 3. Outdoor storage (accessory use).*
- a. Permitted as an accessory use.*
 - b. Outdoor storage activity shall not exceed 50 percent of the total*

- land use.*
- c. *Screening. Open storage shall be enclosed by a continuous visual screen provided and maintained as well as buffering requirements found in article 17. The continuous screen shall be a solid wall or fence constructed of wood, brick, or masonry and not less than eight feet in height and shall not exceed eight feet in height.*
 - d. *Materials stored. Materials stored in the open shall not be permanently stacked higher than the required screen.*

Attachment(s):

[Application.pdf](#)

[Plat T-55.tif](#)

[cvr00322-Parking Lot Site Plan-SP1.pdf](#)

[Storage lot vegetation photo legend.pdf](#)

[Aerial.pdf](#)

[CarverZoningMap.pdf](#)

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BERKELEY COUNTY SC

PLANNING AND ZONING DEPARTMENT

PLVA-042646-2022

Allison Simmons, AICP, Director
P.O. Box 6122
Highway 52 • Moncks Corner, SC 29461
843.719.4095

APPLICATION FOR VARIANCE

Of the Berkeley County Zoning Ordinance No. 01-8-35 (as amended)

ALL SECTIONS OF THIS APPLICATION ARE REQUIRED TO BE COMPLETED TO BE ACCEPTED

Applications are due by COB of the previous month's meeting date. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the *Property Owner Authorization* (found on page 3) to designate the Applicant as the Authorized Agent. Application Fee is **\$150.00 (Non-Refundable)**. Cash, Card, and Check Accepted. Checks may be made out to **BERKELEY COUNTY**

APPLICANT INFORMATION

PRINTED Name of Applicant:

Carver Maritime

Relation to Property Owner (Check One):

I am the Owner I am the Authorized Agent

Phone #:

843-779-0199

Email Address:

cwall@carvercompanies.com

Mailing Address:

1400 Pierside St, Bldg 190, Suite D, North Charleston, SC29405

PROPERTY OWNER'S CONTACT INFORMATION (IF NOT STATED ABOVE)

Name: DuPont Specialty Products USA, LLC

Mailing Address: 974 Centre Road, Wilmington, Delaware 19805

Phone #: 843-797-9834

Email Address: martin.m.desanto@dupont.com

BZA MEETING DATE AND EXPECTATIONS

BZA Meeting Date Applied for: July 19, 2022

I understand that I will be asked to speak on behalf of my request and that I, or a representative will need to be in attendance. If, for some reason I or a representative will not be able to attend the scheduled meeting, I must submit a written request for deferral to another date in accordance with the adopted [Defeat/Deferral Policy](#) or withdraw my application.

Applicant's Initials Here:

CSW

PROPERTY INFORMATION

TMS#:

Parent TMS #226-00-00-001

Lot Size:

464.87 Acres

Zoning:

Heavy Industrial

Physical Address or Location of Subject Property: 3300 Cypress Gardens Rd, Monks Corner, SC 29461

Present Use of the Property: Heavy Industrial

The following information **MUST BE** submitted with this application:

1. SITE PLAN

This should be on a copy of the recorded plat (8"x11"), if available. Sketch showing ALL existing and proposed buildings, bufferyards, roads, driveways, parking spaces, fencing, and other physical improvements in relation to the request.

2. OTHER RELEVANT EVIDENCE

The burden of proof to demonstrate a physical hardship falls on the applicant. Please enclose any documents, letters of support, surveys, pictures, or other materials deemed necessary to demonstrate the conditions of the property.

SUBMITTAL ENCLOSURES (PLEASE CHECK ALL THAT APPLY)

- Existing Plat of Record
- Site Plan
- Letters of Support from Neighboring Property Owners
- Owner's Notarized Written Authorization (If Owner's Signature Cannot Be Obtained)
- Other (please specify): Current lot for lease location, photos + key of area.

RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to:

Use lot shown to store aluminum material up to 12' high with accessory building permit for trailer, scale and loading ramp.

And the Planning and Zoning Department either denied it or stated that it does not conform on the grounds that:

Department requires a 12' privacy fence surrounding the storage lot.

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, feet, acreage, numbers of, ratio, etc.):

To be exempt from fencing requirements within the property under contract to purchase, 464.87 acres

State Law and the Berkeley County Ordinance requires that the following four (4) facts are sufficiently met in order for a variance to be considered by the BZA. The applicant must prove through fact that the strict application of the ordinance will result in unnecessary hardship. Please provide a response to EACH question provided below and use additional sheets if necessary.

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance. **NOTE: The BZA REQUESTS precise measurements, either drawn on a map or plat or prepared by a Surveyor or other qualified professional. If insufficient information is presented to the BZA, the applicant risks the Variance being denied or held for a future meeting until the Applicant can provide the necessary evidence.**
Carver Maritime is under contract to purchase 23 acres of the industrial complex that this lot resides in. A master plan for the site is under development and we will ultimately be installing a security/privacy fence at all access points.

2. These conditions do not generally apply to other property in the vicinity. The applicant should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance? **A simple example pertaining to lot shape: "The triangular shape makes it impossible for me to meet the requirements. All the adjacent lots around me are square."**
Unfenced areas already exist under current ownership of DuPont. The industrial site is bordered by heavy vegetation, the Cooper River, and a large conservation easement between the site and Cypress Gardens. Only private roads and Rail service access it.

3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use? **NOTE: Monetary gain or advantage is not to be considered by the board in determining hardship. A simple example pertaining to building a detached garage on a residential lot: "Because of the triangular shape of the lot, a detached garage will not fit within the boundaries of the lot and still adhere to the setback requirements. This prevents the lot from being fully utilized."**
This property will be developed with multiple buildings, parking areas, storage lots, and transloading areas.
Fencing these areas will significantly inhibit movement of equipment and material within the site.

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. **Affected/Interested stakeholders, either in support or in opposition, have the privilege to be heard during the Public Hearing.**
This area is already under common ownership by DuPont and is blocked from public view and access.
As an existing Industrial complex, the surrounding boarders have heavy screening and/or conservation protection.

ACKNOWLEDGMENTS:
TERMS OF THIS APPLICATION

1. Hardship resulting from financial difficulty, and the applicant's own actions are generally not sufficient cause for the board to grant a variance.
2. Although the appeal will be advertised in the local newspaper, and the property posted with a sign concerning the details of the meeting, staff strongly recommend that all neighbors and property owners be contacted, by the applicant, before the application is submitted.
3. The applicant may present, at the discretion of the BZA Chairman, and items and/or individuals he/she believes will help his/her case.
4. Five, of the eight appointed Board members, must be present before action can be taken on the variance, and the concurring vote of majority of the Board present is necessary in order for a Variance to be approved.
5. No Variance, having been denied, shall be resubmitted to the Board for a period of one (1) year, unless conditions have changed substantially and new evidence is received, and the Board votes unanimously to rehear the matter.
6. Any person who may have a substantial interest in any decision of the Board may appeal said decision to a court of competent jurisdiction in and for the county of Berkeley, filing with the clerk of such court a petition in writing setting fourth plainly, fully and distinctly wherein such decision is contrary to the law. Such appeal shall be filed within thirty (30) days after the decision of the board is rendered.

APPLICANT DISCLOSURES

I, the applicant, hereby acknowledge by my signature that this application is complete and accurate to the best of my knowledge, information, and benefit, have read and understand the terms and expectations associated with this Application, hereby release, hold harmless, and indemnify forever Berkeley County, its employees, and agents, both individually and jointly, from any and all liability or responsibility for any foreseen or unforeseen damage, including, but not limited to, death, bodily injury, personal injury, and property damage, arising from the home occupation located at the above-referenced property by adjoining landowners, visitors and/or any user of the home, including, but not limited to, the public at large, am the owner of the subject property or the authorized representative of the owner, authorize the subject property to be posted and/or inspected, AND hereby certify that the tract(s) or parcel(s) of land to which this request pertains *is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought*, as provided in the South Carolina Code of Laws, Section 6-29-1145, and are exempt per Section 59.35 of the Berkeley County Code of Ordinances.

Signature: Chris J. Wolf Date: 6/10/22

PROPERTY OWNER AUTHORIZATION (IF DIFFERENT FROM APPLICANT)

I (we) certify that I (we) are the owners of the property involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this special exception application.

Property Owner(s) Printed Name: William K. Alexander

Property Owner(s) Signature: William K. Alexander Date: 6/10/22

OFFICE USE SECTION

AMOUNT PAID: _____ CHECK #: _____; CASH; ONLINE PAYMENT INTENDED
DATE RECEIVED: _____; RECEIPT NUMBER: _____
DATE FILED: _____; MEETING DATE: _____

ZONING OFFICIAL

DATE



c:\users\jergel\ge - documents\clientfiles\carver-maritime_lic-2022-projects\crrv00322 - cooper river business community planning\carver-maritime\0322-parking lot site plan.dwg - SP1 (Plotted: 6/10/2022 3:00:45 PM)

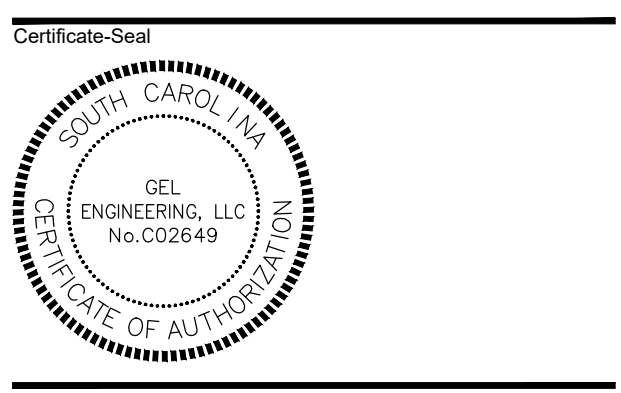
P.O. Box 30712 Charleston, SC 29417
 2040 Savage Road Charleston, SC 29407
 P 843.769.7378 F 843.769.7397
 www.GEL.com

a member of The GEL Group Inc
 ENVIRONMENTAL • ENGINEERING • SURVEYING

Revisions

Description:	By:	Appr:	Date:

Consultants



Client

Project Owner:
 Carver Companies
 1400 Pierside St
 North Charleston SC 29405

Project

Cypress Gardens Rd
 Moncks Corner 29461

DuPont
 Contractor Parking Lot

This Document is the property of GEL Engineering, LLC and is to be used only in connection with the project named herein. Reproduction, in whole or in part, shall be allowed only expressly authorized. Drawing scales as shown are valid on the original size document being 24" by 36" ©GEL Engineering, LLC

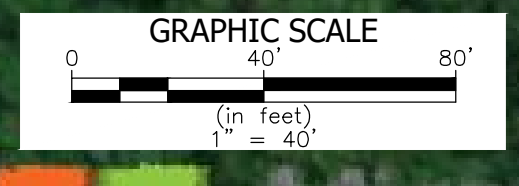
Sheet Title

Conceptual Site Plan

Project No. CRVR00000 Drawing No. _____
 Date 06.10.2022
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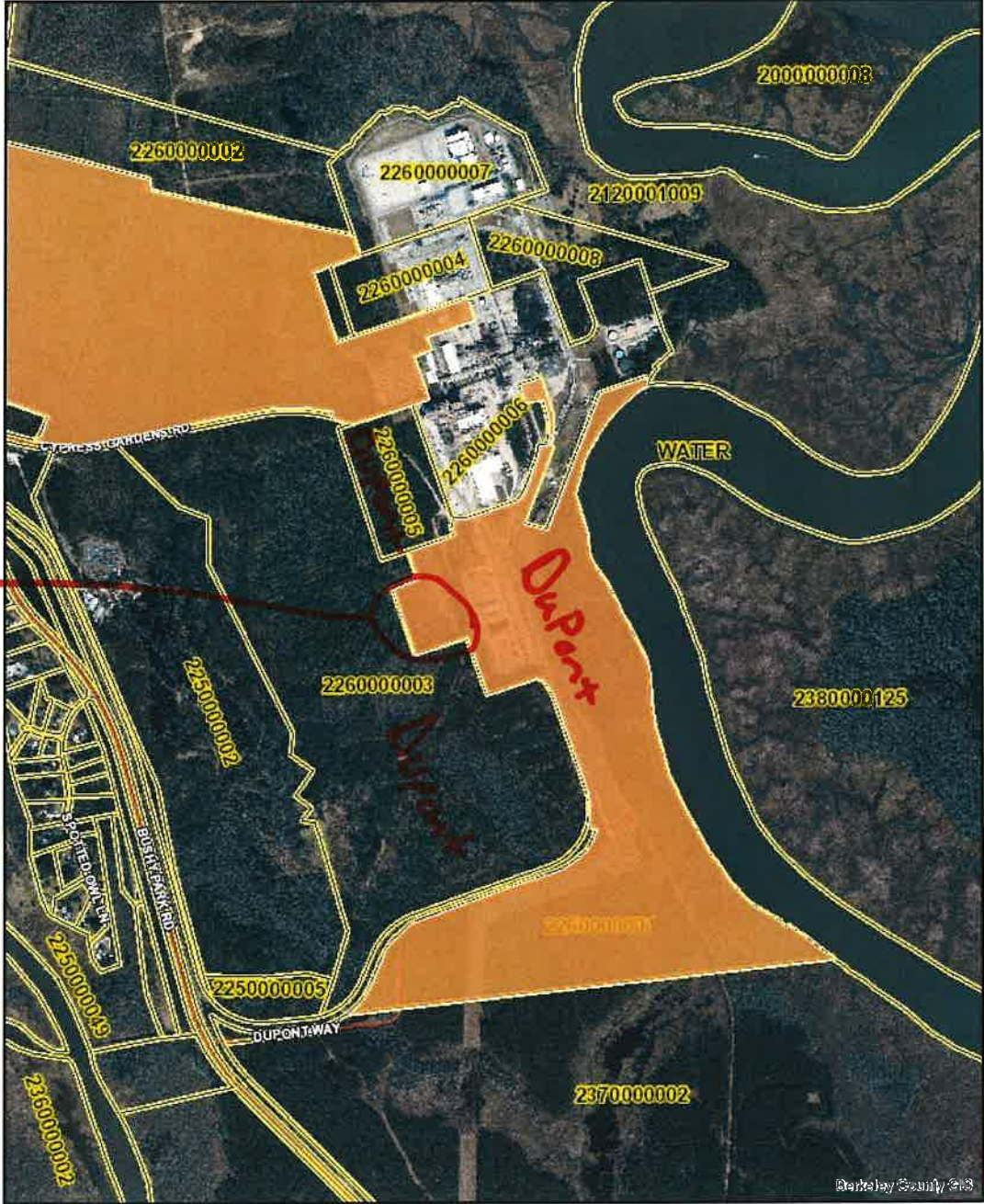
SP1

NOT RELEASED FOR CONSTRUCTION
 PRELIMINARY




THIS IS NOT A VALID, TRUE COPY OF THE DOCUMENT UNLESS BEARING AN ORIGINAL SIGNATURE AND A RAISED, EMBOSSED SEAL OF THE ENGINEER OR SURVEYOR.

Berkeley County GIS Online Mapping



Lot Location

 1 inch = 1,333 feet
1 in
Date: 6/9/2022
Berkeley County GIS

N

The county of Berkeley and its GIS Department disclaims accountability for this product and makes no warranty express or implied concerning the accuracy thereof. Responsibility for interpretation and application of this product lies with the user.

DuPont owns this lot and all surrounding land and buildings.



Photo key + camera angle

①



2



3



4



5



(6)





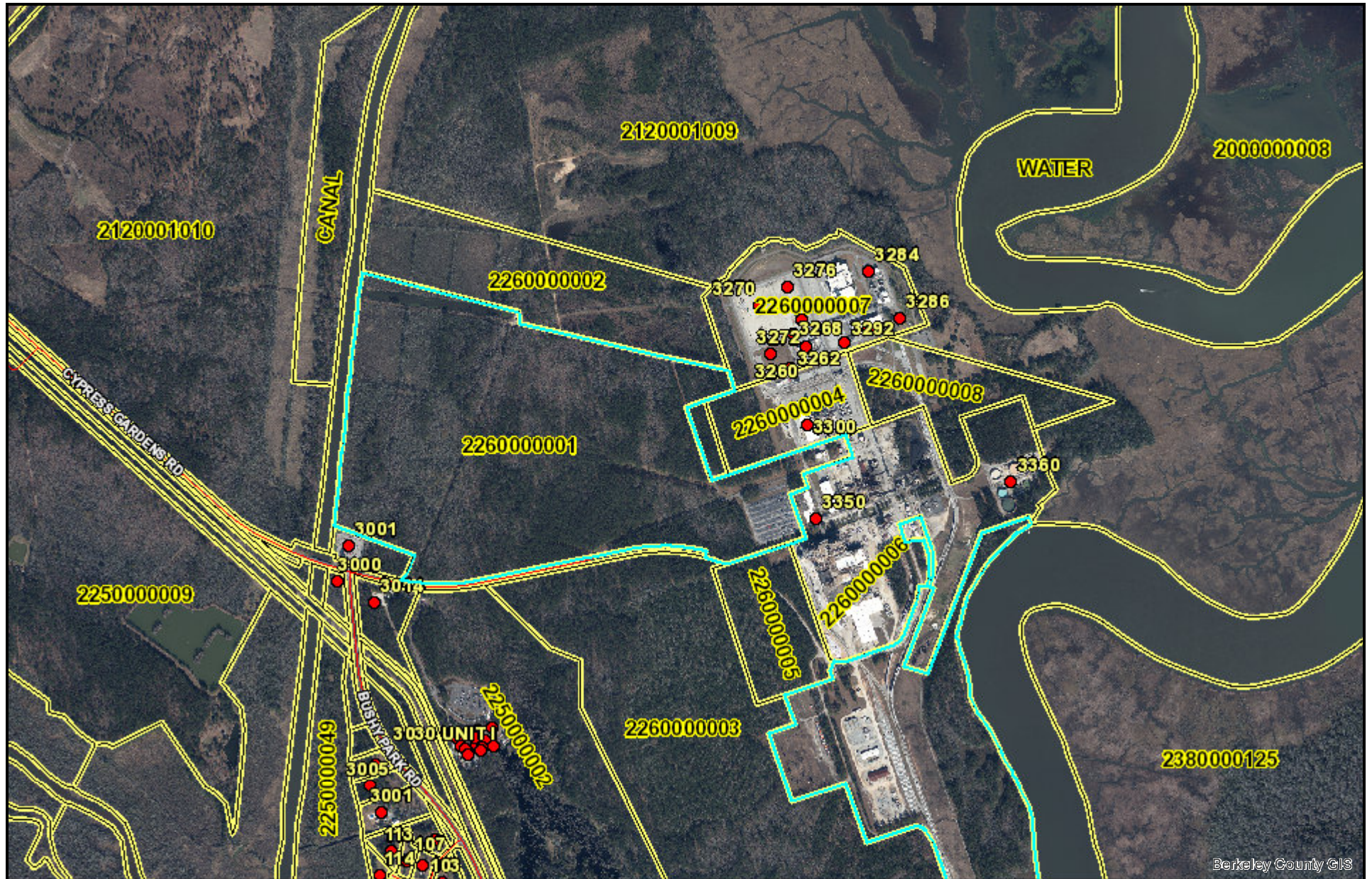
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9



226-00-00-001



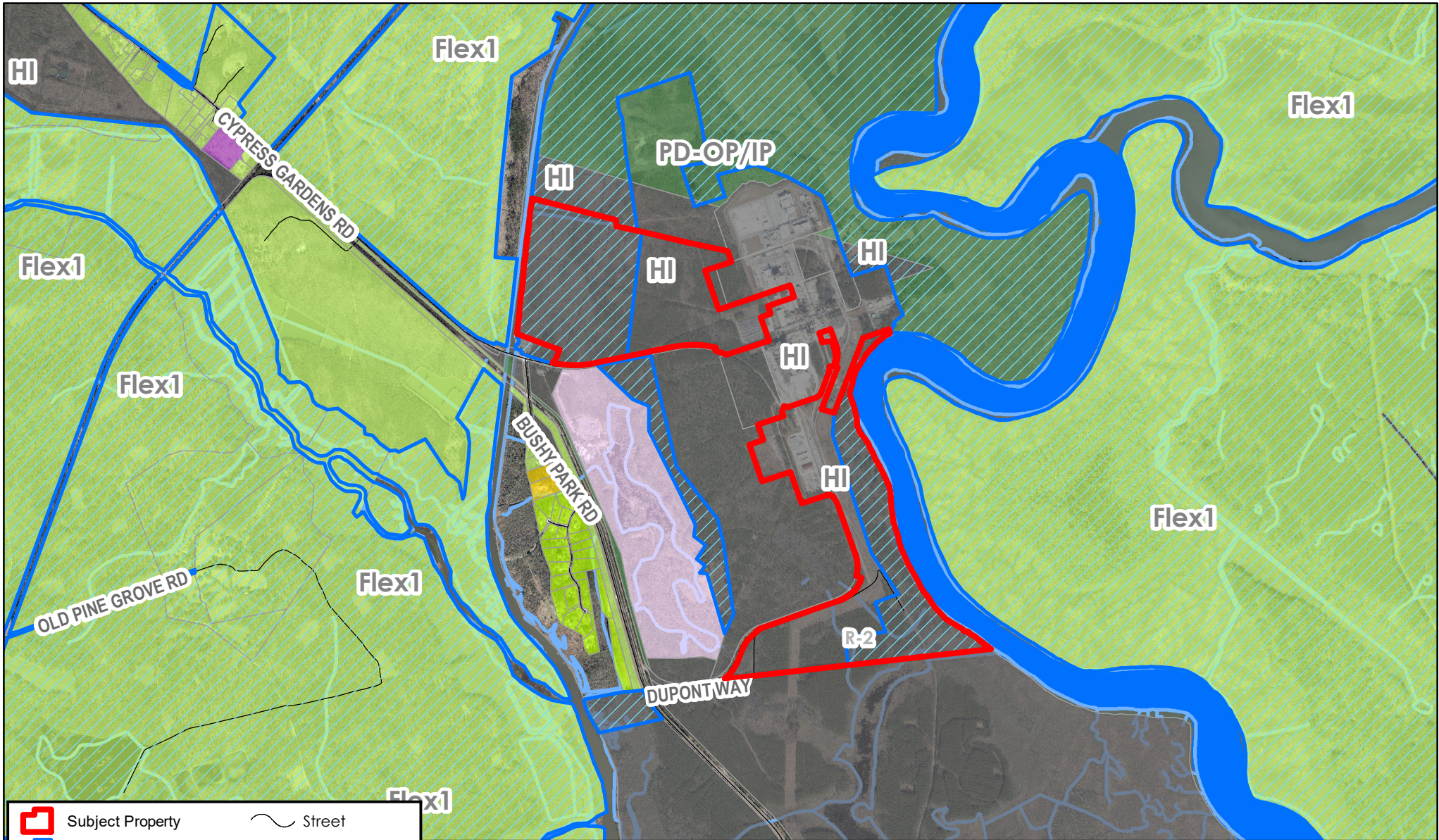
Berkeley County GIS



1 inch = 1,333 feet
Date: 6/20/2022
Berkeley County GIS



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	Subject Property		Street
	Conservation Easements		Interstate
			US Highway
			State Highway
			Forest Road
			Municipalities
			Parcels

The county of Berkeley disclaims accountability for this product and makes no warranty express or implied concerning the accuracy thereof. Responsibility for ± interpretation and application of this product lies with the user.

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**STAFF SUMMARY
FOR BOARD OF ZONING APPEALS**

Topic: TMS#: 232-00-02-190. Request from Robert Simmons on behalf of 3 W REAL ESTATE LLC for a variance to §17.7 and §7.4.5(C)(3)(c) for relief of bufferyard and screening requirements at/near 155 Royle Rd in the Ladson community. (PLVA 042661-2022)

Prepared By: Amanda Ellis, Planning & Zoning

Date: July 19, 2022

Background: The subject property is presently 3.54 acres in size, zoned Light Industrial (LI), and under development for "Dumpster Pros" facility and outdoor storage area.

Plans, entitling the Dumpster Pros site development plans, were approved in March of this year.

These plans demonstrated conformance to the typical bufferyard standards when they were approved.

Because of the type of use proposed and adjoining residential land uses and/or zoning to the northeast, a Type D buffer is applicable along the northeastern lot line. **The Type D buffer is required to be 100 feet in width and consist of 9 canopy trees, 11 understory trees, and 50 shrubs planted per every 100 linear feet.** To maximize the developable area, the applicant leveraged the prescribed reduction option, Alternative C, listed below:

*C. Alternative 3: Buffering requirements reduced by 60 percent:
1. Minimum width may be reduced by 60 percent or 12 feet and*

required number of shrubs may be reduced by 40 percent per 100 linear feet with inclusion of a landscaped wall or fence, and a planted earth berm.

2. Berms shall be constructed within the property boundaries meeting the following requirements:

- a. Minimum height: Two feet.*
- b. Minimum crown width: Two feet.*
- c. Minimum slope: 2:1.*

3. Approval of berm design shall be required prior to buffer reduction approval.

4. Berm shall have plantings consisting of ground covers such as shrubs, ivy, flowers, and grasses.

5. Wall standards:

- a. Minimum height: Six feet.*
- b. Wall material: Wood, brick or masonry.*

6. Shrubs shall reach one-third of the height of the wall within three years.

By leveraging the "Alternative C" bufferyard reduction, the applicant was able to reduce the buffer width to 40 feet and the number of shrubs required by 40 percent. The berm with the fence, as proposed in the approved plans, provides 10' of screening and sound attenuation to adjoining residential uses.

In addition, because of the outdoor storage component of their operation, **an 8' opaque (wood, brick, or masonry) screen is required along the perimeter of the outdoor storage area.**

In so meeting the required screening requirement for the outdoor storage area, the applicant became eligible for prescribed buffer width reduction options.

Sec. 7.4.5(C)(3). Outdoor storage (accessory use).

- a. Permitted as an accessory use.*
- b. Outdoor storage activity shall not exceed 50 percent of the total land use.*
- c. Screening. Open storage shall be enclosed by a continuous visual screen provided and maintained as well as buffering requirements found in article 17. The continuous screen shall be a solid wall or fence constructed of wood, brick, or masonry and not less than eight feet in height and shall not exceed eight feet in height.*

d. Materials stored. Materials stored in the open shall not be permanently stacked higher than the required screen.

The applicant is seeking relief of the fencing requirement, per§17.7 and §7.4.5(C)(3)(c), while also retaining the reduction in bufferyard width and planting standards afforded by including the fence under Chapter 17.

Attachment(s):

[Application.pdf](#)

[Plat 1.pdf](#)

[Plat 2.pdf](#)

[Plan.pdf](#)

[Photos.pdf](#)

[Aerial from application.pdf](#)

[SITEPLANSHEET.pdf](#)

[Aerial.pdf](#)

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APPLICATION FOR VARIANCE

Of the Berkeley County Zoning Ordinance No. 01-8-35 (as amended)

ALL SECTIONS OF THIS APPLICATION ARE REQUIRED TO BE COMPLETED TO BE ACCEPTED

Applications are due by COB of the previous month's meeting date. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the *Property Owner Authorization* (found on page 3) to designate the Applicant as the Authorized Agent. Application Fee is **\$150.00** (Non-Refundable). Cash, Card, and Check Accepted. Checks may be made out to **BERKELEY COUNTY**

APPLICANT INFORMATION

PRINTED Name of Applicant:

Robert Simmons

Relation to Property Owner (Check One):

I am the Owner I am the Authorized Agent

Phone #:

8435500004

Email Address:

thesimmonsgroupllc@yahoo.com

Mailing Address:

139 Pioneer Gym Road, Harleyville, SC 29448

PROPERTY OWNER'S CONTACT INFORMATION (IF NOT STATED ABOVE)

Name: Robert Wiczorek

Mailing Address: 3682 Hilton Dr., Johns Island, SC 29455

Phone #: 843-636-2002

Email Address: bobby@dumpsterproslc.com

BZA MEETING DATE AND EXPECTATIONS

BZA Meeting Date Applied for:

I understand that I will be asked to speak on behalf of my request and that I, or a representative will need to be in attendance. If, for some reason I or a representative will not be able to attend the scheduled meeting, I must submit a written request for deferral to another date in accordance with the adopted Defeat/Deferral Policy or withdraw my application.

Applicant's Initials Here:

RS

PROPERTY INFORMATION

TMS#: 232-00-02-190

Lot Size: 3.58 ac

Zoning:

Physical Address or Location of Subject Property: 155 Royle Road, Ladson, SC 29456

Present Use of the Property:

The following information MUST BE submitted with this application:

- 1. SITE PLAN** This should be on a copy of the recorded plat (8"x11"), if available. Sketch showing **ALL** existing and proposed buildings, bufferyards, roads, driveways, parking spaces, fencing, and other physical improvements in relation to the request.
- 2. OTHER RELEVANT EVIDENCE** The burden of proof to demonstrate a physical hardship falls on the applicant. Please enclose any documents, letters of support, surveys, pictures, or other materials deemed necessary to demonstrate the conditions of the property.

SUBMITTAL ENCLOSURES (PLEASE CHECK ALL THAT APPLY)

- Existing Plat of Record
- Site Plan
- Letters of Support from Neighboring Property Owners
- Owner's Notarized Written Authorizing (If Owner's Signature Cannot Be Obtained)
- Other (please specify):

RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to:

And the Planning and Zoning Department either denied it or stated that it does not conform on the grounds that:

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, feet, acreage, numbers of, ratio, etc.):

We are asking for removal of the requirement for a 40' x 8' high, privacy fence along the NE edge of the property as part of the Type D Buffer which includes existing vegetation

State Law and the Berkeley County Ordinance requires that the following four (4) facts are sufficiently met in order for a variance to be considered by the BZA. The applicant must prove through fact that the strict application of the ordinance will result in unnecessary hardship. Please provide a response to EACH question provided below and use additional sheets if necessary.

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance. NOTE: The BZA REQUESTS precise measurements, either drawn on a map or plat or prepared by a Surveyor or other qualified professional. If insufficient information is presented to the BZA, the applicant risks the Variance being denied or held for a future meeting until the Applicant can provide the necessary evidence.

Due to the heavy foliage along that edge of the property we are asking if we can forego the added expense of an 8' high privacy fence.

2. These conditions do not generally apply to other property in the vicinity. The applicant should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance? A simple example pertaining to lot shape: "The triangular shape makes it impossible for me to meet the requirements. All the adjacent lots around me are square."

As shown in the overhead picture, we have a wide swath of trees between us and the adjacent properties. We are hoping that there is enough existing vegetation to avoid the need for an 8' high privacy fence to be added there.

3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use? NOTE: Monetary gain or advantage is not to be considered by the board in determining hardship. A simple example pertaining to building a detached garage on a residential lot: "Because of the triangular shape of the lot, a detached garage will not fit within the boundaries of the lot and still adhere to the setback requirements. This prevents the lot from being fully utilized."

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Affected/Interested stakeholders, either in support or in opposition, have the privilege to be heard during the Public Hearing.

The variance should not have any detrimental effect on the neighbors to the NE of the property.

ACKNOWLEDGMENTS:

TERMS OF THIS APPLICATION

1. Hardship resulting from financial difficulty, and the applicant's own actions are generally not sufficient cause for the board to grant a variance.
2. Although the appeal will be advertised in the local newspaper, and the property posted with a sign concerning the details of the meeting, staff strongly recommend that all neighbors and property owners be contacted, by the applicant, before the application is submitted.
3. The applicant may present, at the discretion of the BZA Chairman, and items and/or individuals he/she believes will help his/her case.
4. Five, of the eight appointed Board members, must be present before action can be taken on the variance, and the concurring vote of majority of the Board present is necessary in order for a Variance to be approved.
5. No Variance, having been denied, shall be resubmitted to the Board for a period of one (1) year, unless conditions have changed substantially and new evidence is received, and the Board votes unanimously to rehear the matter.
6. Any person who may have a substantial interest in any decision of the Board may appeal said decision to a court of competent jurisdiction in and for the county of Berkeley, filing with the clerk of such court a petition in writing setting fourth plainly, fully and distinctly wherein such decision is contrary to the law. Such appeal shall be filed within thirty (30) days after the decision of the board is rendered.

APPLICANT DISCLOSURES

I, the applicant, hereby acknowledge by my signature that this application is complete and accurate to the best of my knowledge, information, and benefit, have read and understand the terms and expectations associated with this Application, hereby release, hold harmless, and indemnify forever Berkeley County, its employees, and agents, both individually and jointly, from any and all liability or responsibility for any foreseen or unforeseen damage, including, but not limited to, death, bodily injury, personal injury, and property damage, arising from the home occupation located at the above-referenced property by adjoining landowners, visitors and/or any user of the home, including, but not limited to, the public at large, am the owner of the subject property or the authorized representative of the owner, authorize the subject property to be posted and/or inspected, AND hereby certify that the tract(s) or parcel(s) of land to which this request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in the South Carolina Code of Laws, Section 6-29-1145, and are exempt per Section 59.35 of the Berkeley County Code of Ordinances.

Signature: [Signature] Date: 6-21-22

PROPERTY OWNER AUTHORIZATION (IF DIFFERENT FROM APPLICANT)

I (we) certify that I (we) are the owners of the property involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this special exception application.

Property Owner(s) Printed Name: Robert Wiczorek

Property Owner(s) Signature: [Signature] Date: 6-21-22

OFFICE USE SECTION

AMOUNT PAID: _____ CHECK #: _____ ; CASH; ONLINE PAYMENT INTENDED
 DATE RECEIVED: _____ ; RECEIPT NUMBER: _____
 DATE FILED: _____ ; MEETING DATE: _____

ZONING OFFICIAL

DATE









Untitled Map

Write a description for your map.

Untitled Placemark

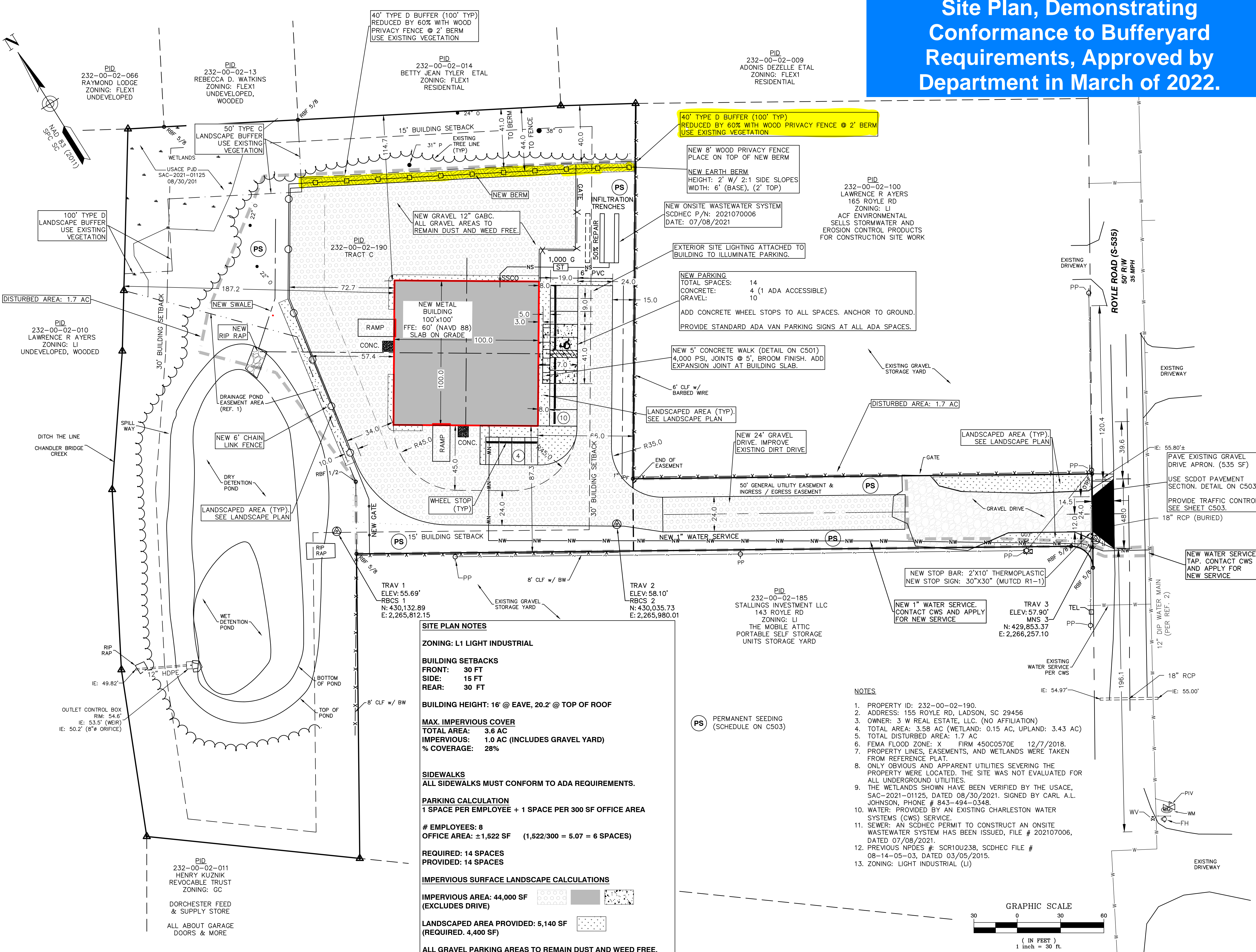
- Legend**
-  Auto
 -  Untitled Placemark



Google Earth
© 2021 Google

600 ft





Site Plan, Demonstrating Conformance to Bufferyard Requirements, Approved by Department in March of 2022.

SITE PLAN NOTES

ZONING: L1 LIGHT INDUSTRIAL

BUILDING SETBACKS
 FRONT: 30 FT
 SIDE: 15 FT
 REAR: 30 FT

BUILDING HEIGHT: 16' @ EAVE, 20.2' @ TOP OF ROOF

MAX. IMPERVIOUS COVER
 TOTAL AREA: 3.6 AC
 IMPERVIOUS: 1.0 AC (INCLUDES GRAVEL YARD)
 % COVERAGE: 28%

SIDEWALKS
 ALL SIDEWALKS MUST CONFORM TO ADA REQUIREMENTS.

PARKING CALCULATION
 1 SPACE PER EMPLOYEE + 1 SPACE PER 300 SF OFFICE AREA

EMPLOYEES: 8
OFFICE AREA: ±1,522 SF (1,522/300 = 5.07 = 6 SPACES)

REQUIRED: 14 SPACES
PROVIDED: 14 SPACES

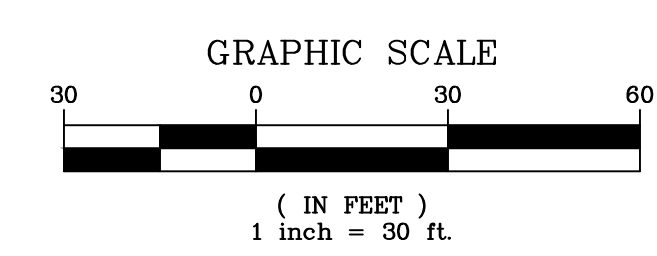
IMPERVIOUS SURFACE LANDSCAPE CALCULATIONS

IMPERVIOUS AREA: 44,000 SF (EXCLUDES DRIVE)

LANDSCAPED AREA PROVIDED: 5,140 SF (REQUIRED: 4,400 SF)

ALL GRAVEL PARKING AREAS TO REMAIN DUST AND WEED FREE.

- NOTES**
- PROPERTY ID: 232-00-02-190.
 - ADDRESS: 155 ROYLE RD, LADSON, SC 29456
 - OWNER: 3 W REAL ESTATE, LLC. (NO AFFILIATION)
 - TOTAL AREA: 3.58 AC (WETLAND: 0.15 AC, UPLAND: 3.43 AC)
 - TOTAL DISTURBED AREA: 1.7 AC
 - FEMA FLOOD ZONE: X FIRM 450C0570E 12/7/2018.
 - PROPERTY LINES, EASEMENTS, AND WETLANDS WERE TAKEN FROM REFERENCE PLAT.
 - ONLY OBVIOUS AND APPARENT UTILITIES SEVERING THE PROPERTY WERE LOCATED. THE SITE WAS NOT EVALUATED FOR ALL UNDERGROUND UTILITIES.
 - THE WETLANDS SHOWN HAVE BEEN VERIFIED BY THE USACE, SAC-2021-01125, DATED 08/30/2021. SIGNED BY CARL A.L. JOHNSON, PHONE # 843-494-0348.
 - WATER: PROVIDED BY AN EXISTING CHARLESTON WATER SYSTEMS (CWS) SERVICE.
 - SEWER: AN SCDHEC PERMIT TO CONSTRUCT AN ONSITE WASTEWATER SYSTEM HAS BEEN ISSUED, FILE # 202107006, DATED 07/08/2021.
 - PREVIOUS NPDES #: SCR10U238, SCDHEC FILE # 08-14-05-03, DATED 03/05/2015.
 - ZONING: LIGHT INDUSTRIAL (L1)



3W

ENGINEERING & SURVEYING, LLC.

819 AMOS COURT
 CHARLESTON, SC 29412
 PH: (843) 509-4516
 www.3Wengineering.com
 william@3Wengineering.com

WILLIAM W. WEATHERS
 MARCH 2, 2022

DRAWN BY: WWW APPROVED BY: WWW

3W PROJECT No. ROYLE ROAD

REVISIONS		
No.	ITEM	BY DATE
1		

DATUM
 VERTICAL: NAVD 88
 HORIZONTAL: NAD 83

DUMPSTER PRO'S

TMS No. 232-00-02-190
 155 ROYLE ROAD

PREPARED FOR
 THE SIMMONS
 CONTRACTING GROUP, LLC.

LADSON
 BERKELEY COUNTY, SC

NEW BUILDING

SCALE: 1"=30'

SITE & UTILITY PLAN

SHEET No.
C301

5 OF 10

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STAFF SUMMARY FOR BOARD OF ZONING APPEALS

Topic: TMS#: 244-14-01-033. Request from Robert Ashton for a variance to §5.1.9 for relief of primary structure setback requirements for a home addition at/near 1 Wilson Street in the Goose Creek community. (PLVA 042567-2022)

Prepared By: Amanda Ellis, Planning & Zoning

Date: July 19, 2022

Background: The subject property, TMS 244-14-01-033 (1 Wilson Street), is presently zoned Single-Family Residential (R-1), approximately 15,019 square feet in size (0.34 acres), contains a 1,650 square foot single family dwelling, located at the corner of Wilson Street and Giles Drive in the Forest Lawn Community.

The applicant desires to construct a 12' x 27' (324 square feet) onto the rear of his home. In so doing, the addition will follow the plane of the side façade, resulting in an encroachment into the side setback.

Typical Primary Structure Setbacks for a lot of this size are as follows:

Front: 35'

Second Street Frontage: 35'

Rear: 30'

Sides: 15'

History:

The applicant received a variance on July 19, 2011 for relief of

second street frontage setback for an intended addition. The addition was constructed.

Our records suggest that a 1272 square foot addition was also permitted in 2004.

Attachment(s):

[Application.pdf](#)

[Plats.pdf](#)

[Plan.pdf](#)

[Aerial.pdf](#)

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BERKELEY COUNTY SC

PLVA-042567-2022 **G AND ZONING DEPARTMENT**

Don Simmons, AICP, Director
P.O. Box 6122
1003 Highway 52 • Moncks Corner, SC 29461
843.719.4095

APPLICATION FOR VARIANCE

Of the Berkeley County Zoning Ordinance No. 01-8-35 (as amended)

ALL SECTIONS OF THIS APPLICATION ARE REQUIRED TO BE COMPLETED TO BE ACCEPTED

Applications are due by COB of the previous month's meeting date. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the *Property Owner Authorization* (found on page 3) to designate the Applicant as the Authorized Agent. Application Fee is **\$150.00** (Non-Refundable). Cash, Card, and Check Accepted. Checks may be made out to **BERKELEY COUNTY**

APPLICANT INFORMATION

PRINTED Name of Applicant:

ROBERT ASHTON

Relation to Property Owner (Check One):

I am the Owner I am the Authorized Agent

Phone #:

843-572-8845

Email Address:

ADAK80@GMAIL.COM

Mailing Address:

1 WILSON ST. GOOSE CREEK S.C. 29445

PROPERTY OWNER'S CONTACT INFORMATION (IF NOT STATED ABOVE)

Name:

Mailing Address:

Phone #:

Email Address:

BZA MEETING DATE AND EXPECTATIONS

BZA Meeting Date Applied for:

I understand that I will be asked to speak on behalf of my request and that I, or a representative will need to be in attendance. If, for some reason I or a representative will not be able to attend the scheduled meeting, I must submit a written request for deferral to another date in accordance with the adopted [Defeat/Deferral Policy](#) or withdraw my application.

Applicant's Initials Here:

RDA

PROPERTY INFORMATION

TMS#:

244-14-01-033

Lot Size:

APPROX. 14,800 sq.ft.

Zoning:

R1

Physical Address or Location of Subject Property:

1 WILSON ST. GOOSE CREEK SC. 29445

Present Use of the Property:

The following information **MUST BE** submitted with this application:

1. SITE PLAN

This should be on a copy of the recorded plat (8"x11"), if available. Sketch showing ALL existing and proposed buildings, bufferyards, roads, driveways, parking spaces, fencing, and other physical improvements in relation to the request.

2. OTHER RELEVANT EVIDENCE

The burden of proof to demonstrate a physical hardship falls on the applicant. Please enclose any documents, letters of support, surveys, pictures, or other materials deemed necessary to demonstrate the conditions of the property.

SUBMITTAL ENCLOSURES (PLEASE CHECK ALL THAT APPLY)

- Existing Plat of Record
- Site Plan
- Letters of Support from Neighboring Property Owners
- Owner's Notarized Written Authorization (If Owner's Signature Cannot Be Obtained)
- Other (please specify):

RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to:

Add a 12 x 27 Rear Porch onto existing home

And the Planning and Zoning Department either denied it or stated that it does not conform on the grounds that:

can not meet side set backs

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, feet, acreage, numbers of, ratio, etc.):

the setback reduced

State Law and the Berkeley County Ordinance requires that the following four (4) facts are sufficiently met in order for a variance to be considered by the BZA. The applicant must prove through fact that the strict application of the ordinance will result in unnecessary hardship. Please provide a response to EACH question provided below and use additional sheets if necessary.

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance. **NOTE: The BZA REQUESTS precise measurements, either drawn on a map or plat or prepared by a Surveyor or other qualified professional. If insufficient information is presented to the BZA, the applicant risks the Variance being denied or held for a future meeting until the Applicant can provide the necessary evidence.**

This is an older subdivision and the addition is to help with my 2 pets.

2. These conditions do not generally apply to other property in the vicinity. The applicant should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance? **A simple example pertaining to lot shape: "The triangular shape makes it impossible for me to meet the requirements. All the adjacent lots around me are square."**

Older setback requirements, ~~etc~~

3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use? **NOTE: Monetary gain or advantage is not to be considered by the board in determining hardship. A simple example pertaining to building a detached garage on a residential lot: "Because of the triangular shape of the lot, a detached garage will not fit within the boundaries of the lot and still adhere to the setback requirements. This prevents the lot from being fully utilized."**

N/A

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. **Affected/Interested stakeholders, either in support or in opposition, have the privilege to be heard during the Public Hearing.**

ACKNOWLEDGMENTS:

TERMS OF THIS APPLICATION

1. Hardship resulting from financial difficulty, and the applicant's own actions are generally not sufficient cause for the board to grant a variance.
2. Although the appeal will be advertised in the local newspaper, and the property posted with a sign concerning the details of the meeting, staff strongly recommend that all neighbors and property owners be contacted, by the applicant, before the application is submitted.
3. The applicant may present, at the discretion of the BZA Chairman, and items and/or individuals he/she believes will help his/her case.
4. Five, of the eight appointed Board members, must be present before action can be taken on the variance, and the concurring vote of majority of the Board present is necessary in order for a Variance to be approved.
5. No Variance, having been denied, shall be resubmitted to the Board for a period of one (1) year, unless conditions have changed substantially and new evidence is received, and the Board votes unanimously to rehear the matter.
6. Any person who may have a substantial interest in any decision of the Board may appeal said decision to a court of competent jurisdiction in and for the county of Berkeley, filing with the clerk of such court a petition in writing setting fourth plainly, fully and distinctly wherein such decision is contrary to the law. Such appeal shall be filed within thirty (30) days after the decision of the board is rendered.

APPLICANT DISCLOSURES

I, the applicant, hereby acknowledge by my signature that this application is complete and accurate to the best of my knowledge, information, and benefit, have read and understand the terms and expectations associated with this Application, hereby release, hold harmless, and indemnify forever Berkeley County, its employees, and agents, both individually and jointly, from any and all liability or responsibility for any foreseen or unforeseen damage, including, but not limited to, death, bodily injury, personal injury, and property damage, arising from the home occupation located at the above-referenced property by adjoining landowners, visitors and/or any user of the home, including, but not limited to, the public at large, am the owner of the subject property or the authorized representative of the owner, authorize the subject property to be posted and/or inspected, AND hereby certify that the tract(s) or parcel(s) of land to which this request pertains is *not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought*, as provided in the South Carolina Code of Laws, Section 6-29-1145, and are exempt per Section 59.35 of the Berkeley County Code of Ordinances.

Signature: Robert Ashton Date: 6/6/2022

PROPERTY OWNER AUTHORIZATION (IF DIFFERENT FROM APPLICANT)

I (we) certify that I (we) are the owners of the property involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this special exception application.

Property Owner(s) Printed Name: ROBERT ASHTON

Property Owner(s) Signature: Robert Ashton Date: 6/6/2022

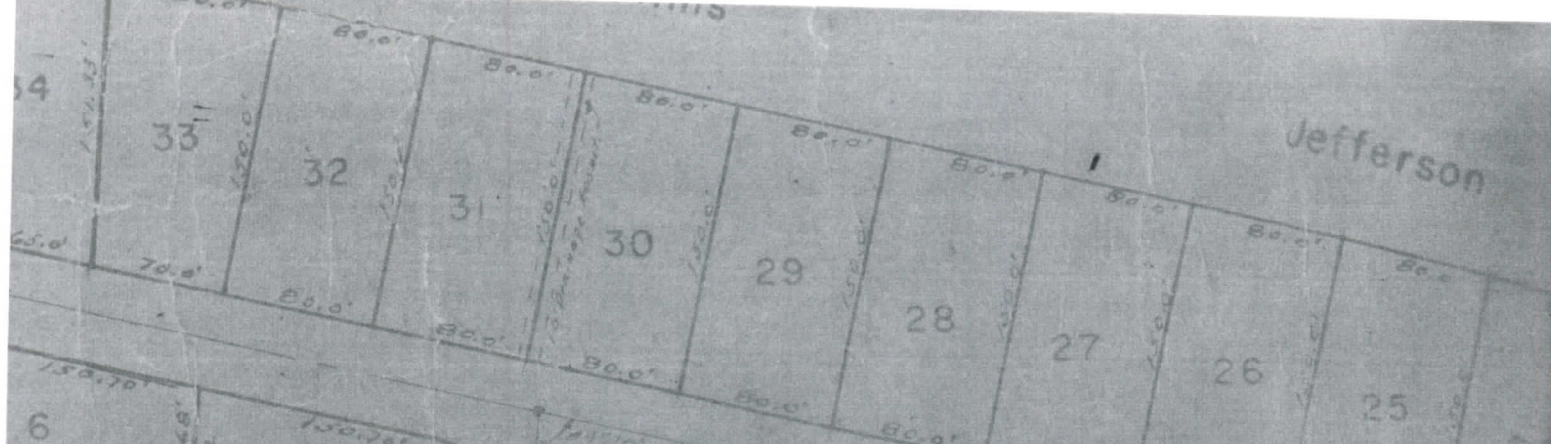
OFFICE USE SECTION

AMOUNT PAID: 150.00 CHECK #: 3298 ; CASH; ONLINE PAYMENT INTENDED
 DATE RECEIVED: 6/6/22 ; RECEIPT NUMBER: 613631
 DATE FILED: 6/7/22 ; MEETING DATE: July 19

Anna Lee 6/7/22
 ZONING OFFICIAL DATE

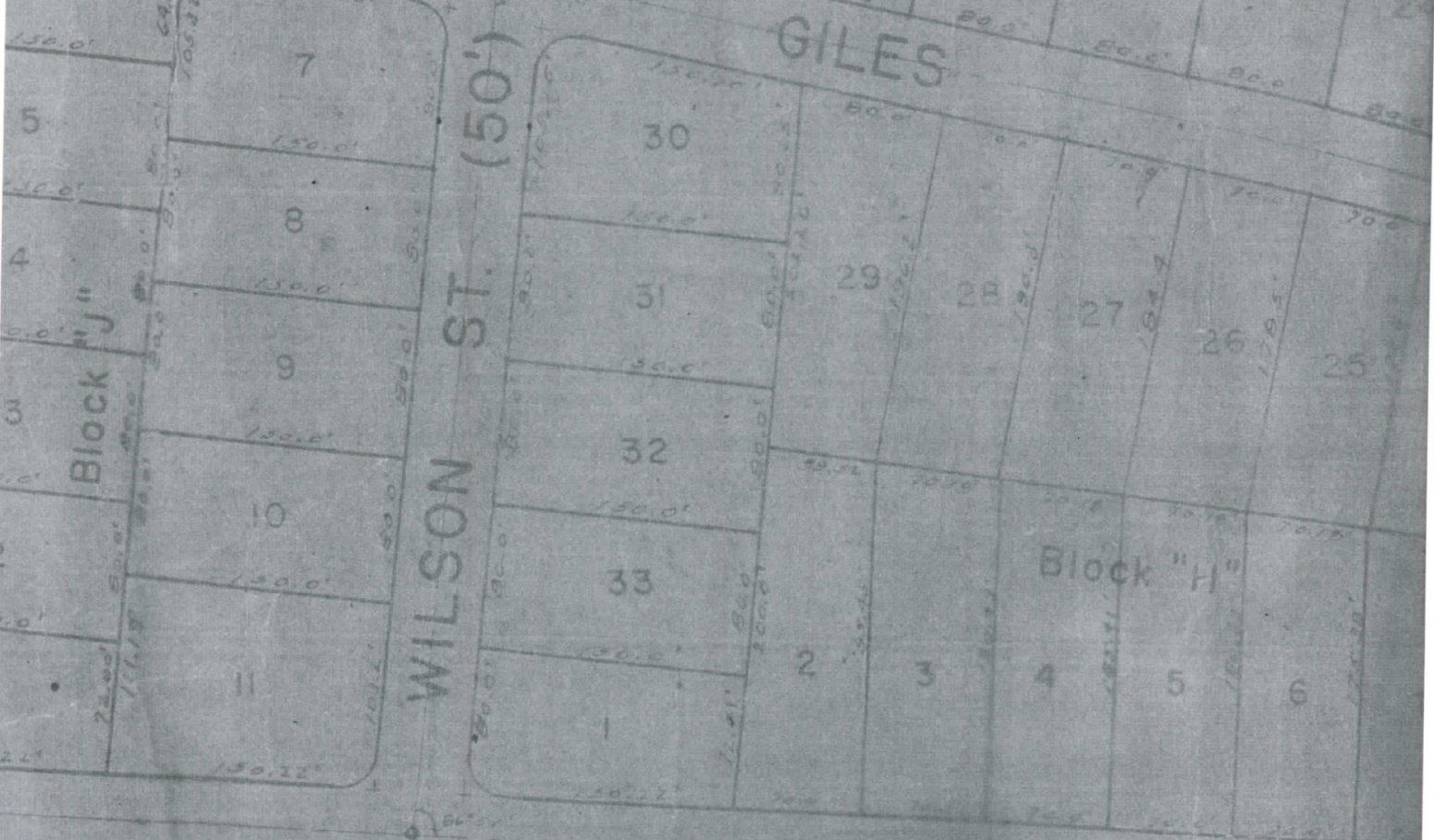


Jefferson



GILES

WILSON ST. (50')



Block "H"

WEEKS

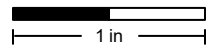


HARVEY

244-14-01-033



1 inch = 42 feet



Date: 6/7/2022

Berkeley County GIS



The county of Berkeley and its GIS Department disclaims accountability for this product and makes no warranty express or implied concerning the accuracy thereof. Responsibility for interpretation and application of this product lies with the user.

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**STAFF SUMMARY
FOR BOARD OF ZONING APPEALS**

Topic: TMS#: 271-03-02-030. Request from Trent Watts on behalf of PAMELA M VISINTIN for a variance to §5.1.4 and §5.1.9 for relief of setback requirements for a swimming pool at/near 439 Sanders Farm Ln in the Wando vicinity. (PLVA 042653-2022)

Prepared By: Amanda Ellis, Planning & Zoning

Date: July 19, 2022

Background: The subject property, TMS 271-03-02-030 (439 Sanders Farm Lane), is presently zoned Single-Family Residential (R-1), approximately 8, 124 square feet in size (0.19acres), contains a 2,298 square foot single family dwelling, located in the Retreat at Beresford Community.

The applicant desires to construct a swimming pool three feet from the rear lot line and therefor seeking relief of accessory structure/use setback of 5'.

Attachment(s):

[Application.pdf](#)

[Survey.pdf](#)

[Aerial.pdf](#)

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APPLICATION FOR VARIANCE

Of the Berkeley County Zoning Ordinance No. 01-8-35 (as amended)

ALL SECTIONS OF THIS APPLICATION ARE REQUIRED TO BE COMPLETED TO BE ACCEPTED

Applications are due by COB of the previous month's meeting date. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the *Property Owner Authorization* (found on page 3) to designate the Applicant as the Authorized Agent. Application Fee is **\$150.00** (Non-Refundable). Cash, Card, and Check Accepted. Checks may be made out to **BERKELEY COUNTY**

APPLICANT INFORMATION

PRINTED Name of Applicant:
Trent Watts

Relation to Property Owner (Check One):

I am the Owner I am the Authorized Agent

Phone #:
843-518-0153

Email Address:
Twatts@wernerholdings.com

Mailing Address:
439 Sanders Farm Ln Charleston Sc 29492

PROPERTY OWNER'S CONTACT INFORMATION (IF NOT STATED ABOVE)

Name:

Mailing Address:

Phone #:

Email Address:

BZA MEETING DATE AND EXPECTATIONS

BZA Meeting Date Applied for:

I understand that I will be asked to speak on behalf of my request and that I, or a representative will need to be in attendance. If, for some reason I or a representative will not be able to attend the scheduled meeting, I must submit a written request for deferral to another date in accordance with the adopted [Defeat/Deferral Policy](#) or withdraw my application.

**Applicant's
Initials
Here:**

PROPERTY INFORMATION

TMS #:
271-03-02-030

Lot Size: *0.187 ac.*

Zoning: *R1*

Physical Address or Location of Subject Property: 439 Sanders Farm Ln Charleston Sc 29492

Present Use of the Property: *Residence*

The following information MUST BE submitted with this application:

1. SITE PLAN

This should be on a copy of the recorded plat (8"x11"), if available. Sketch showing ALL existing and proposed buildings, bufferyards, roads, driveways, parking spaces, fencing, and other physical improvements in relation to the request.

**2. OTHER
RELEVANT
EVIDENCE**

The burden of proof to demonstrate a physical hardship falls on the applicant. Please enclose any documents, letters of support, surveys, pictures, or other materials deemed necessary to demonstrate the conditions of the property.

SUBMITAL ENCLOSURES (PLEASE CHECK ALL THAT APPLY)

- Existing Plat of Record *Same doc.*
- Site Plan
- Letters of Support from Neighboring Property Owners
- Owner's Notarized Written Authorization (If Owner's Signature Cannot Be Obtained)
- Other (please specify):

RELEVANT FACTORS PERTAINING TO THE VARIANCE

I (we) have made (or desire to make) an application for a permit to:
install a pool

And the Planning and Zoning Department either denied it or stated that it does not conform on the grounds that:

I request a variance from the Berkeley County Zoning Ordinance to be/have (Be specific with measurements, feet, acreage, numbers of, ratio, etc.):
3ft from rear property line

State Law and the Berkeley County Ordinance requires that the following four (4) facts are sufficiently met in order for a variance to be considered by the BZA. The applicant must prove through fact that the strict application of the ordinance will result in unnecessary hardship. Please provide a response to EACH question provided below and use additional sheets if necessary.

THE VARIANCE IS REQUESTED BECAUSE OF THE FOLLOWING REASONS:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property. There are issues such as size, shape, and topography that prevent compliance with the Ordinance. **NOTE: The BZA REQUESTS precise measurements, either drawn on a map or plat or prepared by a Surveyor or other qualified professional. If insufficient information is presented to the BZA, the applicant risks the Variance being denied or held for a future meeting until the Applicant can provide the necessary evidence.**

The wedge shape significantly impacts the usage of the yard

2. These conditions do not generally apply to other property in the vicinity. The applicant should answer the question: What condition(s) that generally applies only to this property prevents compliance with the ordinance? **A simple example pertaining to lot shape: "The triangular shape makes it impossible for me to meet the requirements. All the adjacent lots around me are square."**

Most properties have a straight property line that dose not push into the rear yard

3. Because of these conditions, the application of the ordinance effectively prohibits, or unreasonably restricts the utilization of the particular piece of property. The applicant should answer the question: What is the reasoning behind why the ordinance would harm the property's current or future use? **NOTE: Monetary gain or advantage is not to be considered by the board in determining hardship. A simple example pertaining to building a detached garage on a residential lot: "Because of the triangular shape of the lot, a detached garage will not fit within the boundaries of the lot and still adhere to the setback requirements. This prevents the lot from being fully utilized."**

The wedge shape effects the safe placement of the pool from the structure

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. **Affected/Interested stakeholders, either in support or in opposition, have the privilege to be heard during the Public Hearing.**

The property adjoining the rear is HOA Drainage basin
The property cannot be developed, the variance will have no impact on other properites
The adjustment would only apply to a small area st the peak of the property line.

ACKNOWLEDGMENTS:
TERMS OF THIS APPLICATION

1. Hardship resulting from financial difficulty, and the applicant's own actions are generally not sufficient cause for the board to grant a variance.
2. Although the appeal will be advertised in the local newspaper, and the property posted with a sign concerning the details of the meeting, staff strongly recommend that all neighbors and property owners be contacted, by the applicant, before the application is submitted.
3. The applicant may present, at the discretion of the BZA Chairman, and items and/or individuals he/she believes will help his/her case.
4. Five, of the eight appointed Board members, must be present before action can be taken on the variance, and the concurring vote of majority of the Board present is necessary in order for a Variance to be approved.
5. No Variance, having been denied, shall be resubmitted to the Board for a period of one (1) year, unless conditions have changed substantially and new evidence is received, and the Board votes unanimously to rehear the matter.
6. Any person who may have a substantial interest in any decision of the Board may appeal said decision to a court of competent jurisdiction in and for the county of Berkeley, filing with the clerk of such court a petition in writing setting forth plainly, fully and distinctly wherein such decision is contrary to the law. Such appeal shall be filed within thirty (30) days after the decision of the board is rendered.

APPLICANT DISCLOSURES

I, the applicant, hereby acknowledge by my signature that this application is complete and accurate to the best of my knowledge, information, and benefit, have read and understand the terms and expectations associated with this Application, hereby release, hold harmless, and indemnify forever Berkeley County, its employees, and agents, both individually and jointly, from any and all liability or responsibility for any foreseen or unforeseen damage, including, but not limited to, death, bodily injury, personal injury, and property damage, arising from the home occupation located at the above-referenced property by adjoining landowners, visitors and/or any user of the home, including, but not limited to, the public at large, am the owner of the subject property or the authorized representative of the owner, authorize the subject property to be posted and/or inspected, AND hereby certify that the tract(s) or parcel(s) of land to which this request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in the South Carolina Code of Laws, Section 6-29-1145, and are exempt per Section 59.35 of the Berkeley County Code of Ordinances.

Signature: [Handwritten Signature]

Date: June 21 2022

PROPERTY OWNER AUTHORIZATION (IF DIFFERENT FROM APPLICANT)

I (we) certify that I (we) are the owners of the property involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this special exception application.

Property Owner(s) Printed Name: Fleet

Property Owner(s) Signature: _____ Date: _____

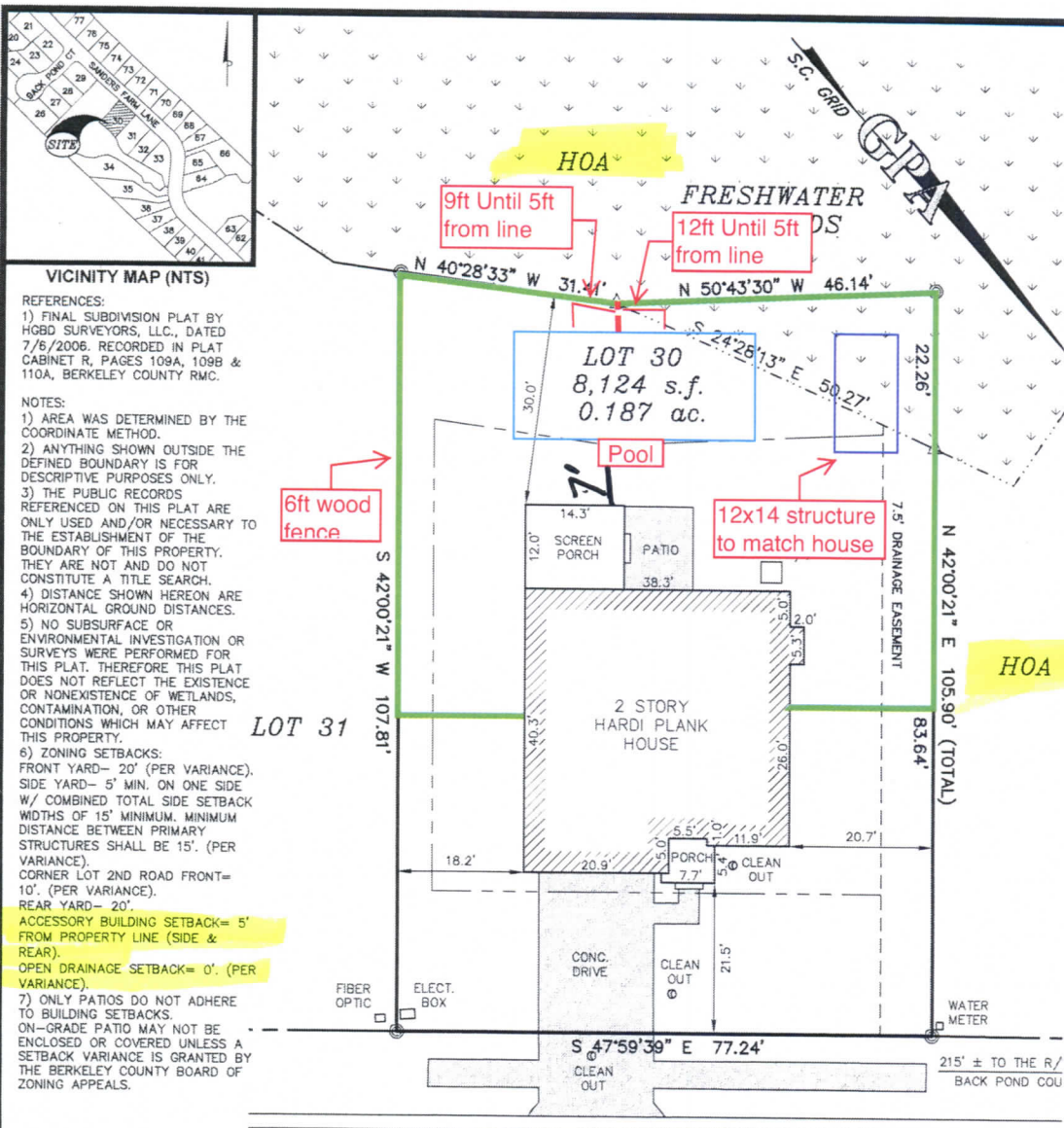
OFFICE USE SECTION

AMOUNT PAID: 150- CHECK #: _____ ; CASH; ONLINE PAYMENT INTENDED

DATE RECEIVED: 6/21/22 ; RECEIPT NUMBER: _____
DATE FILED: 6/21/22 ; MEETING DATE: July 19, 22

[Handwritten Signature]
ZONING OFFICIAL

6/21/22
DATE



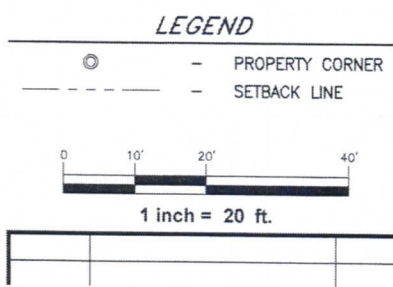
VICINITY MAP (NTS)

REFERENCES:
 1) FINAL SUBDIVISION PLAT BY HGSD SURVEYORS, L.L.C., DATED 7/6/2006. RECORDED IN PLAT CABINET R, PAGES 109A, 109B & 110A, BERKELEY COUNTY RMC.

NOTES:
 1) AREA WAS DETERMINED BY THE COORDINATE METHOD.
 2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 4) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 6) ZONING SETBACKS:
 FRONT YARD- 20' (PER VARIANCE).
 SIDE YARD- 5' MIN. ON ONE SIDE W/ COMBINED TOTAL SIDE SETBACK WIDTHS OF 15' MINIMUM. MINIMUM DISTANCE BETWEEN PRIMARY STRUCTURES SHALL BE 15'. (PER VARIANCE).
 CORNER LOT 2ND ROAD FRONT= 10'. (PER VARIANCE).
 REAR YARD- 20'.
 ACCESSORY BUILDING SETBACK= 5' FROM PROPERTY LINE (SIDE & REAR).
 OPEN DRAINAGE SETBACK= 0'. (PER VARIANCE).
 7) ONLY PATIOS DO NOT ADHERE TO BUILDING SETBACKS.
 ON-GRADE PATIO MAY NOT BE ENCLOSED OR COVERED UNLESS A SETBACK VARIANCE IS GRANTED BY THE BERKELEY COUNTY BOARD OF ZONING APPEALS.

FLOOD NOTE:
 THIS PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN FROM FEMA FLOOD MAP, PANEL NO. 45015C0718D, REVISED OCTOBER 16, 2003.

SANDERS FARM LANE 50' R/W



I, JOHNATHAN F. BURNS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN. THIS SURVEY IS NOT VALID UNLESS EMBOSSED WITH AN ORIGINAL SURVEYOR'S SEAL. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 9TH DAY OF FEBRUARY, 2011.

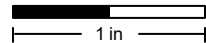
JOB NO. 105036 - LOT 30
FINAL SURVEY

GPA
 PROFESSIONAL
 LAND SURVEYORS

271-03-02-030



1 inch = 42 feet



Date: 6/28/2022

Berkeley County GIS



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