

CITY OF AUBURN, NEW YORK

"History's Hometown"



Historic Resources Review Board

The Historic Resources Review Board Meeting will be held at 7:00 PM on June 21, 2022 at Memorial City Hall, 24 South Street, Auburn, NY 13021.

Accommodations: Requests for accommodations for individuals with disabilities may be made with prior notice of at least three work days in advance of the meeting by calling (315) 255-4100 or e-mailing disabilityaccess@auburnny.gov. As much advance notice as possible is needed to assure that appropriate services can be acquired.

AGENDA

1. APPROVAL OF MINUTES

Approval of May 10th meeting minutes.

- 1.a. May 10, 2022 Historic Resources Review Board Meeting Minutes

[HRRB Minutes 05-10-22.pdf](#)

2. PUBLIC TO BE HEARD

3. CERTIFICATE(S) OF APPROPRIATENESS

- 3.a. 5 Elizabeth Street, Paul Dungey - Certificate of Appropriateness

[COA application 060622.pdf](#)

- 3.b. 176 Genesee Street, Seymour Library, Certificate of Appropriateness

[COA-Symour-Library_2022-05-27.pdf](#)

2022-05-26_CD-Checkset-SeymourLibrary - Copy.pdf
InsulLam Insulation Board, dist. by Best Materials®.pdf
INSULLAM-Mechanically-Attached1.pdf
KALWALL-self-supporting-ridge-roofs-w-hip-ends.pdf
MBCI22_Single Skin Brochure_STANDING-SEAM-METAL-ROOF.pdf
sarnafil-g410-self-adhered-membrane-flashings-flyer.pdf
STANDING-SEAM-METAL-ROOF.pdf
Seymour Library roof - existing conditions photos.pdf

4. OTHER BUSINESS

5. ADJOURN

COUNCIL MEMORANDUM

Memorial City Hall
24 South Street
Auburn, New York 13021

TO: Honorable Mayor and Members of Historic Resources Review Board

FROM: Gretchen Messer, Office of Planning and Economic Development

DATE: June 21, 2022

RE: May 10, 2022 Historic Resources Review Board Meeting Minutes

Background

The May 10, 2022 Historic Resources Review Board minutes are attached for review.

Recommendation

Fiscal Impact

The City of Auburn
Historic Resources Review Board
c/o Office of Planning and Economic Development
Memorial City Hall-24 South St.
Auburn, NY 13021
(315)255-4115

Meeting Minutes
May 10, 2022
Council Chambers

Present: Michael Deming (Chair), Ed Onori, Jackie Gumtow, Jim Hutchinson, Linda Frank, Richard Stankus

Staff: Jennifer Haines, Director, Office of Planning and Economic Development; Nate Garland, Assistant Corporation Counsel; Gretchen Messer, Planner

Michael Deming: Opened the meeting at 7:00 pm

Approval of Meeting Minutes:

Motion to accept the meeting minutes of April 12, 2022 made by **Jackie Gumtow**, second by **Jim Hutchinson**. All in favor, Aye, none opposed, motion carried.

Public to be heard.

Chuck Mason, City Clerk, handed out fliers to the Board Members announcing the dedication ceremony of two markers for the National Votes for Women Trail.

The project began before the pandemic and would have been presented in 2020 to correspond with the 100th anniversary of the passing of the 19th Amendment. The historic markers are the work of the NYS Advisory Board for the National Votes for Women Trail, sponsored by the National Collaborative for Womens History Sites, and was underwritten by the Pomeroy Foundation. The City of Auburn was awarded 2 sites of recognition out of the 250 sites recognized nationwide.

First location is at the Equal Rights Heritage Center at 25 South Street, denoting the location of the Women's Educational and Industrial Union building founded by Eliza Wright Osborne. The second location is on the north end of the Exchange Street Plaza, denoting the location of the Cayuga County Political Equality Club which was located at 9 Exchange Street. This location was founded by Emily Howland and Eliza Wright Osborne.

The signs will be installed on June 10th at 3:00 with a ceremony beginning at the Equal Rights Heritage Center. There will be representatives of the Osborne family and other elected officials. The ceremony will continue with a walk over to the Exchange Street site.

The markers will look like traditional historic markers but will be purple and white in color. There will be a small symbol on the top right indicating the sign is part of the National Votes for Women Trail. The National Collaborative for Womens' History Sites and the Pomeroy Foundation are funding a website where you can find the location of all 250 markers across the country.

Richard Stankus: Raised concern about the maintenance of the historic markers throughout the city.

Jackie Gumtow: Asked if the Pomeroy Foundation assisted in the maintenance.

Chuck Mason: Stated that the Pomeroy Foundation did not provide any funding but they did provide information for maintenance. He also noted that Mayor Quill was very interested in improving the upkeep of the historic markers throughout town.

Richard Stankus: Noted that there was a historic marker installed perpendicular to the roadway, making it very difficult to read. It was noted that this was done at the request of the previous land owner. The Board agreed that they would like it rotated such that it could be read from the roadway.

Chuck Mason: Noted that the Pomeroy Foundation also funded a new historic marker sign for Seward Park. It will arrive by the end of June and will be installed by the end of the summer.

Michael Deming: Requested Chuck Mason look into getting a sign installed on Washington Street at the Reverend Rossmoor's house, which is listed on the National Register. He was the publisher of the Northern Christian Advocate. Chuck Mason stated he would look into this.

Jackie Gumtow: States she would like signs along South Street identifying entering Auburn's Historic District.

Chuck Mason: Informed the Board that 60 street lights, approved by SHPO, were being installed along South Street. Each light was \$7,000 and this work was being done through \$250,000 funding from NYS Touring.

Close of Public Comment.

Certificate(s) of Appropriateness

1. 144 South Street:

Dave Good: Presented that he had submitted an application for the removal of an old, rotted fence and the installation of a more historically appropriate fence that looked like wrought iron. The fence would run 268 feet along the house's frontage on South Street, breaking to allow for the existing gate that would remain. The new fence would also

extend 100 feet between his house and his neighbor's (138 South Street and 144 South Street), extending to the existing chain link fence. There would be no wrought iron gate at the driveway; they propose to keep the existing wooden gate.

Jackie Gumtow: Stated that it was a great improvement to the area.

Linda Frank: made a motion to approve the application, seconded by Jackie Gumtow.

Michael Deming: Further discussion? All in favor? Aye, none opposed, motion carried.

Gretchen Messer: A Certificate of Appropriateness will be issued, which you can then use to pull your building permit.

Other Business

Michael Deming: Stated concern that the Warden House fencing (67 South Street) had been approved such that it would be stained the same color to match. This has not been done.

Nate Garland: Stated he would ask the Code Enforcement office to take a look at it.

Michael Deming: Also noted that additional work beyond what had been approved has been done at 50 South Street, and they have not come back before the board to address the additional work.

Ed Onori: Explained that the fencing was modified to improve access.

Michael Deming: Reiterated that they should come back before the Board to address the modifications. He reminded the Board that the shed project, located at 128 South Street, would be reviewed before the City Council this week. He stated he would be attending in case the Council had any questions.

Nate Garland: Stated he would be attending to represent the Board.

Motion to adjourn made by **Jim Hutchinson** and seconded by **Richard Stankus**. All in favor, Aye, none opposed, motion carried.

Adjourn

The next regularly scheduled meeting is Tuesday June 14, 2022 at 7 pm.

COUNCIL MEMORANDUM

Memorial City Hall
24 South Street
Auburn, New York 13021

TO: Honorable Mayor and Members of Historic Resources Review Board

FROM: Gretchen Messer, Office of Planning and Economic Development

DATE: June 21, 2022

RE: 5 Elizabeth Street, Paul Dungey - Certificate of Appropriateness

Background

The applicant proposes to upgrade the existing double-hung windows with efficient Anderson Window Series 400 Double-hung Window Inserts. The work to be done includes installing double-hung windows on the first floor:

East side (5)

South side (3)

West side (3), first floor, (1) hall stairway.

Recommendation

Fiscal Impact

June 6, 2022

Historic Resources Review Board
24 South St.
Auburn, NY 13021

To whom it may concern,

Please find attached, our application for a Certificate of Appropriateness. The plan is to upgrade the existing double-hung windows with efficient Andersen Window Series 400 Double Hung Window Inserts.

Work to be done: Install double-hung window inserts in the first-floor windows:

- east side (5)
- south side (3)
- west side - (3) first floor, (1) hall-stairway

The existing window casements remain unchanged. There will be no changes made to the size of the window openings or trim work. See accompanying document for specifics

Sincerely,



Paul Dungey
5 Elizabeth Street
Auburn, NY 13021
Home: 315-253-3796
Mobile: 716-512-3385
Pgdaub19@gmail.com

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Return completed application and all required materials to:
Office of Planning and Economic Development, 24 South Street, Auburn, NY 13021

Date: June 6, 2022Property Address: 5 Elizabeth Street - Auburn, NY 13021Name of Owner: Paul G. and Kimberly P. Dungey

Mailing Address (if different): _____

Phone: 315-253-3796E-mail address: pgdaub19@gmail.com

Name of Business (if applicable): _____

Name of Agent/Contractor (if applicable): _____

Address of Agent/Contractor (if applicable): _____

Indicate type of Project: (Please check all that apply)

- | | | |
|--|--|-------------------------------------|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Window or Door Replacement | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Addition to Structure | <input type="checkbox"/> Roof | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> General Exterior
Renovation/Repair | <input type="checkbox"/> Siding | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence | |

Please provide a brief description of the project, noting any and all proposed changes to the exterior of the property (see check list of required materials on reverse and attached information to the application):

Install double-hung window inserts (Anderson Window product - Series 400) to replace existing double hung windows. No changes are being made to the existing window casements.

Exterior color (white) will match existing windows.

ANDERSEN 400 SERIES WOODWRIGHT® DOUBLE-HUNG WINDOW

This application cannot be processed for review unless all of the applicable items are submitted to the Office of Planning and Economic Development (OPED) by the **application deadline – 4:00 p.m. on the Tuesday** preceding the scheduled meeting. Unless otherwise notified, **Regular meetings of the Historic Resources Review Board (HRRB) occur at 7:00 PM on the second Tuesday** of each month at 24 South Street. Applicants are strongly encouraged to attend. Work on projects requiring HRRB approval shall not be started until the Owner or Agent/Contractor have obtained a Certificate of Appropriateness (C/A) and all required permits. It is the responsibility of the Owner to obtain all required permits. Changes to approved plans cannot be made without additional HRRB review. A request for changes to a previously approved C/A must be made in writing to the HRRB by the application deadline, along with any necessary plans. **BY SIGNING BELOW YOU ACKNOWLEDGE AND AGREE TO THESE CONDITIONS.**

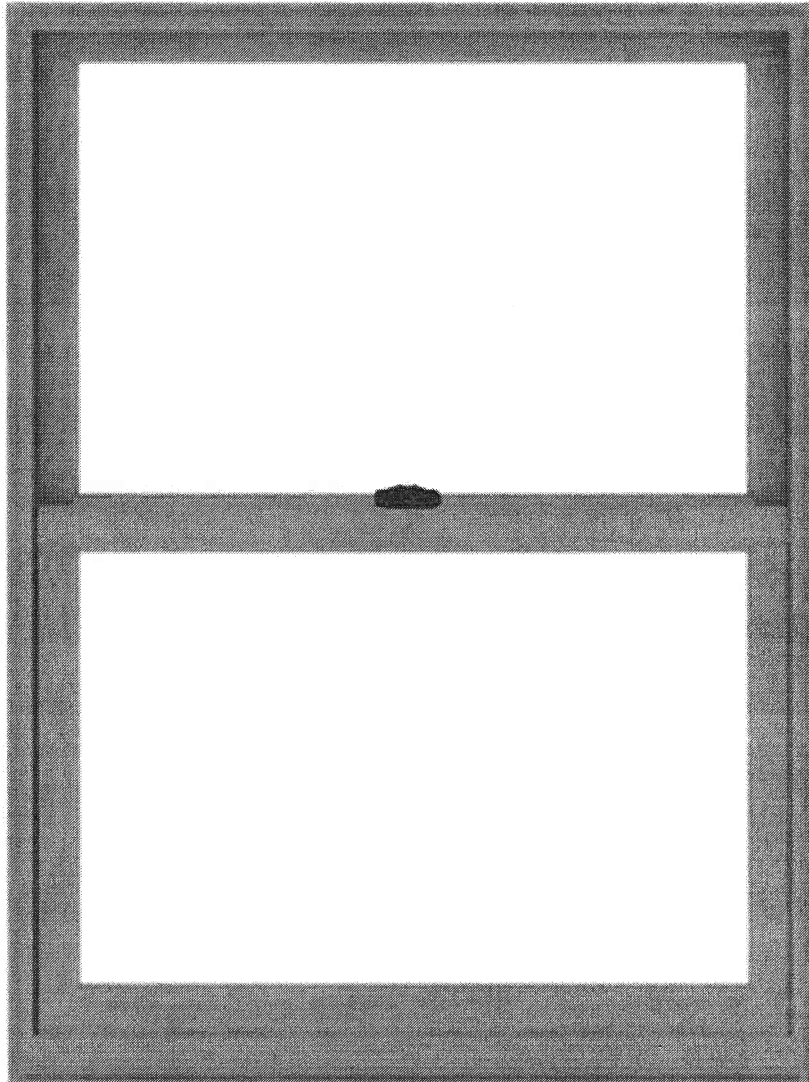
Signature of Owner: 

For Office Use Only: **Certificate of Appropriateness**

- Approved as submitted
 Approved with changes/conditions
 Denied

WINDOW INSERT PROJECT – DUNGEY RESIDENCE – 5 ELIZABETH STREET – AUBURN, NY
AUBURN HISTORIC RESOURCES REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS APPLICATION - JUNE 2022

Window insert product to be used to replace existing window sashes.



**Andersen Double-Hung Insert
400 Series Woodwright**

This timeless window is a best seller for historic renovations. It offers a traditional wood interior while featuring our innovation Fibex material, so you get a historic look that never looks 'old'.

Andersen's "best selling double-hung window for historic renovations."

<https://www.andersenwindows.com/windows-and-doors/windows/single-hung-and-double-hung-windows/400-series-woodwright-double-hung-window/#learn>

WINDOW INSERT PROJECT – DUNGEY RESIDENCE – 5 ELIZABETH STREET – AUBURN, NY
AUBURN HISTORIC RESOURCES REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS APPLICATION - JUNE 2022



East Side



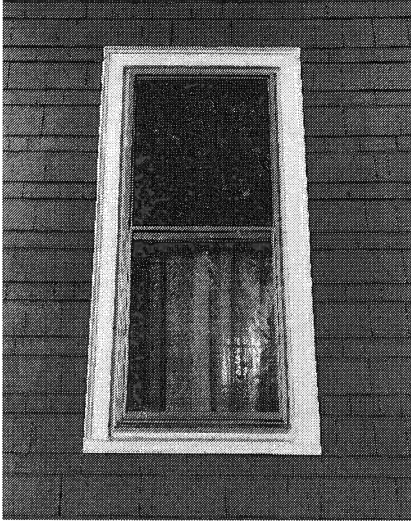
South Side



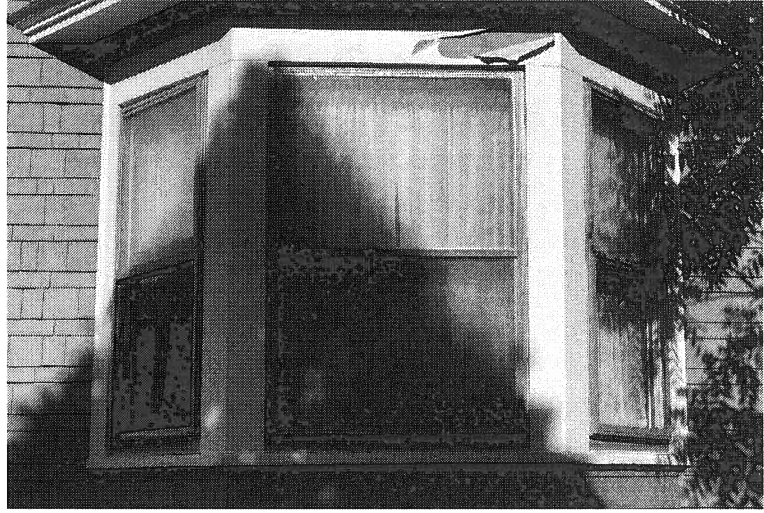
West Side

WINDOW INSERT PROJECT – DUNGEY RESIDENCE – 5 ELIZABETH STREET – AUBURN, NY
AUBURN HISTORIC RESOURCES REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS APPLICATION - JUNE 2022

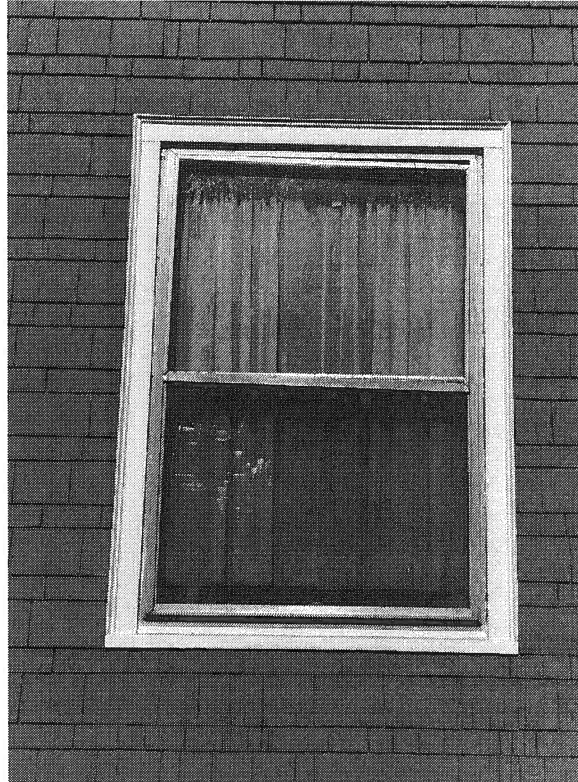
Windows Scheduled for Upgrade



East Side – Dressing Room
32" x 72"

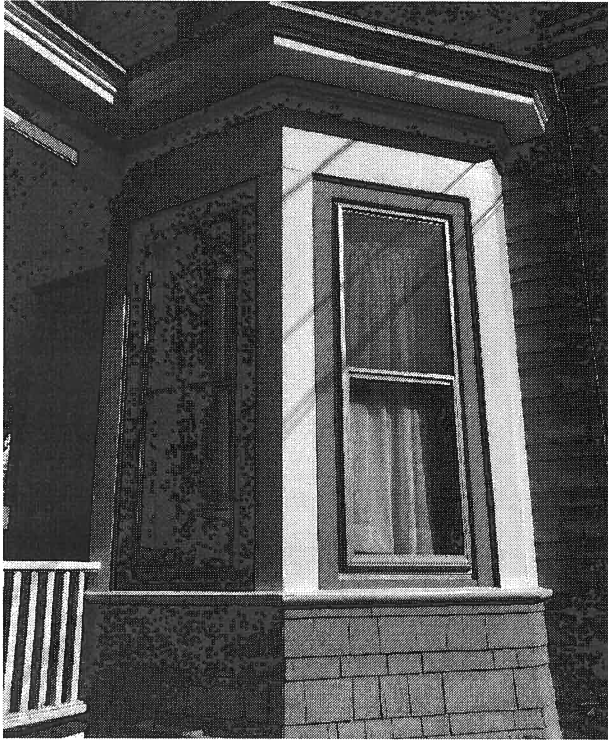


East Side – Bedroom
28" x 72", 48" x 72", 28" x 72"

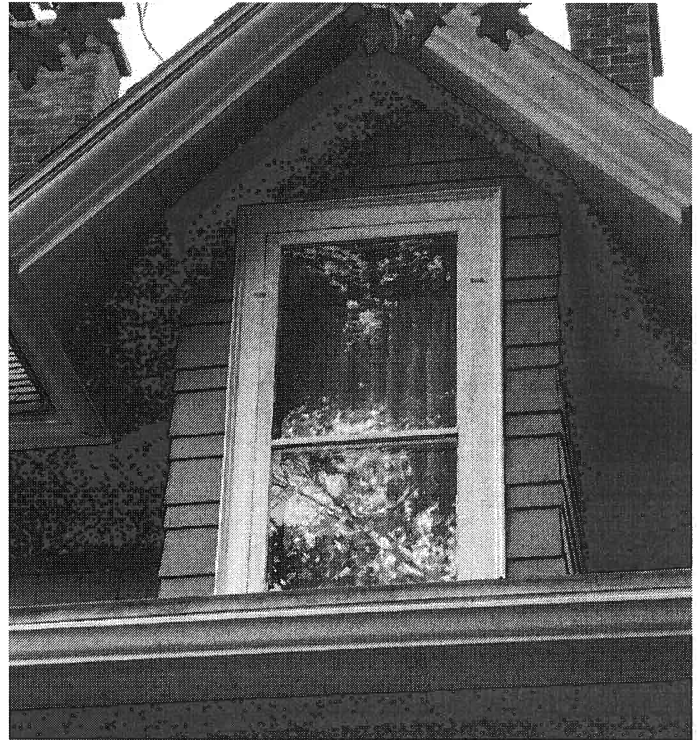


East Side – Living Room
48" x 72"

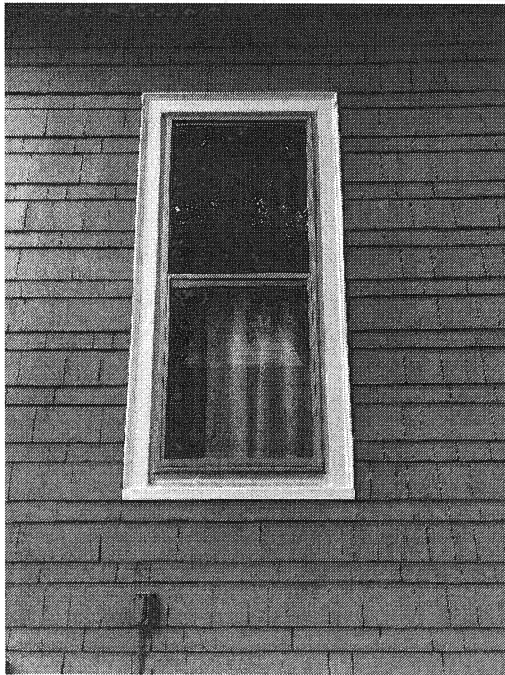
WINDOW INSERT PROJECT – DUNGEY RESIDENCE – 5 ELIZABETH STREET – AUBURN, NY
AUBURN HISTORIC RESOURCES REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS APPLICATION - JUNE 2022



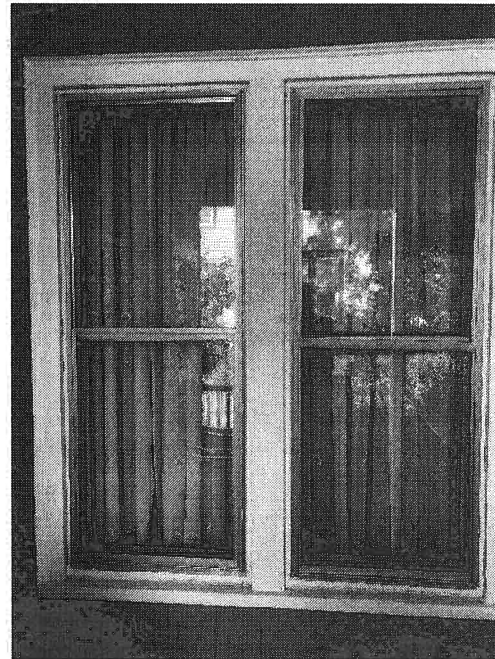
South Side – Living Room Bay Windows (3)
27 3/4" x 72", 27 3/4" x 72" 27 3/4" x 72"



West Side – Hall Stairway Window
28" x 66 1/2"



West Side – Hallway
31 1/2" x 71 1/2"



West Side – Family Room
28 1/2" x 71 1/2", 28 1/2" x 71 1/2"

COUNCIL MEMORANDUM

Memorial City Hall
24 South Street
Auburn, New York 13021

TO: Honorable Mayor and Members of Historic Resources Review Board

FROM: Gretchen Messer, Office of Planning and Economic Development

DATE: June 21, 2022

RE: 176 Genesee Street, Seymour Library, Certificate of Appropriateness

Background

The project consists of skylight, standing seam, metal roof replacement, flashing and masonry restoration. All work is under abatement conditions, The owner has submitted 100% of documents to SHPO for their final approval and comments. They have received SHPO's 50% comments and have revised the document to reflect their recommendations.

Recommendation

Fiscal Impact

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Return completed application and all required materials to:
Office of Planning and Economic Development, 24 South Street, Auburn, NY 13021

Date: 5/27/22

Property Address: Seymour Library, 176 Genesee Street

Name of Owner: Lisa Carr

Mailing Address (if different): _____

Phone: 315-253-7301

E-mail address: eonori@beardlsey.com

Name of Business (if applicable): Beardsley Architects+Engineers

Name of Agent/Contractor (if applicable): Ed Onori

Address of Agent/Contractor (if applicable): 64 South Street

Indicate type of Project: (Please check all that apply)

- | | | |
|--|---|-------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Window or Door Replacement | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Addition to Structure | <input checked="" type="checkbox"/> Roof | <input type="checkbox"/> Demolition |
| <input checked="" type="checkbox"/> General Exterior Renovation/Repair | <input type="checkbox"/> Siding | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence | |

Please provide a brief description of the project, noting any and all proposed changes to the exterior of the property (see check list of required materials on reverse and attached information to the application):

_____ The project consist of Skylight, Standing Seam metal roof Replacement, _____

_____ flashings and masonry Restoration. All under abatement conditions. We have _____

_____ submitted 100% documents to SHPO for there final approval and comments. _____

_____ We received SHPO's 50% comments and have revised the document to there _____

_____ recommendations. _____

This application cannot be processed for review unless all of the applicable items are submitted to the Office of Planning and Economic Development (OPED) by the **application deadline – 4:00 p.m. on the Tuesday** preceding the scheduled meeting. Unless otherwise notified, **Regular meetings of the Historic Resources Review Board (HRRB) occur at 7:00 PM on the second Tuesday** of each month at 24 South Street. Applicants are strongly encouraged to attend. Work on projects requiring HRRB approval shall not be started until the Owner or Agent/Contractor have obtained a Certificate of Appropriateness (C/A) and all required permits. It is the responsibility of the Owner to obtain all required permits. Changes to approved plans cannot be made without additional HRRB review. A request for changes to a previously approved C/A must be made in writing to the HRRB by the application deadline, along with any necessary plans. **BY SIGNING BELOW YOU ACKNOWLEDGE AND AGREE TO THESE CONDITIONS.**

Signature of Owner: _____

- For Office Use Only: **Certificate of Appropriateness**
- Approved as submitted
 - Approved with changes/conditions
 - Denied

Checklist of required information for projects before your application can be reviewed – **Please refer to your type of project and attach the required information to this application.** Applications are due no later than one week (4:00 p.m. on Tuesday) before the scheduled meeting. For assistance call (315) 255-4115

New Construction

- Map or survey of property indicating the location of the proposed structure
- Drawings, to scale, of all elevations; sizes and styles of windows and doors must be indicated on drawings
- Exterior specifications – list and described all visible materials, siding, roofing, etc.... on or attached to drawings
- Colors to be used w/ placement
- Lighting and signage details (if applicable)

Addition to a structure

- Map or survey of property indicating the location of the proposed addition
- Drawings, to scale, of addition including the existing building;
- Photographs of the building, all elevations affected by the addition
- Sizes and styles of windows and doors must be indicated on drawings; indicate which are proposed, original, and replacement
- Materials and colors to be used must be listed on drawings

General Exterior Renovations/Repairs

- Provide a detailed description of project with drawings and photographs of elevations
- List of any and all building elements affected
- Existing and proposed colors and material
- Include samples and/or manufacture's product information sheet where applicable

Replacement of Windows or Doors

- Size and style of existing and proposed window(s) or door(s); indicate width and height
- Scaled drawings or photographs of affected elevations
- Materials and colors; include the manufacture's product information sheet

Roof

- Existing roof type, materials and colors
- Proposed materials and colors, provide manufacture's product information sheet or sample
- Photographs of building
- If emergency situation, photographs of roof or evidence of damage

Siding

- Type of siding, smooth or textured, provide sample of siding
- Reveal of existing and proposed siding
- How will the building be prepared for siding? How will the trim be treated?
- Photographs of building

Fence

- Include map of property indicating existing fence, if any, and location of proposed fence
- Style (picket, board on board, etc.) – include drawing or picture of style with dimensions
- Height, material, and color
- Photographs of area showing where the fence is to be installed

Signs

- Detailed drawings of sign, drawn to scale – include dimensions, letter style and any graphics
- Include map of property indicating existing signage and placement of proposed signage
- Colors, materials, and any lighting to be used
- Photographs showing where the sign is to be placed

Demolition

- Photographs of existing building; include all elevations and wide shots showing building relationship to neighboring structures
- Detailed description of what will replace demolished structure, in anything (see New Construction above)
- Reasons for demolition, including emergency/health/safety issues or court orders

Other

- Provide details of project (e.g. installation of pool, alterations to landscape/site, etc.) – call to ask which details will be required for individual projects



Seymour Library-Replace Roof & Skylight

176 Genesee St. Auburn, NY 13021

95% CONSTRUCTION DOCUMENTS

05.26.2022

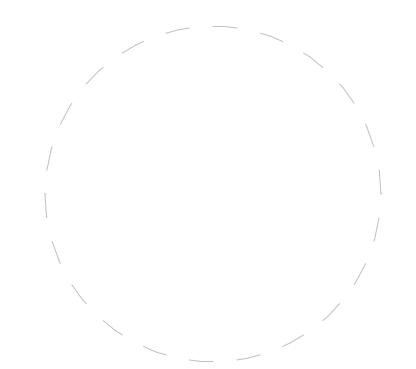
Owner
 Seymour Library Foundation
 176-178 Genesee Street
 Auburn, NY 13021
 315.252.2571

Architect + Engineer
 Beardsley Architects + Engineers
 64 South Street
 Auburn, NY 13021
 315.253.7301

DRAWING LIST

NUMBER	NAME
ALL TRADES	
G-000	COVER SHEET
G-101	SYMBOLS & ABBREVIATIONS
ARCHITECTURE	
AD101	DEMOLITION PLAN
ARCHITECTURE	
A-101	ROOF PLAN
A-201	BUILDING ELEVATIONS
A-301	BUILDING SECTIONS
A-302	SKYLIGHT SECTION AND DETAILS
A-501	DETAILS
A-502	DETAILS

Seymour Library-Replace Roof & Skylight



To the best of our knowledge, information and belief these documents have been prepared in accordance with the requirements of:

1. Building Code of New York State
2. Energy Conservation Construction Code of New York State
3. NYS Education Department Requirements
4. NYS Department of Labor Industrial Code Rule 56 (NYCRR 56).

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "ALTERED BY" followed by his signature and the date of such alteration, and a specific description of the alteration.

beardsley project number: 22029



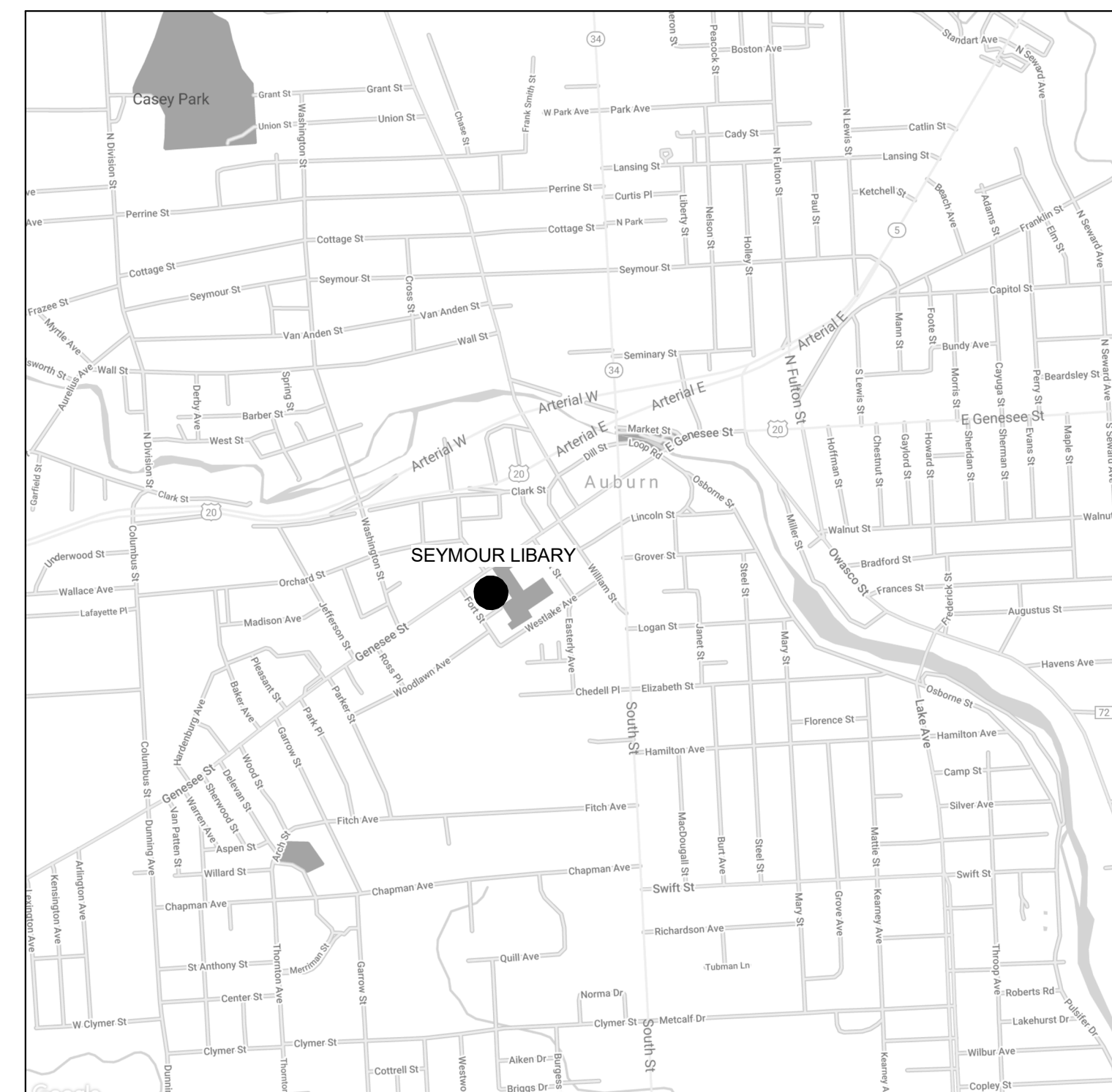
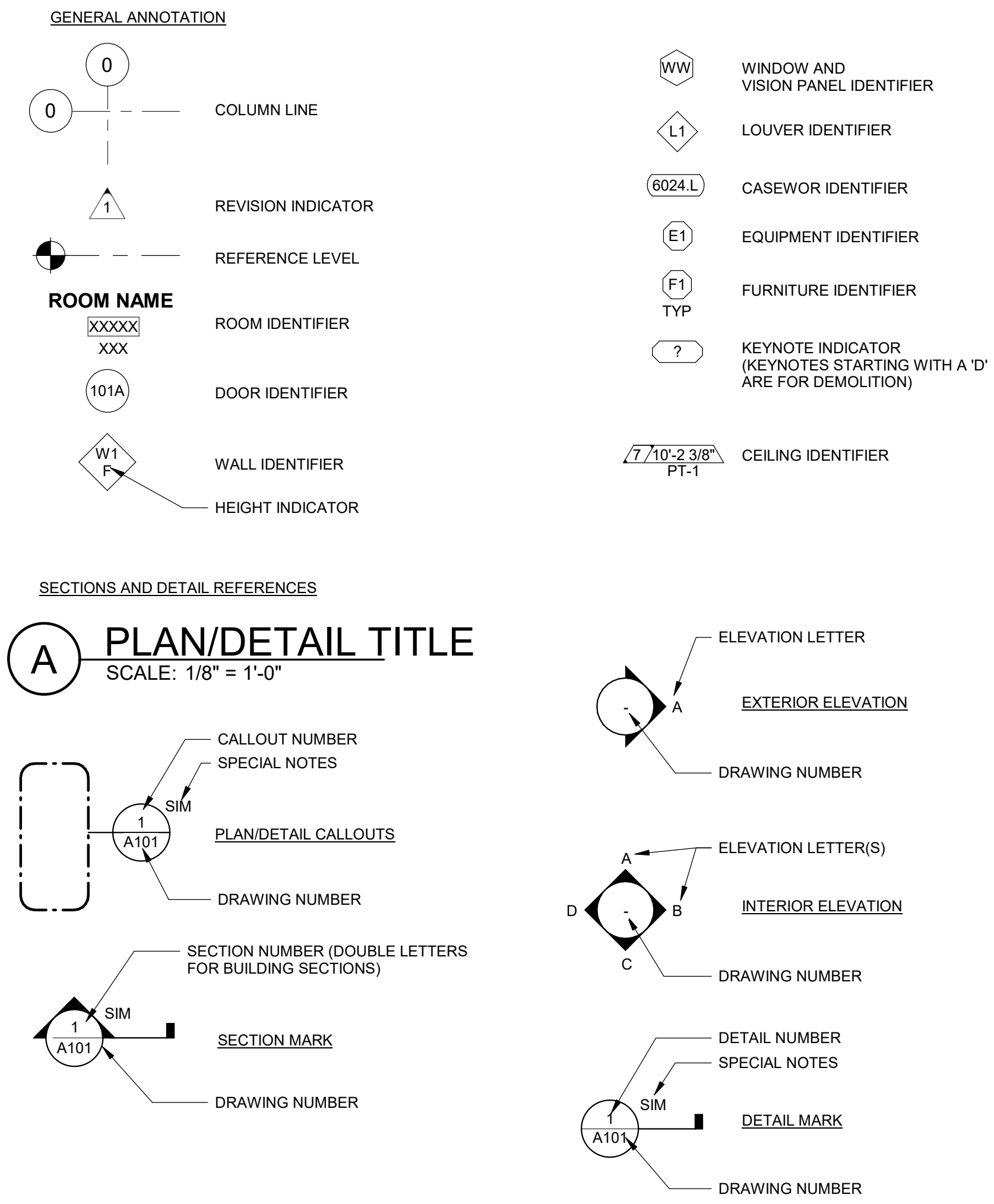
AUBURN | MALONE | SYRACUSE | ALBANY

1/27/2022 7:48:11 AM filename: C:\Projects\18164_A_2020-10-02_18164.rvt

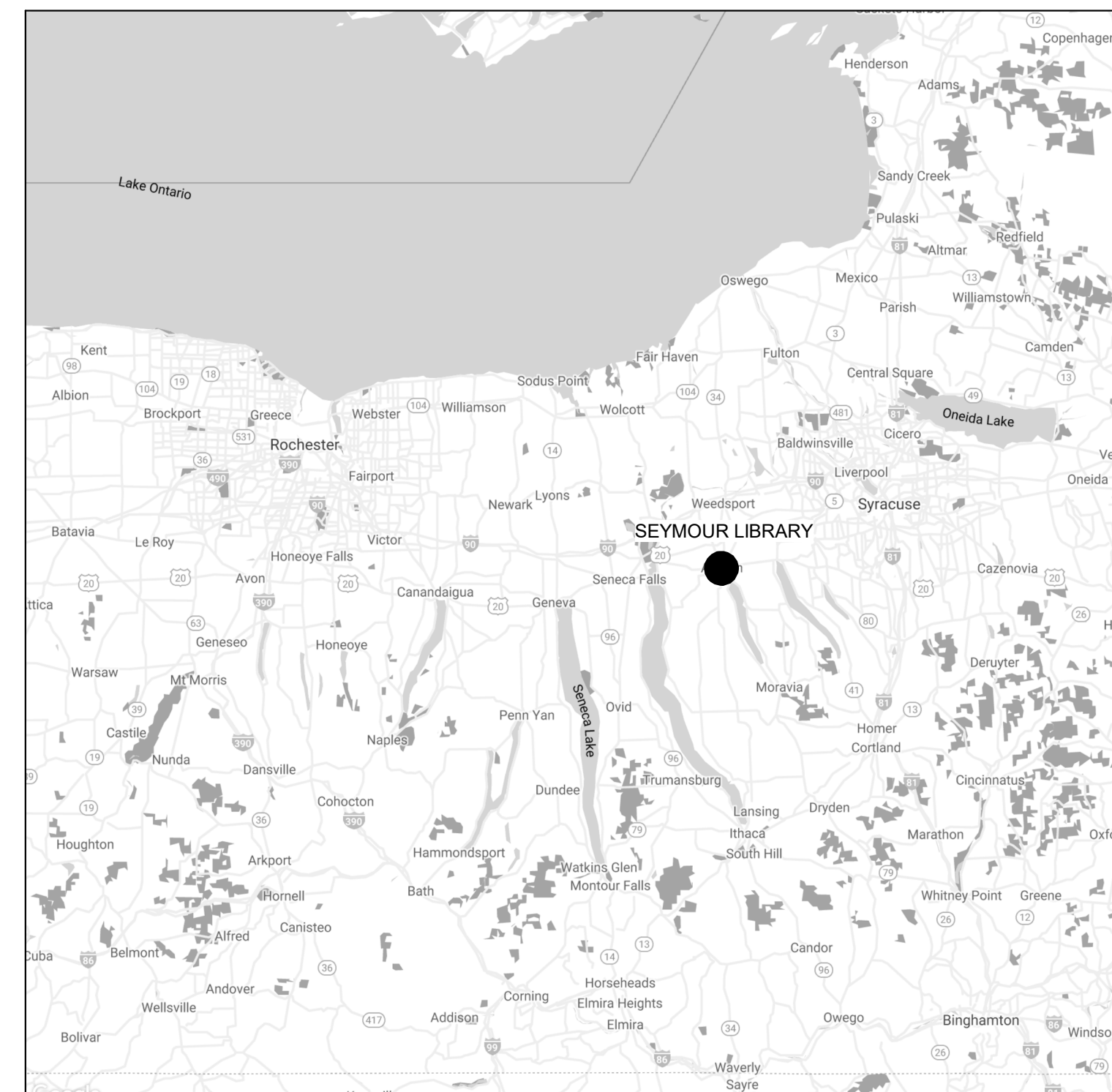
Beardsley Design Associates Architecture, Engineering, Landscape Architecture, D.P.C. © 2022

GENERAL ABBREVIATIONS			
@	AT	ENC	ENCLOSURE
A/C	AIR CONDITIONING	EOS	EDGE OF SLAB
AB	ANCHOR BOLT	EQP	EQUIPMENT
AC	ABOVE COUNTER	ETC	ET CETERA
ACT	ACOUSTIC CEILING TILE	ETR	EXISTING TO REMAIN
ACU	AIR CONDITIONING UNIT	EU	EXIT UNITS
AD	ACCESS DOOR	EW	ELECTRIC WATER COOLER
ADJ	ADJACENT	EWC	ELECTRIC WATER HEATER
ADJT	ADJUSTABLE	EWEF	EXISTING
AF	ABOVE FINISH FLOOR	EX	EXISTING
AFG	ABOVE FINISH GRADE	EXC	EXCAVATION
AHJ	AUTHORITIES HAVING JURISDICTION	EXH	EXHAUST
AHU	AIR HANDLING UNIT	EXP	EXPAND, EXPANSION
AL OR ALUM	ALUMINIUM	EXT	EXTERIOR
ALT	ALTERNATE	FFP	FIREPROOF
ANOD	ANODIZED	F/S	FOOTING STEP
AP	ACCESS PANEL	FA	FIRE ALARM
APC	ACOUSTIC PANEL CEILING	FBO	FURNISHED BY OTHERS
APPROX	APPROXIMATE, APPROXIMATELY	FD	FLOOR DRAIN
ARCH	ARCHITECT(URAL)	FE	FIRE EXTINGUISHER
ASB	ASBESTOS	FEC	FIRE EXTINGUISHER CABINET
ASPH	ASPHALT	FFE	FINISHED FLOOR ELEVATION
AWP	ACOUSTIC WALL PANEL	FG	FINISH GRADE
B/	BOTTOM OF	FGL	FIBERGLASS
B/B	BACK-TO-BACK	FHC	FIRE HOSE CABINET
BAT	BATTEN	FIN	FINISH(ED)
BBD	BOILER BLOW-DOWN LINE	FIXT	FIXTURE
BD	BOARD	FL	FLOOR
BDRM	BEDROOM	FLG	FLANGE
BIT	BITUMINOUS	FLOUR	FLOURESCENT
BLK	BLOCK	FLX	FLEXIBLE
BLKG	BLOCKING	FND	FOUNDATION
BM	BENCH MARK	FOC	FACE OF CONCRETE
BOC	BOTTOM OF CURB	FOF	FACE OF FINISH
BOT	BOTTOM	FOM	FACE OF MASONRY
BOW	BOTTOM OF WALL	FOS	FACE OF STUD
BPL	BASE PLATE	FP	FIRE PROTECTION
BRDG	BRIDGING	FPL	FIREPLACE
BRG	BEARING	FFM	FEET PER MINUTE
BS	BOTH SIDES	FR	FRAME(D)ING
BSMT	BASEMENT	FRT	FIRE RETARDENT
BTWN	BETWEEN	FS	FAR SIDE
BUR	BUILT-UP ROOFING	FT	FEET OR FOOT
BVL	BEVELED	FTG	FOOTING
C/C	CENTER TO CENTER	FTR	FIN TUBE RADIATION
CB	CATCH BASIN, CHALK BOARD	FUR	FURRED, FURRING
CEM	CEMENT, CEMENTITIOUS	FURN	FURNISH, FURNITURE
CEN	CENTER	GA	GAGE, GAUGE
CF	CUBIC FEET	GAL	GALLON
CFM	CUBIC FEET PER MINUTE	GALV	GALVANIZED
CFMF	COLD FORM METAL FRAMING	GB	GRAB BAR
CFS	CUBIC FEET PER SECOND	GC	GENERAL CONTRACTOR
CG	CORNER GUARD	GDBM	GRADE BEAM
CI	CAST IRON	GL	GLASS, GLAZING
CIP	CAST-IN-PLACE	GND	GROUND
CJ	CONTROL JOINT	GPH	GALLONS PER HOUR
CK	CAULKING	GPM	GALLONS PER MINUTE
CL	CENTERLINE	GRA	GRANITE
CLF	CHAIN LINK FENCE	GRD	GRADE/GRADING
CLG	CEILING	GVL	GRAVEL
CLL	CONTRACT LIMIT LINE	GWB	GYPSUM WALLBOARD
CLO	CLOSET	GYP	GYPSUM
CLR	CLEAR, CLEARANCE	HB	HOSE BIB
CLRM	CLASSROOM	HC	HANDICAPPED
CMP	CORRUGATED METAL PIPE	HD	HEAD
CMT	CERAMIC MOSAIC TILE	HDW	HARDWARE
CMU	CONCRETE MASONRY UNIT	HEX	HEXAGONAL
CO	CLEAN OUT	HM	HOLLOW METAL
COL	COLUMN	HOR	HORIZONTAL
COMP	COMPACT(ED)	HPL	HIGH PRESSURE LAMINATE
CONC	CONCRETE	HR	HANDRAIL
CONF	CONFERENCE	HT	HEIGHT
CONN	CONNECTION	HV	HEATING AND VENTILATING UNIT
CONST	CONSTRUCTION	HVAC	HEATING, VENTILATION AND AIR CONDITIONING
CONT	CONTINUOUS	HWD	HARDWOOD
CONTR	CONTRACTOR	HYD	HYDRANT
CPT	CARPET	I/F	INSIDE FACE
CRS	COURSE(S)	ID	INSIDE DIAMETER
CST	CAST STONE	INCL	INCANDESCENT
CT	CERAMIC TILE	INCL	INCLUDE(D), INCLUDING
CTG	COATING	INSUL	INSULATION
CTR	COUNTER	INT	INTERIOR
CTSK	COUNTERSUNK SCREW	INV	INVERT
CU	COPPER	IPS	IRON PIPE SIZE
CUH	CABINET UNIT HEATER	JAN	JANITOR'S CLOSET
CUL	CULVERT	JST	JOIST
CUSH	CUSHION(ED)	JT	JOINT
CUST	CUSTODIAL	KD	KNOCKDOWN
CW	COLD WATER, CLOTHES WASHER	KIP	ONE THOUSAND POUNDS
STC	SOUND TRANSMISSION CLASS	L	LONG, LENGTH
D	DEPTH	LAB	LABORATORY
DBL	DOUBLE	LAM	LAMINATE(D)
DEG	DEGREE	LAV	LAVATORY
DEMO	DEMOLISH/DEMOLITION	LB	LAG BOLT
DEP	DEPRESS	LBRG	LOAD BEARING
DEPT	DEPARTMENT	LF	LINEAL FEET
DF	DRINKING FOUNTAIN	LLH	LONG LEG HORIZONTAL
DI	DROP INLET	LLV	LONG LEG VERTICAL
DIA OR Ø	DIAMETER	LP	LIGHTING PANEL
DIAG	DIAGONAL	LT	LIGHT
DIFF	DIFFERENCE	LTG	LIGHTING
DIM	DIMENSION	LVR	LOUVER
DISP	DISPENSER	MACH	MACHINE
DL	DRAIN LINE	MATL	MATERIAL
DMT	DEMOUNTABLE	MAX	MAXIMUM
DN	DOWN	MECH	MECHANICAL
do	DITTO	MED	MEDIUM
DP	DAMP-PROOFING	MEZZ	MEZZANINE
DS	DOWNSPOUT	MFR	MANUFACTURER
DT	DRAIN TILE	MH	MANHOLE
DTL	DETAIL	MIN	MINIMUM
DWG	DRAWING	MISC	MISCELLANEOUS
DWL	DOWEL	MLD	MOLDING
DWR E/F	DRAWER EACH FACE	MO	MASONRY OPENING
EA	EACH	MOD	MODULAR
EB	EXPANSION BOLT	MT	MOUNT(ED)ING
EF	EXHAUST FAN	MTH	MOUNTING HEIGHT
EJ	EXHAUST GRILLE	MTL	METAL
EL	EXPANSION JOINT	MTP	METAL TOILET PARTITION
ELEC	ELEVATION	MULL	MULLION
ELEV	ELECTRICAL	MVC	MULTI-COLOR WALL COATING
EM	EMERGENCY	MWK	MILLWORK
		N/A	NOT APPLICABLE
N/F	NEAR FACE	NEG	NEGATIVE
NIC	NOT IN CONTRACT	NIC	NUMBER
NO OR #	NOMINAL	NOM	NOMINAL
NTS	NOT TO SCALE	NTS	NOT TO SCALE
O/A	OVERALL	O/A	OVERALL
O/F	OUTSIDE FACE	O/F	OUTSIDE FACE
O/O	OUT TO OUT	O/O	OUT TO OUT
OC	ON CENTER	OC	ON CENTER
OD	OUTSIDE DIAMETER	OD	OUTSIDE DIAMETER
OH	OVERHEAD	OH	OVERHEAD
OHE&T	OVERHEAD ELECTRIC	OHE&T	OVERHEAD ELECTRIC AND TELEPHONE
OPNG	OPENING	OPNG	OPENING
OPP	OPPOSITE	OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN	ORD	OVERFLOW ROOF DRAIN
OUT	OUTLET	OUT	OUTLET
P/L	PROPERTLY LINE	P/L	PROPERTLY LINE
PA	PUBLIC ADDRESS	PA	PUBLIC ADDRESS
PART	PARTIAL	PART	PARTIAL
PBD	PARTICLE BOARD	PBD	PARTICLE BOARD
PCB	PRECAST CONCRETE, PLUMBING CONTRACTOR	PCB	PRECAST CONCRETE, PLUMBING CONTRACTOR
PCL	PAVEMENT CUT LINE	PCL	PAVEMENT CUT LINE
PE	PORCELAIN ENAMEL	PE	PORCELAIN ENAMEL
PEND	PENDANT	PEND	PENDANT
PERC	PERCOLATION	PERC	PERCOLATION
PERF	PERFORATED	PERF	PERFORATED
PG	PLATE GLASS	PG	PLATE GLASS
P/W	POST INDICATING VALVE	P/W	POST INDICATING VALVE
PL	PLATE	PL	PLATE
PLA	PLASTIC	PLA	PLASTIC
PLAM	PLASTIC LAMINATE	PLAM	PLASTIC LAMINATE
PLAS	PLASTER	PLAS	PLASTER
PNL	PANEL	PNL	PANEL
PNT	PAINT	PNT	PAINT
POB	POINT OF BEGINNING	POB	POINT OF BEGINNING
POS	POSITIVE	POS	POSITIVE
PP	POWER PANEL	PP	POWER PANEL
PR	PAIR	PR	PAIR
PREFAB	PREFABRICATED	PREFAB	PREFABRICATED
PROP	PROPERTY	PROP	PROPERTY
PT	POINT, PRESSURE TREATED	PT	POINT, PRESSURE TREATED
PTD	PAPER TOWEL DISPENSER	PTD	PAPER TOWEL DISPENSER
PTN	PARTITION	PTN	PARTITION
PVC	POLYVINYL CHLORIDE	PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT	PVMT	PAVEMENT
PWD	PLYWOOD	PWD	PLYWOOD
PWR	POWER	PWR	POWER
QT	QUARRY TILE	QT	QUARRY TILE
QTB	QUARRY TILE BASE	QTB	QUARRY TILE BASE
QTR	QUARTER	QTR	QUARTER
QTY	QUANTITY	QTY	QUANTITY
R	RISER, RADIUS, HEAR RESISTANCE	R	RISER, RADIUS, HEAR RESISTANCE
RA	RETURN AIR	RA	RETURN AIR
RAD	RADIATOR	RAD	RADIATOR
RC	ROOFING CONTRACTOR, ROOF CUT LOCATION	RC	ROOFING CONTRACTOR, ROOF CUT LOCATION
RD	ROOF DRAIN	RD	ROOF DRAIN
RECT	RECTANGLE	RECT	RECTANGLE
REF	REFERENCE, REFRIGERATOR	REF	REFERENCE, REFRIGERATOR
REG	REGISTER	REG	REGISTER
REINF	REINFORCING	REINF	REINFORCING
REL	RELOCATE	REL	RELOCATE
REM	REMOVE, REMOVABLE	REM	REMOVE, REMOVABLE
REQD	REQUIRE(D)	REQD	REQUIRE(D)
REQMT	REQUIREMENT	REQMT	REQUIREMENT
RESIL	RESILIENT	RESIL	RESILIENT
REV	REVISION, REVISE(D)	REV	REVISION, REVISE(D)
RH	ROOF HATCH	RH	ROOF HATCH
RIV	ROOF INTAKE VENTILATOR	RIV	ROOF INTAKE VENTILATOR
RL	ROOF LEADER	RL	ROOF LEADER
RM	ROOM	RM	ROOM
RO	ROUGH OPENING	RO	ROUGH OPENING
ROW	RIGHT OF WAY	ROW	RIGHT OF WAY
RT	RESILIENT TILE	RT	RESILIENT TILE
RTU	ROOF TOP UNIT	RTU	ROOF TOP UNIT
RUB	RUBBER	RUB	RUBBER
RV	ROOF VENT	RV	ROOF VENT
RW	RESCUE WINDOW	RW	RESCUE WINDOW
S/L	SLOTTED LOUVER	S/L	SLOTTED LOUVER
S/P	SOUNDPROOF	S/P	SOUNDPROOF
SAFB	SOUND ATTENUATION FIRE BLANKETS	SAFB	SOUND ATTENUATION FIRE BLANKETS
SAN	SANITARY	SAN	SANITARY
SCH	SCHEDULE	SCH	SCHEDULE
SD	SOAP DISPENSER	SD	SOAP DISPENSER
SDR	SUB DRAIN	SDR	SUB DRAIN
SECT	SECTION	SECT	SECTION
SF	SQUARE FEET, SQUARE FOOT	SF	SQUARE FEET, SQUARE FOOT
SGT	STRUCTURAL GLAZED TILE	SGT	STRUCTURAL GLAZED TILE
SHT	SHEET	SHT	SHEET
SHTH	SHEATHING	SHTH	SHEATHING
SHWR	SHOWER	SHWR	SHOWER
SIM	SIMILAR	SIM	SIMILAR
SKL	SKYLIGHT	SKL	SKYLIGHT
SL	SLEEVE	SL	SLEEVE
SLL	SURVEY LIMIT LINE	SLL	SURVEY LIMIT LINE
SM	SHEET METAL	SM	SHEET METAL
SND	SANITARY NAPKIN DISPENSER	SND	SANITARY NAPKIN DISPENSER
SNDU	SANITARY NAPKIN DISPOSAL UNIT	SNDU	SANITARY NAPKIN DISPOSAL UNIT
SOG	SLAB ON GRADE	SOG	SLAB ON GRADE
SPEC	SPECIFICATION	SPEC	SPECIFICATION
SPKR	SPEAKER	SPKR	SPEAKER
SQ	SQUARE	SQ	SQUARE
SS	STAINLESS STEEL	SS	STAINLESS STEEL
ST	STORM WATER	ST	STORM WATER
STA	STATION	STA	STATION
STD	STANDARD	STD	STANDARD
STL	STEEL	STL	STEEL
STO	STORAGE	STO	STORAGE
STRUCT	STRUCTURAL	STRUCT	STRUCTURAL
SURF	SURFACE	SURF	SURFACE
SUSP	SUSPENDED	SUSP	SUSPENDED
SVD	STORMWATER DRAIN	SVD	STORMWATER DRAIN
SYM	SYMMETRY (ICAL)	SYM	SYMMETRY (ICAL)
SYS	SYSTEM	SYS	SYSTEM
T	TREAD(S)	T	TREAD(S)
T&G	TONGUE AND GROOVE	T&G	TONGUE AND GROOVE
T/	TOP OF	T/	TOP OF
TB	TACKBOARD, TOWEL BAR	TB	TACKBOARD, TOWEL BAR
TECH	TECHNOLOGY, TECHNICAL	TECH	TECHNOLOGY, TECHNICAL
TEL	TELEPHONE	TEL	TELEPHONE
TEMP	TEMPERATURE	TEMP	TEMPERATURE
TERR	TERRAZZO	TERR	TERRAZZO
TG	TEMPERED GLASS	TG	TEMPERED GLASS
THK	THICKNESS	THK	THICKNESS
THR	THRESHOLD	THR	THRESHOLD
THRU	THROUGH	THRU	THROUGH
TOC	TOP OF CURB	TOC	TOP OF CURB
TOS	TOP OF STEEL	TOS	TOP OF STEEL
TOW	TOP OF WALL	TOW	TOP OF WALL
TPD	TEMPERED	TPD	TEMPERED
TPTN	TOILET PARTITION	TPTN	TOILET PARTITION
TRD	TRENCH DRAIN	TRD	TRENCH DRAIN
TTD	TOILET TISSUE DISPENSER	TTD	TOILET TISSUE DISPENSER
TV	TELEVISION	TV	TELEVISION
TYP	TYPICAL	TYP	TYPICAL
U	HEAT TRANSFER COEFFICIENT	U	HEAT TRANSFER COEFFICIENT
UC	UNDERCUT	UC	UNDERCUT
UG	UNDERGROUND	UG	UNDERGROUND
UH	UNIT HEATER	UH	UNIT HEATER
UL	UNDERWRITERS LABORATORIES	UL	UNDERWRITERS LABORATORIES
UNF	UNFINISHED	UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE	UNO	UNLESS NOTED OTHERWISE
UR	URINAL	UR	URINAL
UTL	UTILITY	UTL	UTILITY
UV	UNIT VENTILATOR	UV	UNIT VENTILATOR
V	VOLT	V	VOLT
VAR	VARIES	VAR	VARIES
VAT	VINYL ASBESTOS TILE	VAT	VINYL ASBESTOS TILE
VB	VAPOR BARRIER	VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE
VENT	VENTILATION	VENT	VENTILATION
VERT	VERTICAL	VERT	VERTICAL
VEST	VESTIBULE	VEST	VESTIBULE
VOC	VOLATILE ORGANIC COMPOUND	VOC	VOLATILE ORGANIC COMPOUND
VOL	VOLUME	VOL	VOLUME
VP	VISION PANEL	VP	VISION PANEL
VRB V	VENTED RUBBER BASE	VRB V	VENTED RUBBER BASE
W/C	VINYL WALL COVERING	W/C	VINYL WALL COVERING
W	WATT	W	WATT
W/	WITH	W/	WITH
W/O	WITHOUT	W/O	WITHOUT
WB	WHITEBOARD	WB	WHITEBOARD
WC	WATER CLOSET, WALL COVERING	WC	WATER CLOSET, WALL COVERING
WD	WOOD	WD	WOOD
WF	WIDE FLANGE	WF	WIDE FLANGE
WG	WIRE GLASS	WG	WIRE GLASS
WH	WATER HEATER, WALL HUNG	WH	WATER HEATER, WALL HUNG
WI	WROUGHT IRON	WI	WROUGHT IRON
WM	WIRE MESH	WM	WIRE MESH
WP	WATERPROOF	WP	WATERPROOF
WR	WATER RESISTANT	WR	WATER RESISTANT
WSC	WAINSCOT	WSC	WAINSCOT
WT	WEIGHT	WT	WEIGHT
WV	WATER VALVE	WV	WATER VALVE
WWM	WELDED WIRE MESH	WWM	WELDED WIRE MESH
YD	YARD	YD	YARD

SYMBOLS LEGEND



LOCAL MAP



REGIONAL MAP



Aerial View



AUBURN
64 South Street
Auburn, NY 13021
315.253.7301

MALONE
320 West Main Street
Malone, NY 12953
518.483.1585

SYRACUSE
5789 Widewaters Parkway
Dewitt, NY 13214
315.472.6980

ALBANY
150 State Street
4th Floor
Albany, NY 12207
315.253.7301

Seymour Library Foundation
Seymour Library—Replace Roof & Skylight
176 Genesee St. Auburn, NY 13021

95% CONSTRUCTION
DOCUMENTS
05.26.2022

Project Number: 22029

Drawn By: SLB

Designed By: EFO

Reviewed By: JBC

no. revision description by date

ALL TRADES

SYMBOLS & ABBREVIATIONS

G-101

- ### GENERAL DEMOLITION NOTES
- A THESE GENERAL NOTES APPLY TO EXISTING SPACES AND BUILDING CONSTRUCTION AFFECTED BY THE WORK.
 - B THE DEMOLITION DRAWINGS ARE INTENDED AS A SUMMARY OF THE DEMOLITION, BUT MAY NOT REPRESENT ALL OF THE DEMOLITION REQUIRED TO COMPLETE THE WORK. THE DEMOLITION DRAWINGS AND THE REMAINDER OF THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AS ADDITIONAL INFORMATION REQUIRED TO COMPLETE THE DEMOLITION MAY BE INDICATED THROUGHOUT.
 - C DEMOLITION REQUIRED TO COMPLETE THE WORK, BUT NOT INDICATED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR COMPLETING THAT WORK.
 - D DEMOLITION OF MECHANICAL, ELECTRICAL, AND PLUMBING ELEMENTS REQUIRED BY THE GENERAL DEMOLITION, BUT NOT INDICATED, SHALL BE COMPLETED BY THE APPROPRIATE TRADE CONTRACTORS. EACH TRADE CONTRACTOR SHALL COORDINATE THEIR DEMOLITION WITH EACH OTHER AND WITH THE SCOPE OF THE FINISHED WORK.
 - E WHERE NEW FINISHES ARE TO BE APPLIED REMOVE ABANDONED, NON-FUNCTIONING ITEMS, SUCH AS SURFACE MOUNTED CONDUIT, RACEWAYS, JUNCTION BOXES, CLIPS, BRACKETS, FASTENERS, ETC. MECHANICAL, ELECTRICAL, AND PLUMBING ELEMENTS SHALL BE REMOVED BY THE APPROPRIATE TRADE CONTRACTORS, UNLESS OTHERWISE INDICATED OR DIRECTED.
 - F SHOULD CONFLICTS EXIST WITHIN THE CONSTRUCTION DOCUMENTS, VERIFY INTENT WITH ARCHITECT PRIOR TO BIDDING. CLARIFICATIONS ISSUED AFTER BIDDING SHALL NOT BE BASIS FOR ADDITIONAL COMPENSATION.
 - G EXISTING CONDITIONS MAY VARY FROM THOSE INDICATED. NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
 - H WHEN REMOVING A MATERIAL, COMPONENT, ASSEMBLY OR SYSTEM, "COMPLETE" SHALL MEAN THE MATERIAL, COMPONENT, ASSEMBLY OR SYSTEM, ALONG WITH ASSOCIATED SUSPENSION, HANGERS, BRACING, SHIMS, FASTENERS, ANCHORS, TRIM, ACCESSORIES, TRANSITION PIECES, ADHESIVES, SEALANTS, ETC., UNLESS OTHERWISE INDICATED.
 - I CONTRACTORS ARE RESPONSIBLE FOR DECONSTRUCTION OF ASSEMBLIES OR SYSTEMS AS REQUIRED TO SEPARATE RECYCLABLE MATERIALS INTO THEIR CORRECT CATEGORIES.
 - J WHEN DURING THE COURSE OF THE WORK, EXISTING CONSTRUCTION INDICATED TO REMAIN IS DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE WITH IN-KIND MATERIAL TO LIKE-NEW CONDITION. AT NO EXPENSE TO THE OWNER, REPAIR OR REPLACEMENT METHODS AND MATERIALS SHALL BE SUBJECT TO THE ARCHITECT'S APPROVAL.
 - K CONTRACTORS SHALL ASSUME THE PRESENCE OF LEAD BASED PAINT ON BUILDING CONSTRUCTION BUILT PRIOR TO 1978, AND SHALL FOLLOW ALL REQUIRED WORK PRACTICES AND REGULATORY REQUIREMENTS.
 - L HAZARDOUS MATERIALS ARE PRESENT IN EXISTING CONSTRUCTION INDICATED TO BE DEMOLISHED. INFORMATION ON THE PRESENCE OF KNOWN HAZARDOUS MATERIALS IS AVAILABLE FROM THE OWNER FOR CONTRACTORS' REVIEW. CONTRACTORS SHALL EXAMINE THE INFORMATION AND BECOME FAMILIAR WITH LOCATIONS WHERE HAZARDOUS MATERIALS ARE KNOWN OR LIKELY TO BE PRESENT.
 - M DO NOT DISTURB SUSPECTED HAZARDOUS MATERIAL. WHEN IN THE COURSE OF THE WORK, SUSPECT MATERIALS ARE ENCOUNTERED THE CONTRACTOR SHALL STOP WORK IN THE AFFECTED AREA, AND IMMEDIATELY NOTIFY THE OWNER'S PROJECT REPRESENTATIVE.

- ### KEYED NOTES
- KEYED NOTES LOCATED WITHIN A SPACE SHALL APPLY THROUGHOUT THE SPACE UNLESS OTHERWISE INDICATED.
- | | | | |
|----|--|---|---|
| XX | Dx = DEMOLITION KEYNOTE
C = CEILING
E = EQUIPMENT / FIXTURES | F = FLOORING
M = MILLWORK
O = OPENING | R = ROOFING
S = STAIRS / RAMPS
W = WALL / STRUCTURE |
|----|--|---|---|
- D.2 REMOVE EXISTING STANDING SEAM METAL ROOFING AND FELT DOWN TO EXISTING WOOD DECK UNDER ABATEMENT CONDITIONS
 - D.3 REMOVE EXISTING METAL FLASHING UNDER ABATEMENT CONDITIONS. ANY METAL COUNTER UNDER STONE CAP TO REMAIN
 - D.4 REMOVE EXISTING ROOF HATCH UNDER ABATEMENT CONDITIONS. ABATE ASBESTOS-CONTAINING COATINGS AND TAR AND PREPARE HATCH FOR REINSTALLATION.
 - D.5 REMOVE METAL CAP ON PARAPET WALL UNDER ABATEMENT CONDITIONS
 - D.6 REMOVE EXISTING CAULK AND LIQUID FLASHING IN STONE JOINT CAP UNDER ABATEMENT CONDITIONS
 - D.7 REMOVE EXISTING CHIPPED TIN WITH SILVER COATING OVER EDGE UNDER ABATEMENT CONDITIONS
 - D.8 REMOVE EXISTING LADDER AND PITCH POCKETS TO ROOF BELOW
 - D.9 REMOVE EXISTING GRAVITY VENT UNDER ABATEMENT CONDITIONS

95% CONSTRUCTION DOCUMENTS
05.26.2022

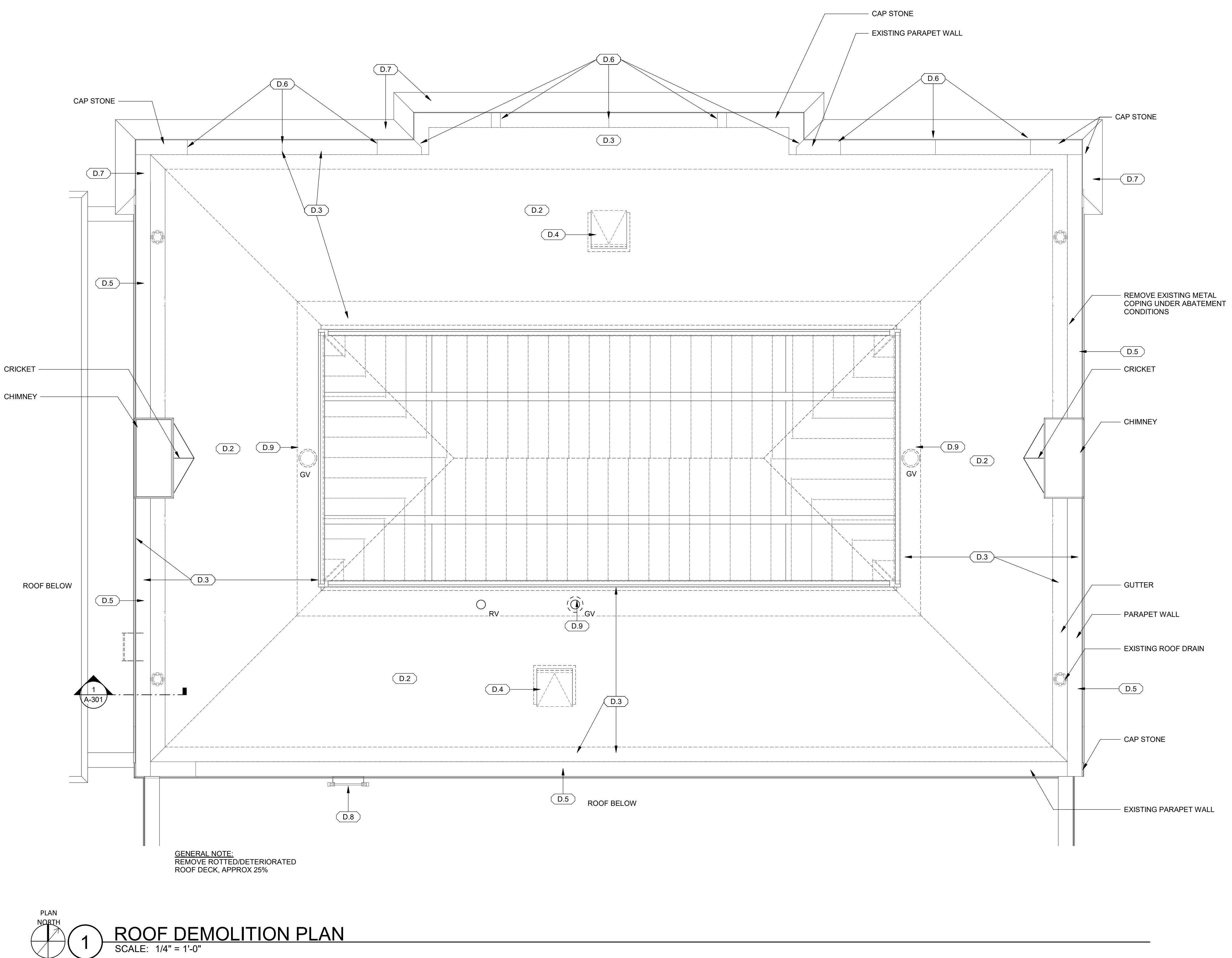
Project Number: 22029

Drawn By: SLB
Designed By: EFO
Reviewed By: --

no. revision description by date

ARCHITECTURE
DEMOLITION PLAN

AD101



GENERAL NOTE
REMOVE ROTTED/DETERIORATED ROOF DECK, APPROX 25%

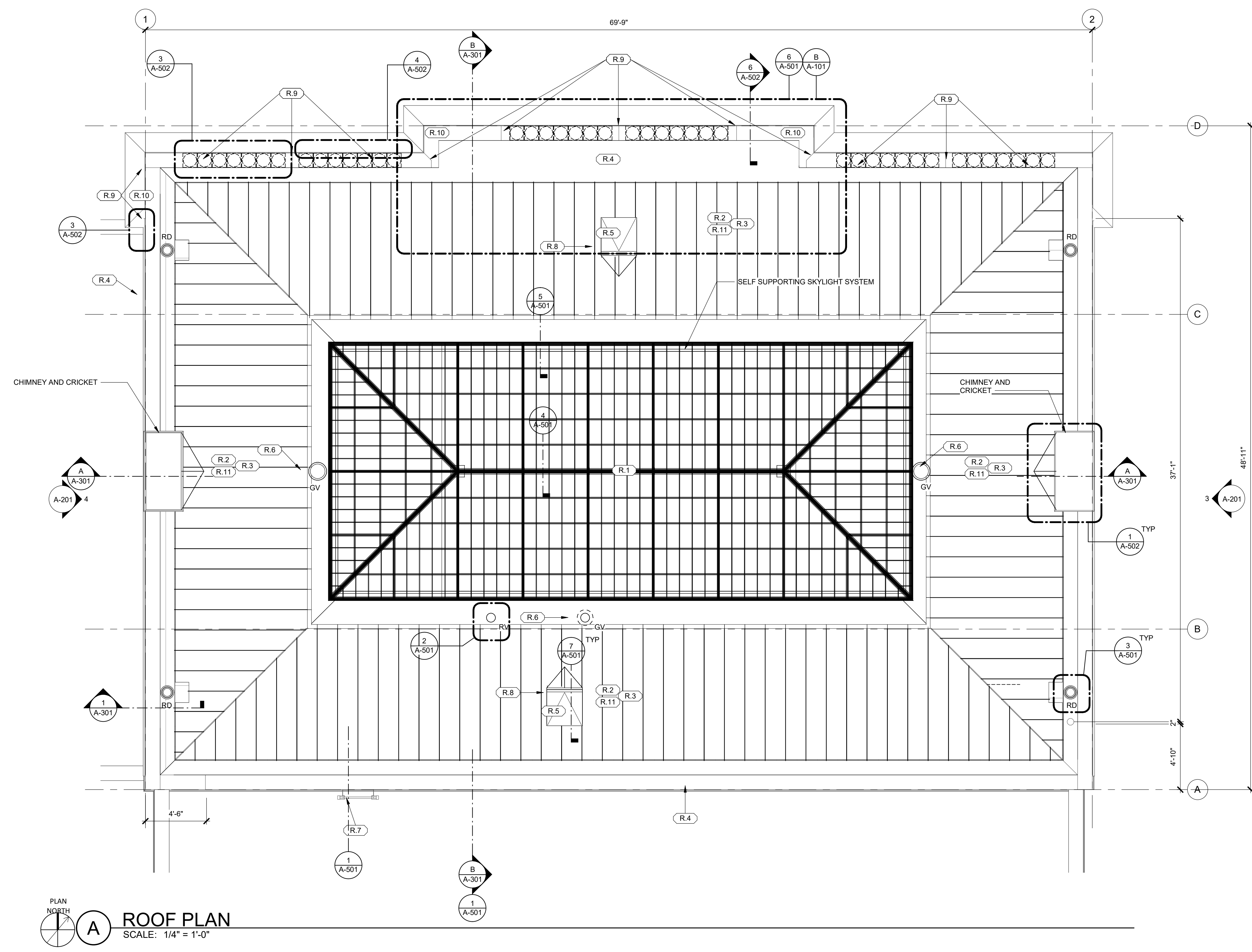
PLAN NORTH
1 ROOF DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

- ### GENERAL ABATEMENT NOTES
- 1 THE SILVER ROOF COATING LOCATED ON METAL ROOFING AND THE PARAPET WALL CONTAINS CONCENTRATION OF LEAD ABOVE U.S. EPA STANDARDS FOR LEAD-BASED PAINT. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH OSHA 29 CFR 1926.62 LEAD EXPOSURE IN CONSTRUCTION FOR ALL ACTIVITIES WHICH AN EMPLOYEE MAY BE OCCUPATIONALLY EXPOSED TO LEAD. ALL CONTRACTORS SHALL ENSURE THAT THEIR EMPLOYEES WEAR PROPER PERSONAL PROTECTION EQUIPMENT AND/OR UTILIZE APPROPRIATE WORK METHODS TO PREVENT ELEVATED BLOOD LEAD LEVELS OR EXPOSURE ABOVE THE PERMISSIBLE EXPOSURE LIMIT.
 - 2 COORDINATE WITH OWNER'S REPRESENTATIVE REGARDING SCHEDULE AND PHASING.
 - 3 PERSONNEL TRANSPORT ROUTE, DECONTAMINATION AREA, AND WASTE STORAGE AREA SHALL BE COORDINATED AND APPROVED BY THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - 4 PROVIDE ALL NECESSARY POLYETHYLENE DROP CLOTHS, DUST BARRIERS, AND CONTAINMENT STRUCTURES TO PREVENT THE SPREAD OF DUST FROM WORK AREA AND PREVENT EXPOSURE TO THE PUBLIC AND ENVIRONMENT.
 - 5 KEEP THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNAUTHORIZED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
 - 6 CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS IN A SECURE AND WEATHER TIGHT CONDITION AT ALL TIMES DURING PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDING AS A RESULT OF INADEQUATE TEMPORARY PROTECTION OR SECURITY.
 - 7 FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ACTUAL LOCATION AND EXTENT OF ASBESTOS/LEAD-CONTAINING MATERIALS PRIOR TO BID.
 - 8 DESIGN IS BASED ON A LIMITED PRE-RENOVATION HAZARDOUS MATERIALS ROOFING SURVEY CONDUCTED BY ADIRONDAK OPERATIONS.

- ### ASBESTOS ABATEMENT NOTES
1. PERFORM ASBESTOS ABATEMENT WORK IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 56 (12 NYCRR PART 56) AND OTHER APPLICABLE REGULATIONS.
 2. ASBESTOS ABATEMENT WORK INCLUDES REMOVAL AND DISPOSAL OF THE FOLLOWING ASBESTOS-CONTAINING MATERIALS:
 - A. BLACK PATCH TAR LOCATED ON CRACKING SILVER ROOF COATING AND PARAPET WALL THROUGHOUT THE WORK AREA.
 - B. SILVER ROOF COATING LOCATED ON METAL ROOFING AND PARAPET WALL THROUGHOUT THE WORK AREA.
 - C. BLACK PATCH SEALANT AT MASONRY PARAPET WALL CRACK LOCATIONS.
 - D. SILVER/BLACK SEALANT AT AND UNDER COPING ON PARAPET KNEE WALL.
 - E. ASSUMED ASBESTOS-CONTAINING PLASTER AT ENTRY CEILING.
 3. REMOVE ALL ASBESTOS-CONTAINING TAR, SEALANTS, AND COATINGS TO CLEAN MASONRY/STONE SUBSTRATE WITHOUT DAMAGING SUBSTRATE.
 4. DO NOT ALLOW ASBESTOS-CONTAINING ROOFING MATERIALS TO FALL/MIGRATE WITHIN THE INTERIOR OF THE BUILDING.
 5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY/ALL VARIANCES FROM THE CODE RULE 56, WHICH ARE DESIRED OR NECESSARY TO PERFORM THE WORK. ALL VARIANCES MUST BE OBTAINED IN A TIMELY MANNER SO AS NOT TO DISTURB THE SCHEDULE OF WORK.
 6. ALL ASBESTOS-CONTAINING MATERIAL SHALL BE PROPERLY PACKAGED PRIOR TO BEING REMOVED FROM THE WORK AREA(S). ASBESTOS WARNING LABELS SHALL BE APPLIED TO THE ASBESTOS WASTE BAGS. ALL ASBESTOS MATERIALS THAT ARE REMOVED FROM THE WORK AREA(S) SHALL BE ACCOMPLISHED BY A WASTE SHIPMENT RECORD.

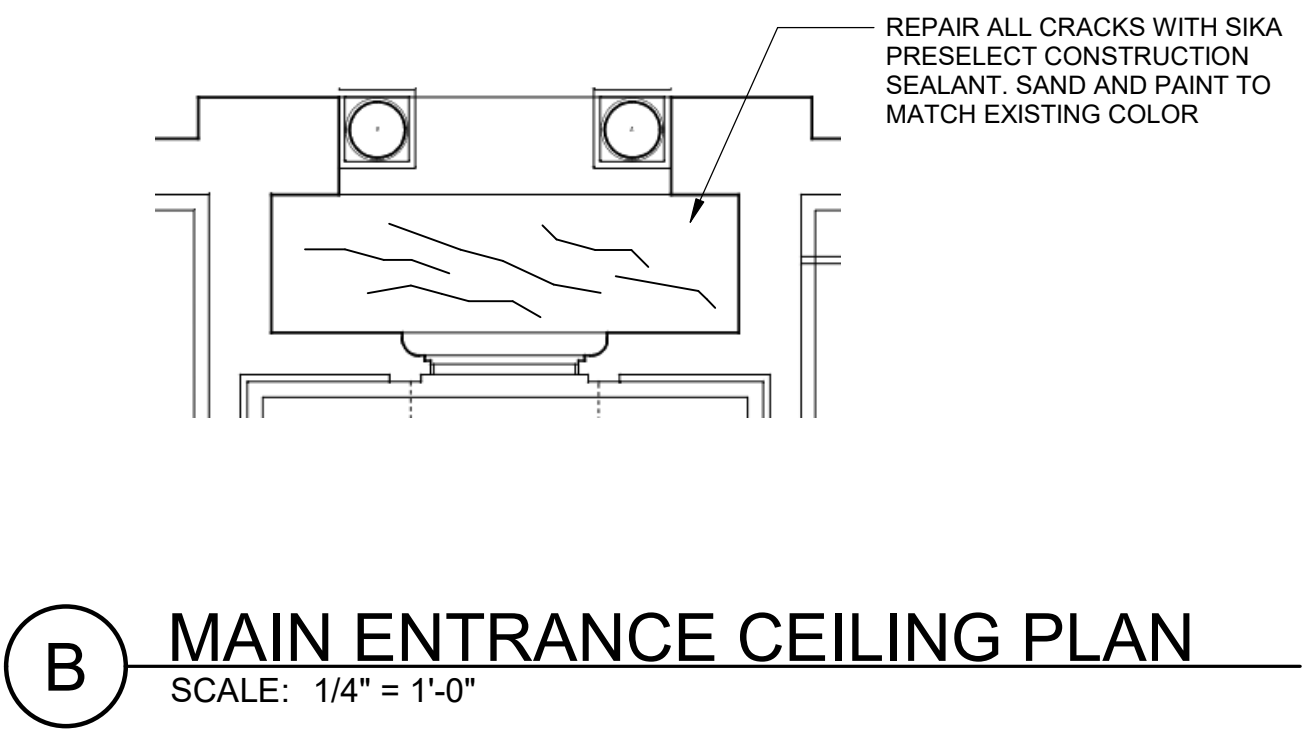
KEYED NOTES	
KEYED NOTES LOCATED WITHIN A SPACE SHALL APPLY THROUGHOUT THE SPACE UNLESS OTHERWISE INDICATED.	
NO.	DESCRIPTION
R.1	PROVIDE SELF-SUPPORTING TRANSLUCENT SKYLIGHT SYSTEM
R.2	PROVIDE COMPOSITE INSULATION SYSTEM OVER ICE AND WATER SHIELD SCREWED TO WOOD DECK
R.3	PROVIDE STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD
R.4	PROVIDE FULLY ADHERED PVC MEMBRANE FLASHING 3'-0" UP SLOPED SIDE OF ROOF AND UNDER COUNTER FLASHING AND METAL COPING
R.5	REINSTALL EXISTING ROOF HATCH PER DETAIL 7/A-501
R.6	PROVIDE GRAVITY VENTS TO MATCH EXISTING
R.7	PROVIDE NEW LADDER. REFER TO LADDER DETAIL 1/A-501
R.8	PROVIDE NEW CRICKET
R.9	PROVIDE BACKER ROD AND CAULK STONE JOINTS
R.10	PRESSURE WASH STONE CAP AND SIDES
R.11	REPLACE 25% WOOD PLANK ROOF DECK

GENERAL ROOFING NOTES	
A	EXISTING CONDITIONS - INFORMATION SHOWN PERTAINING TO EXISTING CONDITIONS IS BASED ON VISUAL INSPECTION AND EXISTING CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER. ANY DISCREPANCIES DISCOVERED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. DESCRIPTIONS AND DETAILS OF EXISTING CONDITIONS MAY VARY FROM THOSE INDICATED.
B	EXISTING EQUIPMENT - ALL EXISTING ROOF PENETRATIONS, EQUIPMENT AND ACCESSORIES ARE "EXISTING TO REMAIN" UNLESS INDICATED OTHERWISE. FIELD VERIFY COMPATIBILITY OF ANY NEW EQUIPMENT SIZES WITH THE EXISTING OPENINGS - NOTIFY ARCHITECT OF ANY DISCREPANCIES.
C	FIELD VERIFICATION - THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE EXTENT OF THE WORK PRIOR TO SUBMISSION OF A BID.
D	PROTECTION - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO PROTECT THE ADJACENT ROOF SURFACES. ADJACENT ROOF SURFACES MAY CURRENTLY BE UNDER A MANUFACTURER'S WARRANTY - THE CONTRACTOR SHALL VERIFY CONDITIONS. ANY WORK DONE AFFECTING ADJACENT SURFACES SHALL BE BY AUTHORIZED PERSONNEL USING MATERIALS AND METHODS ACCEPTABLE BY THE WARRANTOR. OBTAIN APPROVALS, INSPECTIONS AND DOCUMENTATION AS NECESSARY TO SUBSTANTIATE ACCEPTANCE.
E	DECK INSPECTION - WHERE THE SCOPE OF WORK INVOLVES THE TOTAL REMOVAL OF THE EXISTING ROOF SYSTEM TO THE EXISTING DECK, THE CONTRACTOR SHALL INSPECT THE DECK WHEN EXPOSED FOR DISTRESS OR DETERIORATION. IF DISTRESS OF DETERIORATION IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER'S REPRESENTATIVE. ASSUME 25% OF WOOD ROOF DECK WILL NEED TO BE REPLACED.
F	LOADING - THE CONTRACTOR SHALL AVOID EXCESSIVE LOADING OF THE BUILDING ELEMENTS WHEN PLACING AND HANDLING ROOFING MATERIALS AND EQUIPMENT. ROOF LOADING DURING CONSTRUCTION SHOULD NOT EXCEED THE STRUCTURAL DESIGN LOAD OF 55 POUNDS PER SQUARE FOOT.
G	ROOF DRAINS - EXISTING ROOF DRAINS ARE TO REMAIN UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PROVIDE NEW MATCHING CLAMPS, BOLTS AND/OR STRAINERS WHERE THE EXISTING ARE MISSING OR DAMAGED. THE CONTRACTOR (ALONG WITH OWNER'S PROJECT REPRESENTATIVE) SHALL INSPECT ALL ROOF DRAIN LEADERS TO CONFIRM POSITIVE WATER FLOW PRIOR TO THE START OF WORK AND FOLLOWING THE COMPLETION OF THE WORK.
H	PLUMBING VENTS - EXISTING PLUMBING VENTS/ STACKS THAT WILL NOT EXTEND A MINIMUM OF 1'-0" ABOVE THE HEIGHT OF THE NEW ROOF SYSTEM SHALL BE EXTENDED AS PART OF THE WORK. COORDINATE MATERIALS WITH THE ARCHITECT PRIOR TO EXECUTION.
I	INSULATION CRICKETS - THE CONTRACTOR SHALL PROVIDE CRICKETS BEHIND ALL OBSTRUCTIONS TO WATER FLOW WHICH ARE WIDER THAN TWO FEET. BACK SLOPES OF CRICKETS SHALL BE TWICE THAT OF THE ADJACENT ROOF SLOPE.
J	CURB BLOCKING - THE CONTRACTOR SHALL REMOVE WITH CARE ALL EXISTING ROOF HATCHES, MECHANICAL VENTILATORS, SKYLIGHTS, ETC. AND RAISE THE ASSOCIATED CURBS OF EQUIPMENT TO BE REINSTALLED ON NEW WOOD BLOCKING AS DETAILED. MODIFY THICKNESSES SO THE NEW BLOCKING MATCHES THE HEIGHT OF THE NEW INSTALLATION. (ADJUST AS NECESSARY TO ACCOMMODATE TAPERED INSULATION). THE TOP OF ALL CURBS SHALL BE A MINIMUM OF 1/2" ABOVE THE NEW ROOF SURFACE. WHERE NECESSARY, THE WORK SHALL INCLUDE EXTENDING ELECTRICAL WIRING, CONTROLS, ETC. BY A LICENSED ELECTRICIAN.
K	DEWATERING - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF STANDING WATER ON THE ROOF AS REQUIRED TO PERFORM THE WORK.
L	SKYLIGHTS - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY WORK TO MAINTAIN, EXTEND AND/OR REPAIR ANY EXISTING INTERIOR SKYLIGHT LIGHT WELLS/ SOFFIT FINISHES WHICH ARE AFFECTED BY THE WORK. PATCH TO MATCH BY QUALIFIED TRADE.
M	REPLACE 25% OF ROTTED ROOF DECK TO MATCH EXISTING
N	REFER TO DRAWINGS A-501 AND A-502 FOR ROOF PHOTOS

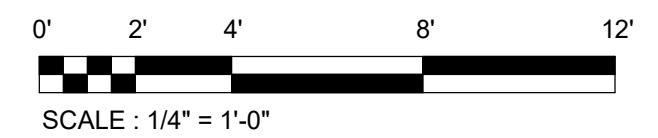


PLAN NORTH
A ROOF PLAN
 SCALE: 1/4" = 1'-0"

- GENERAL ABATEMENT NOTES**
- 1 THE SILVER ROOF COATING LOCATED ON METAL ROOFING AND THE PARAPET WALL CONTAINS CONCENTRATION OF LEAD ABOVE U.S. EPA STANDARDS FOR LEAD-BASED PAINT. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH OSHA 29 CFR 1926.62 LEAD EXPOSURE IN CONSTRUCTION FOR ALL ACTIVITIES WHICH AN EMPLOYEE MAY BE OCCUPATIONALLY EXPOSED TO LEAD. ALL CONTRACTORS SHALL ENSURE THAT THEIR EMPLOYEES WEAR PROPER PERSONAL PROTECTION EQUIPMENT AND/OR UTILIZE APPROPRIATE WORK METHODS TO PREVENT ELEVATED BLOOD LEAD LEVELS OR EXPOSURE ABOVE THE PERMISSIBLE EXPOSURE LIMIT.
 - 2 COORDINATE WITH OWNER'S REPRESENTATIVE REGARDING SCHEDULE AND PHASING.
 - 3 PERSONNEL TRANSPORT ROUTE, DECONTAMINATION AREA, AND WASTE STORAGE AREA SHALL BE COORDINATED AND APPROVED BY THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - 4 PROVIDE ALL NECESSARY POLYETHYLENE DROP CLOTHS, DUST BARRIERS, AND CONTAINMENT STRUCTURES TO PREVENT THE SPREAD OF DUST FROM WORK AREA AND PREVENT EXPOSURE TO THE PUBLIC AND ENVIRONMENT.
 - 5 KEEP THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNCERTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
 - 6 CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION TO KEEP THE WORK AREAS IN A SECURE AND WEATHER TIGHT CONDITION AT ALL TIMES DURING PERFORMANCE OF THE CONTRACT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY AREAS OF THE BUILDING AS A RESULT OF INADEQUATE TEMPORARY PROTECTION OR SECURITY.
 - 7 FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ACTUAL LOCATION AND EXTENT OF ASBESTOS/LEAD-CONTAINING MATERIALS PRIOR TO BID.
 - 8 DESIGN IS BASED ON A LIMITED PRE-RENOVATION HAZARDOUS MATERIALS ROOFING SURVEY CONDUCTED BY ADIRONDACK OPERATIONS.

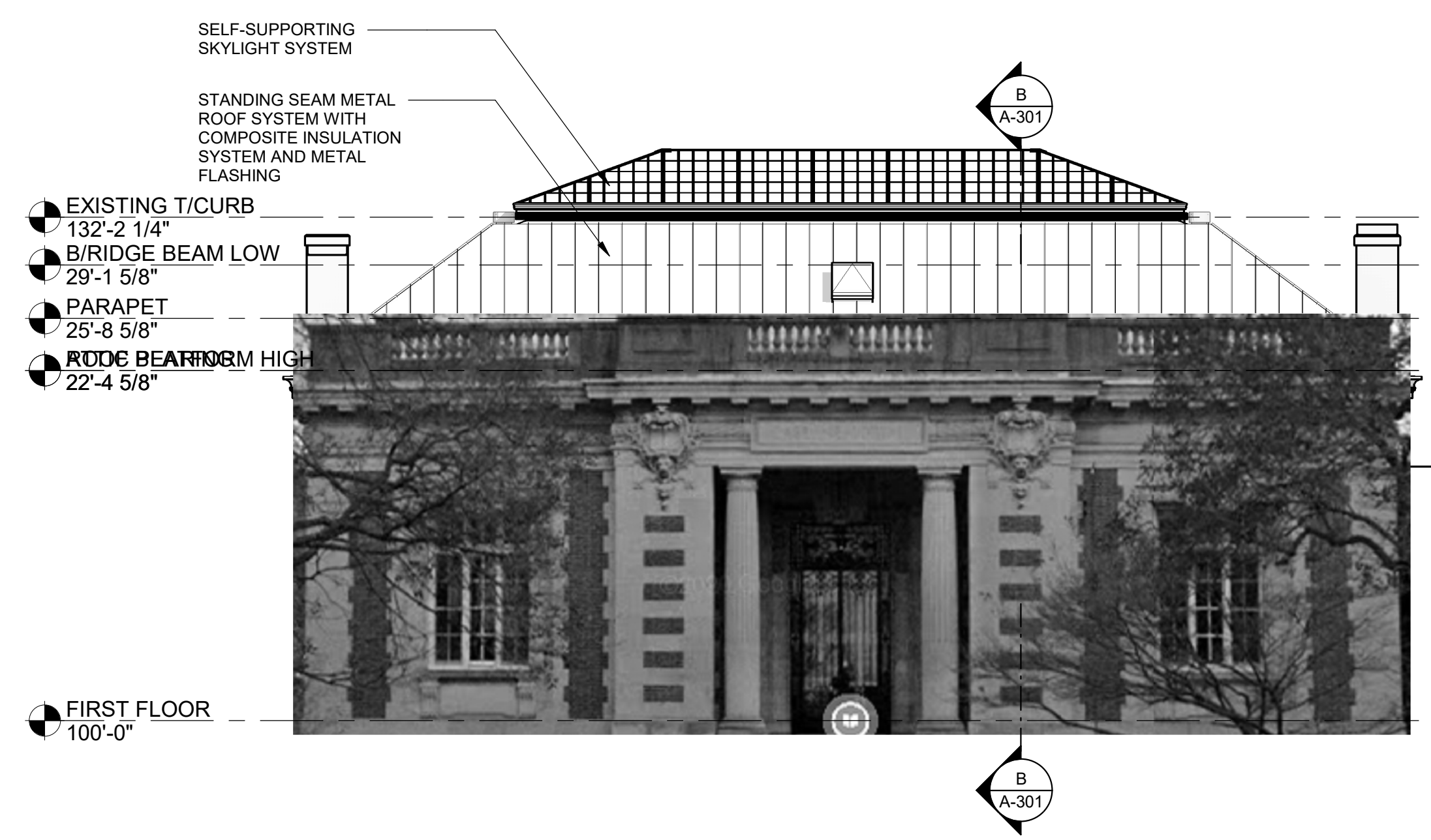


B MAIN ENTRANCE CEILING PLAN
 SCALE: 1/4" = 1'-0"

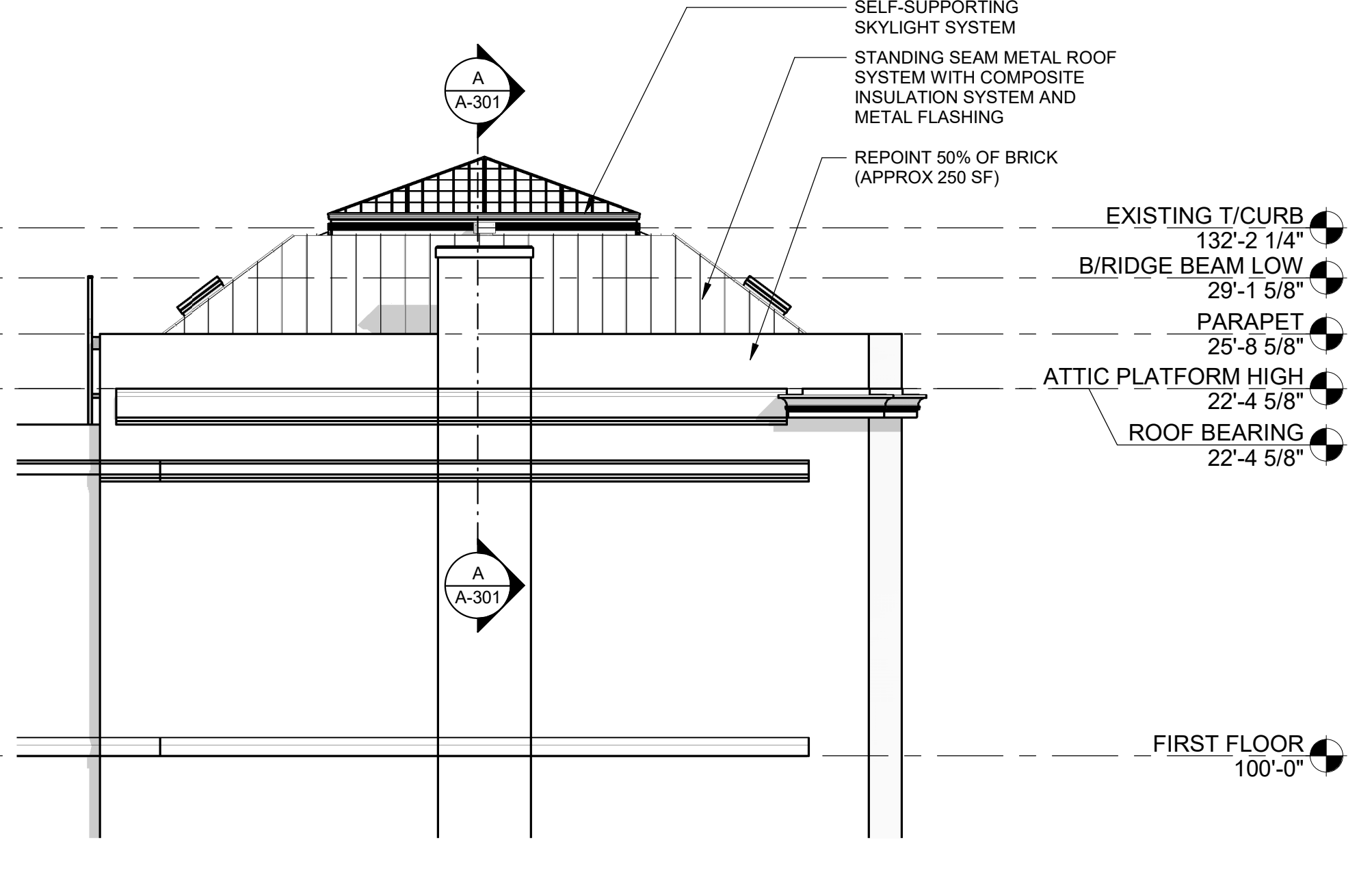


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	ROOF PLAN		

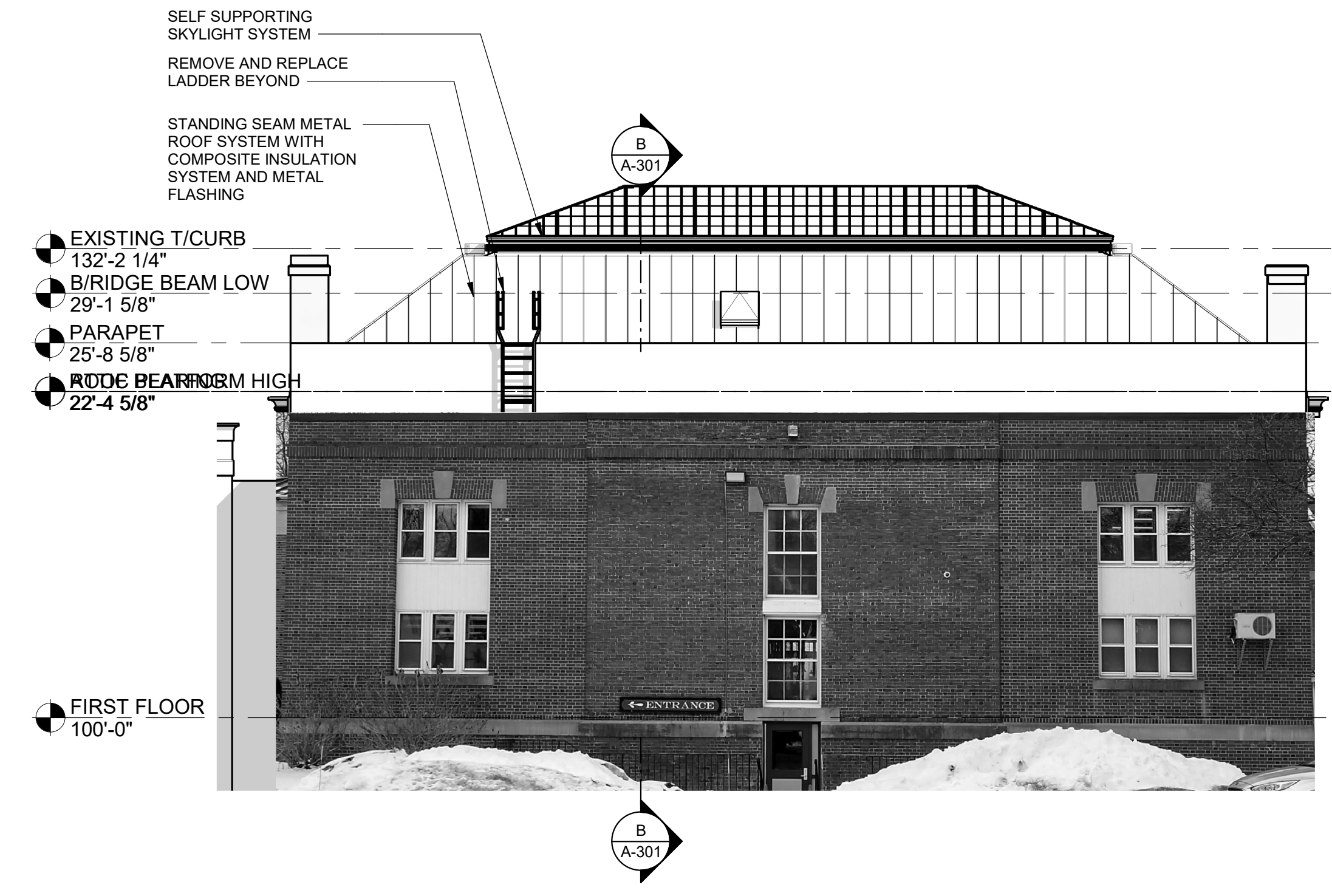
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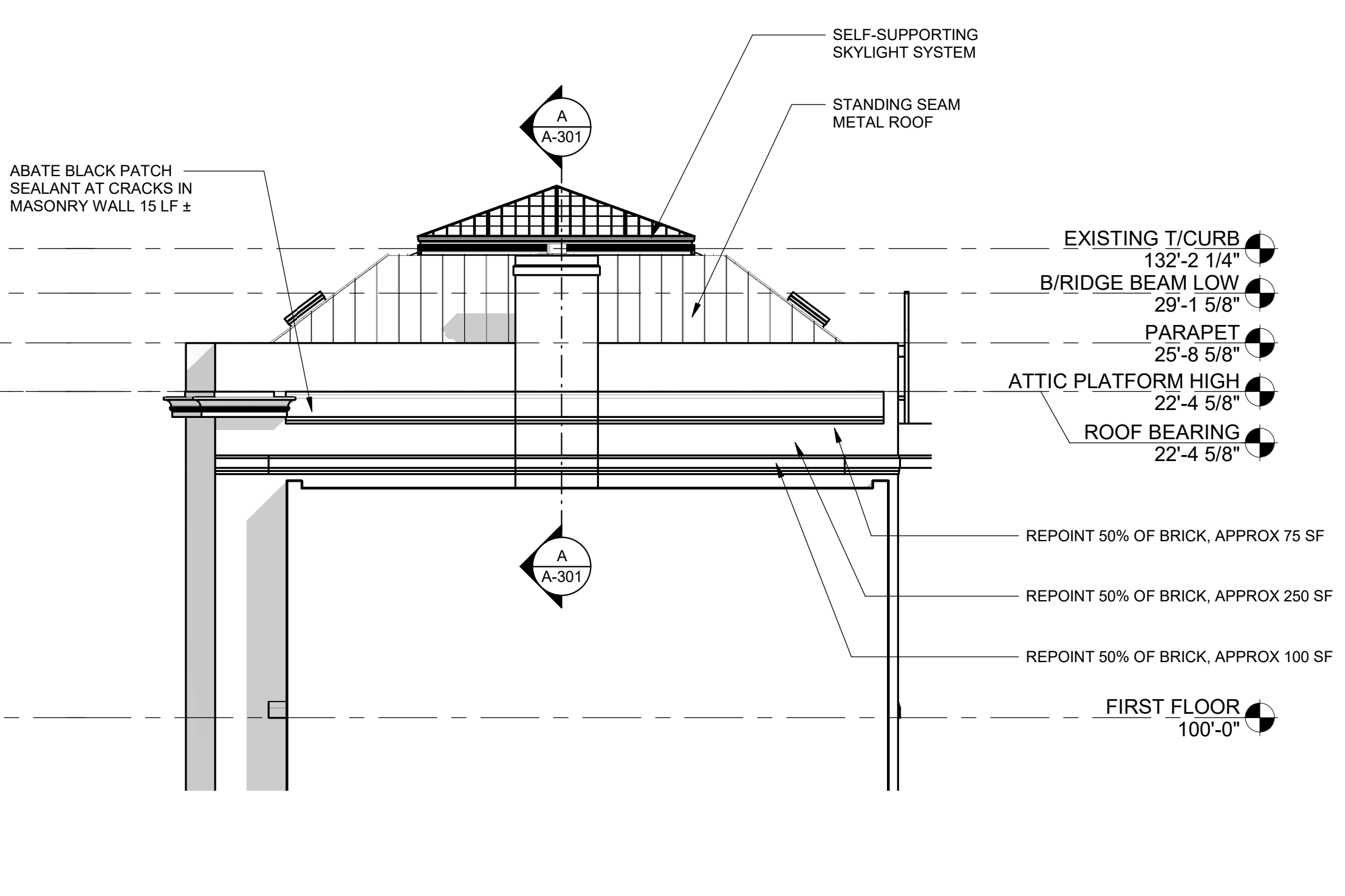
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



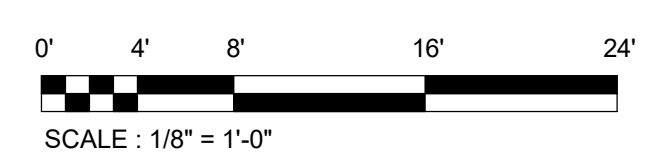
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

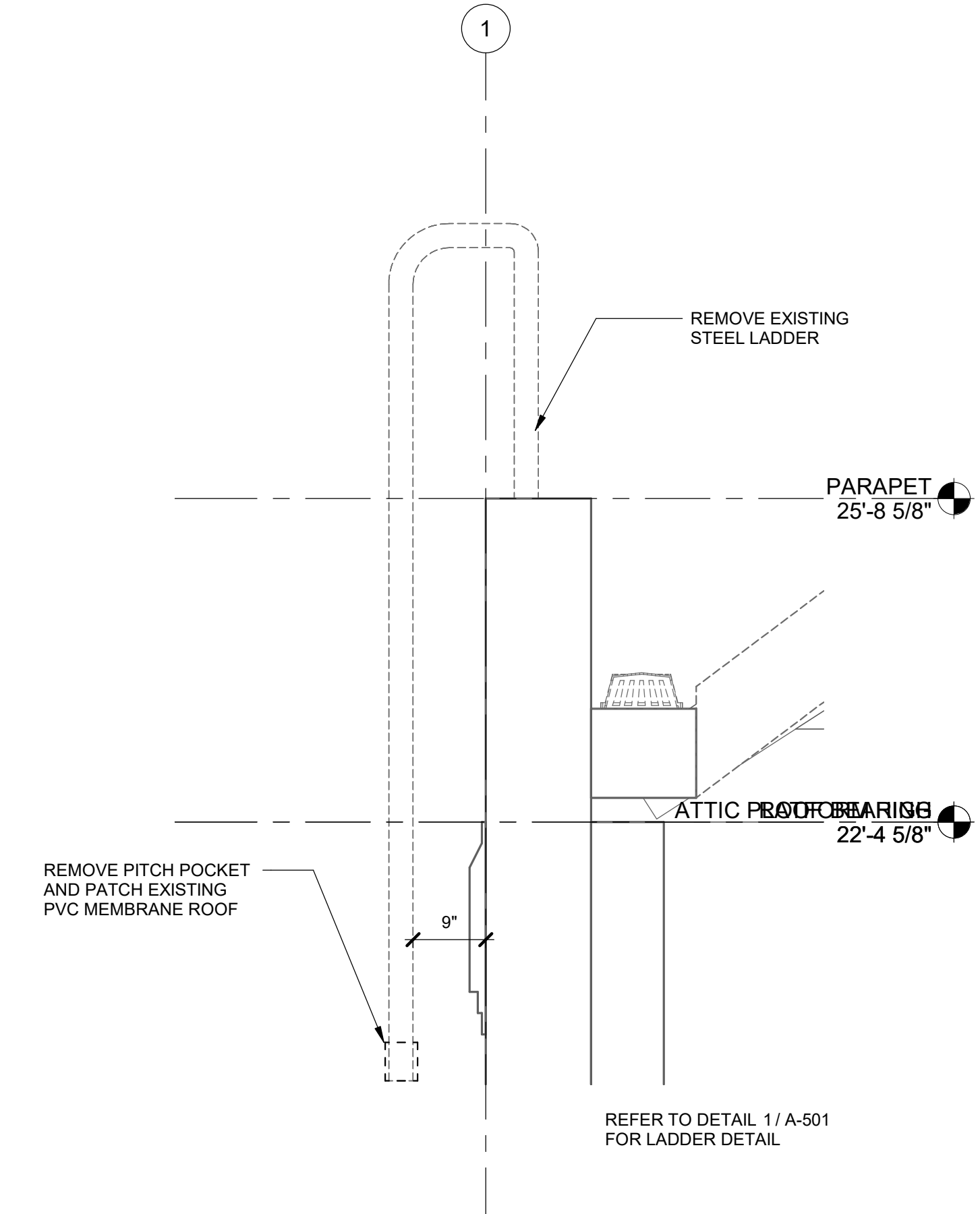
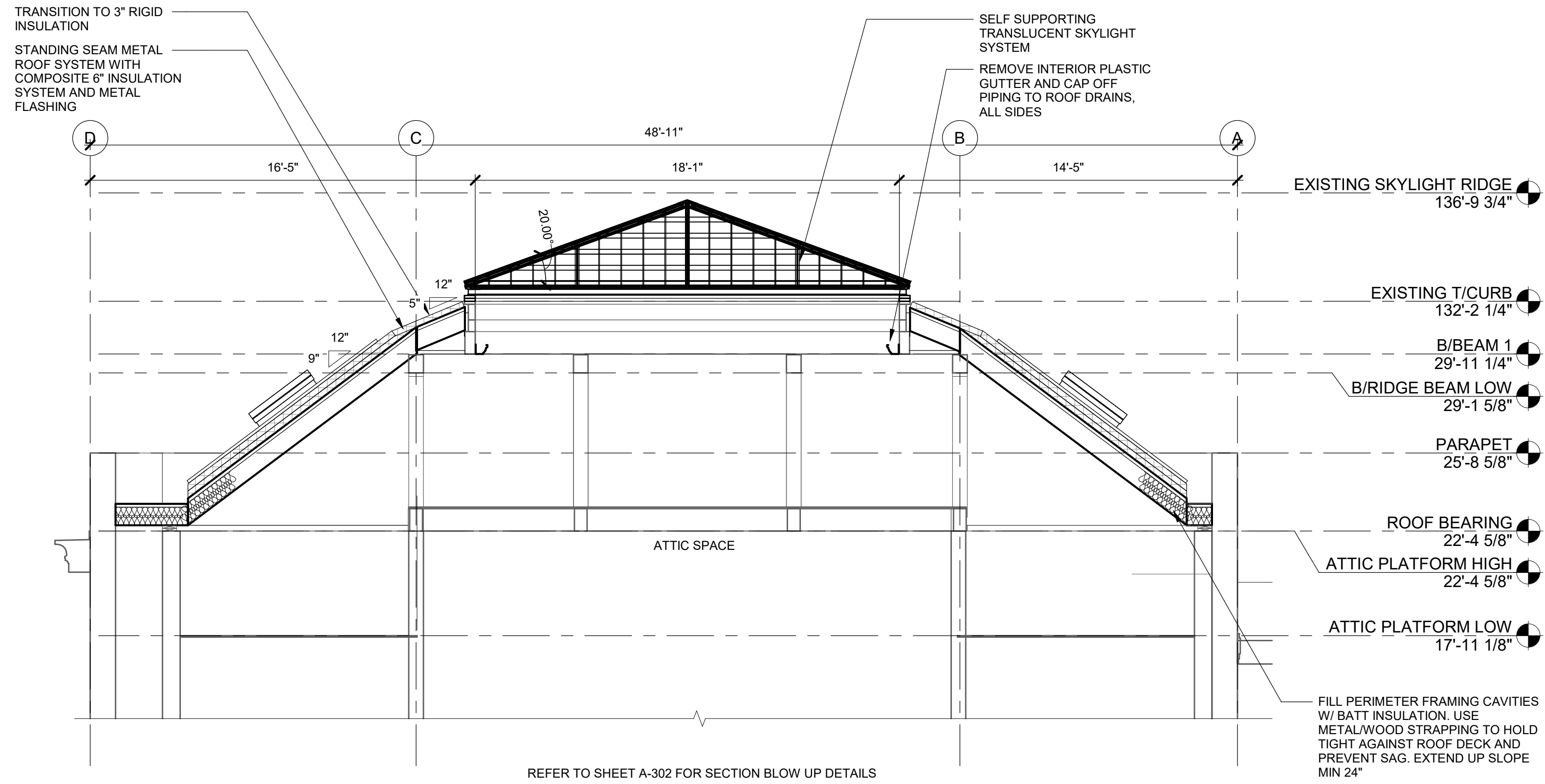
95% CONSTRUCTION DOCUMENTS
05.26.2022
Project Number: 22029
Drawn By: SLB
Designed By: EFO
Reviewed By: --

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	ARCHITECTURE		
	BUILDING ELEVATIONS		



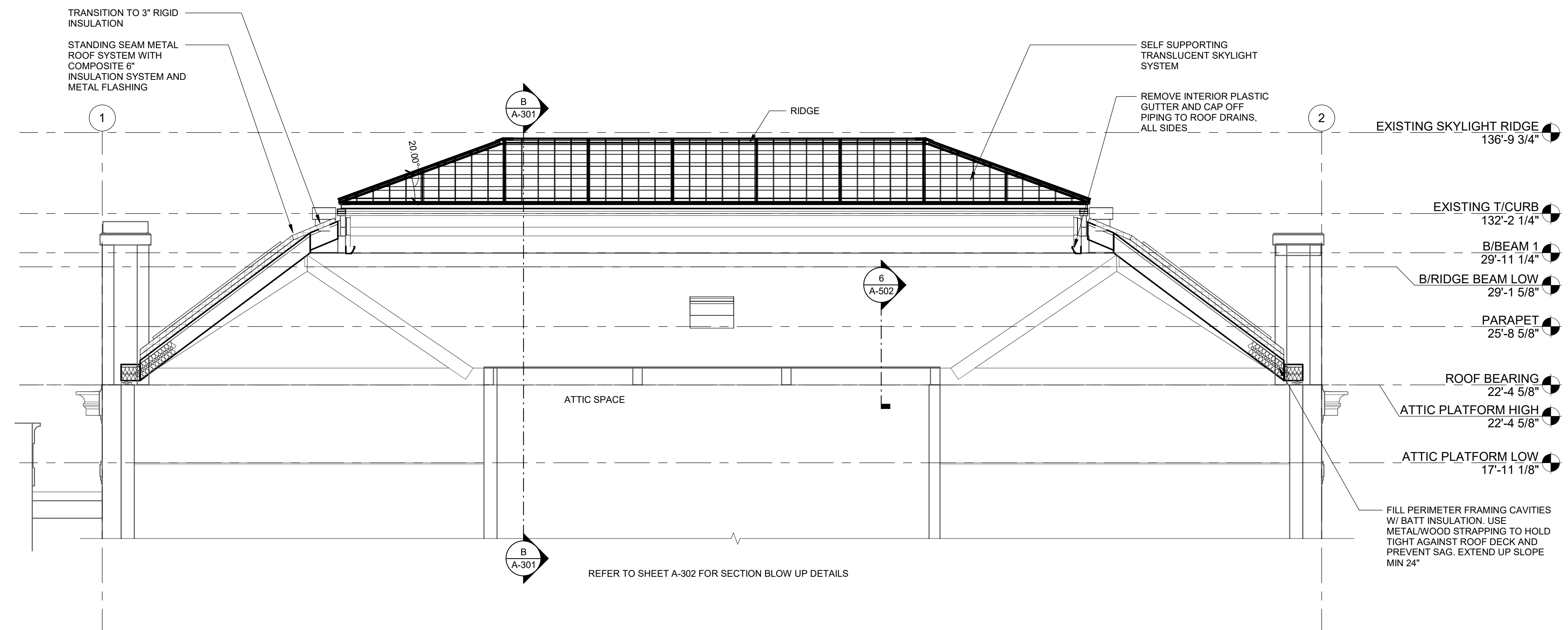
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Seymour Library Foundation
Seymour Library-Replace Roof & Skylight
176 Genesee St. Auburn, NY 13021

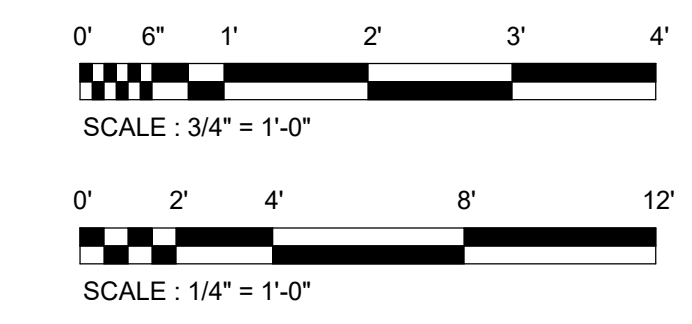


B TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"

1 SECTION THROUGH LADDER
SCALE: 3/4" = 1'-0"



A LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



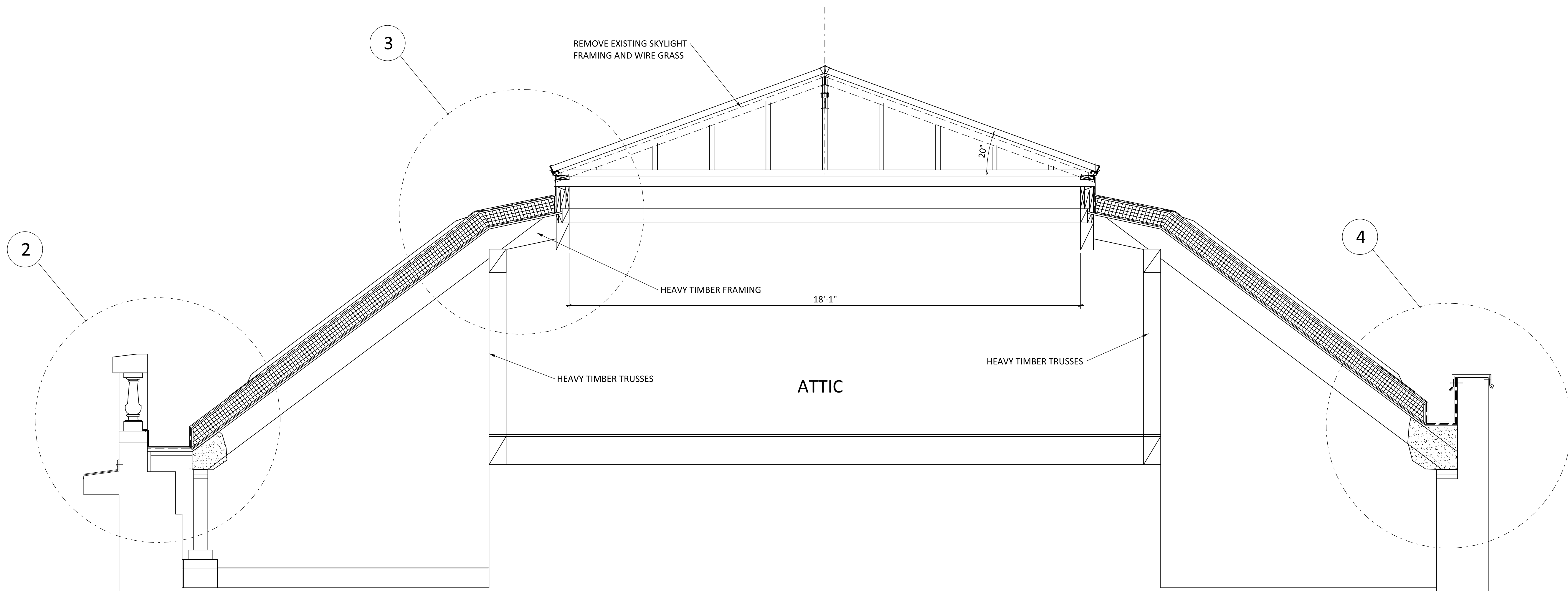
95% CONSTRUCTION
DOCUMENTS
05.26.2022
Project Number: 22029
Drawn By: SLB
Designed By: EFO
Reviewed By: --

no. revision description by date
ARCHITECTURE
BUILDING SECTIONS

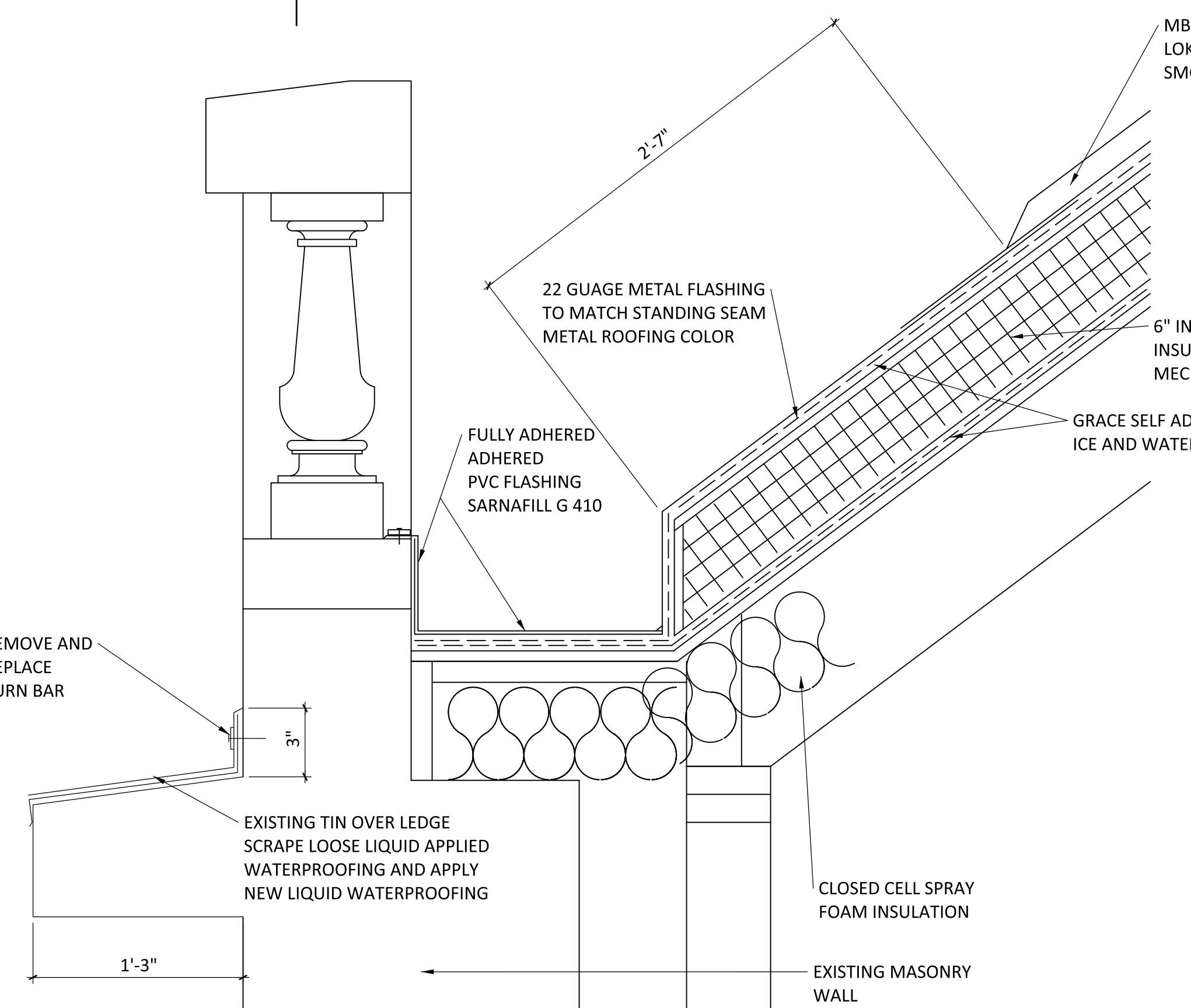
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Seymour Library Foundation
Seymour Library-Replace Roof & Skylight
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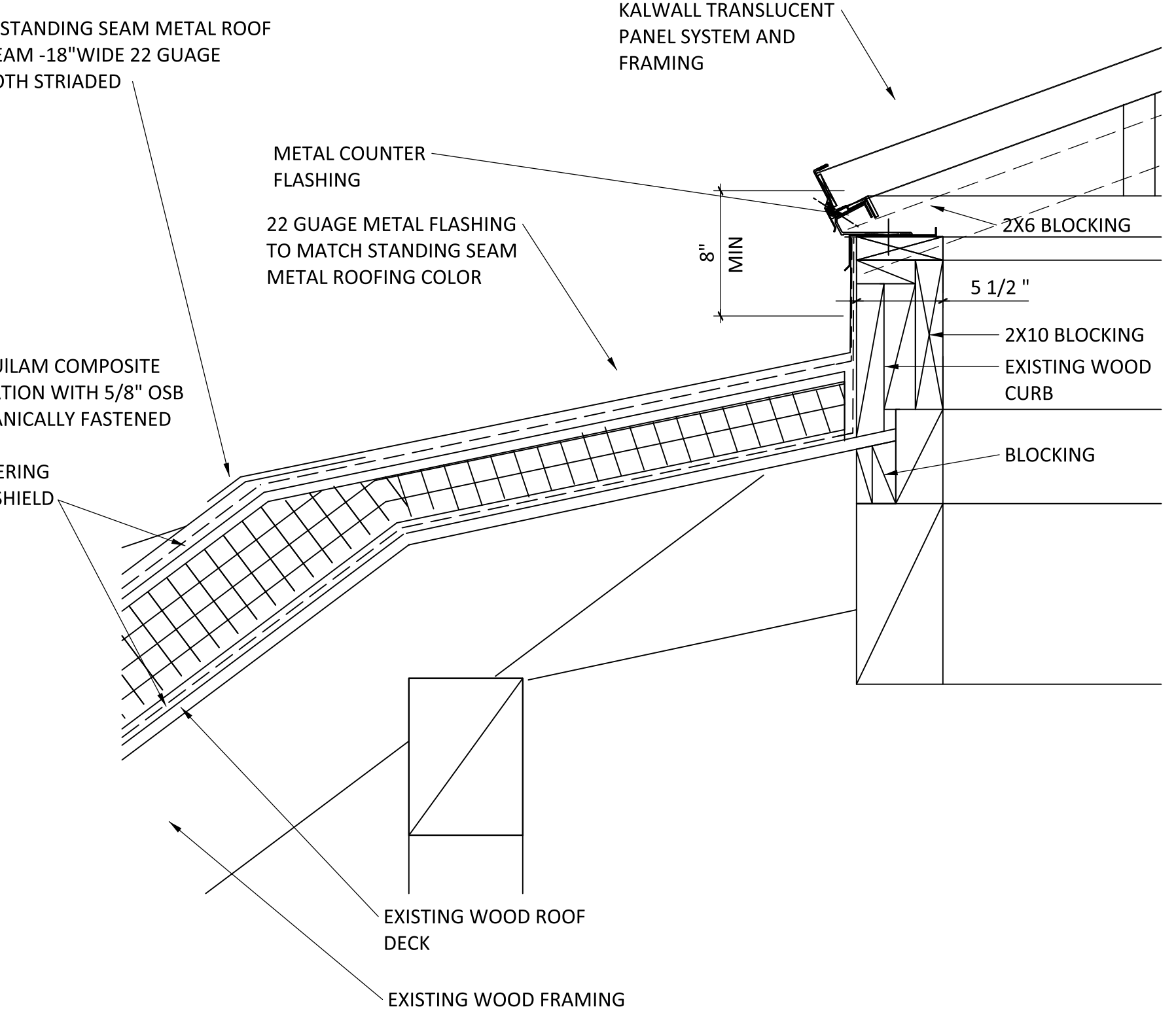
consultant or key plan



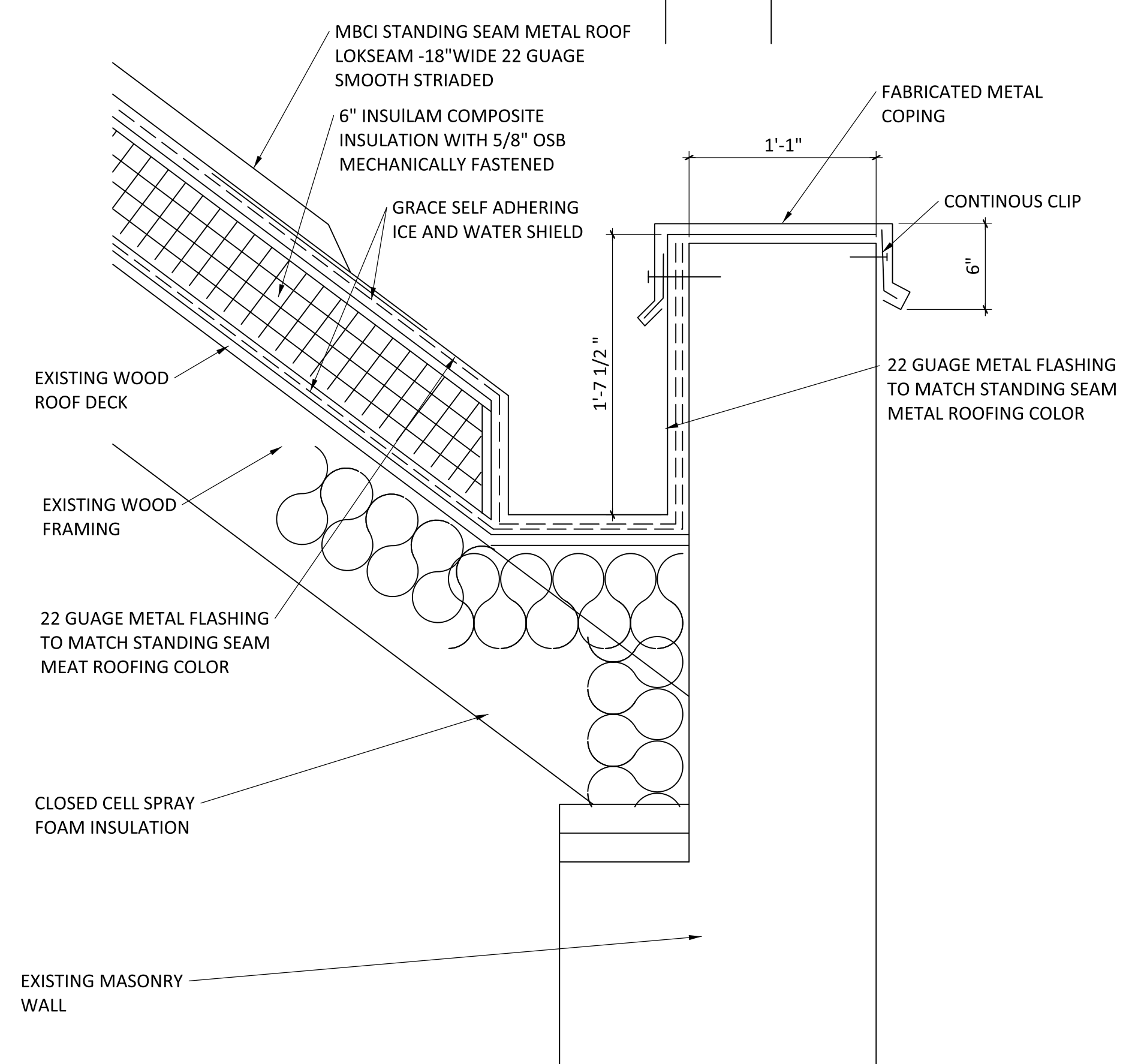
1 ROOF/SKYLIGHT SECTION
SCALE: 1/2"=1'-0"



2 NORTH FLASHING DETAIL
SCALE: 1 1/2"=1'-0"



3 SKYLIGHT CURB DETAIL
SCALE: 1 1/2"=1'-0"



4 CURB FLASHING DETAIL
SCALE: 1 1/2"=1'-0"

**SEYMOUR LIBRARY
SKYLIGHT - ROOF REPLACEMENT
176 GENESEE STREET
ALBURN N.Y. 13021**

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Any alterations to this document not
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State Education Law are strictly prohibited.

DESIGN DEVELOPMENT
2.24.2022

Project Number: 22029

Drawn By: EFO
Designed By: EFO
Reviewed By: EFO

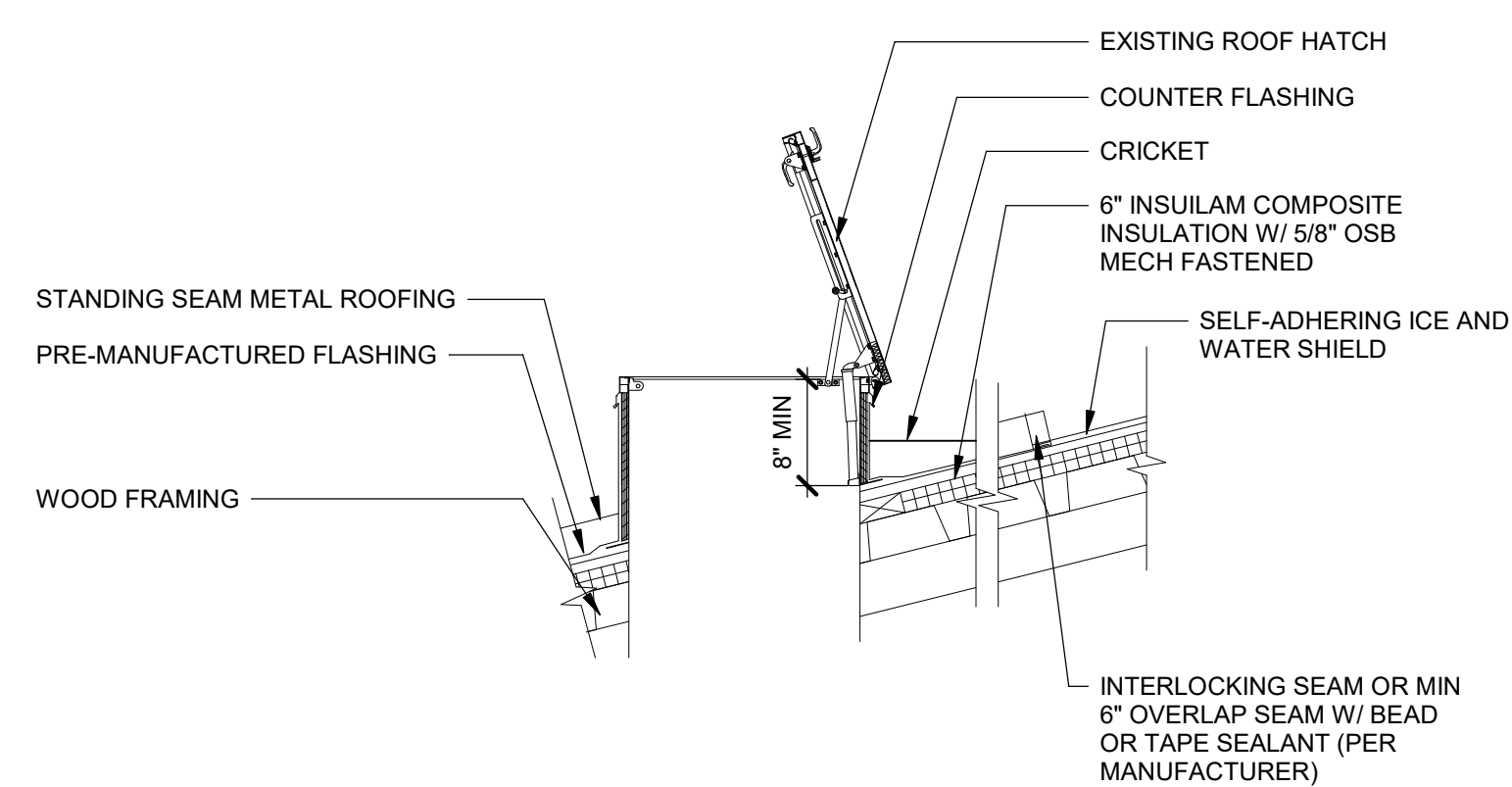
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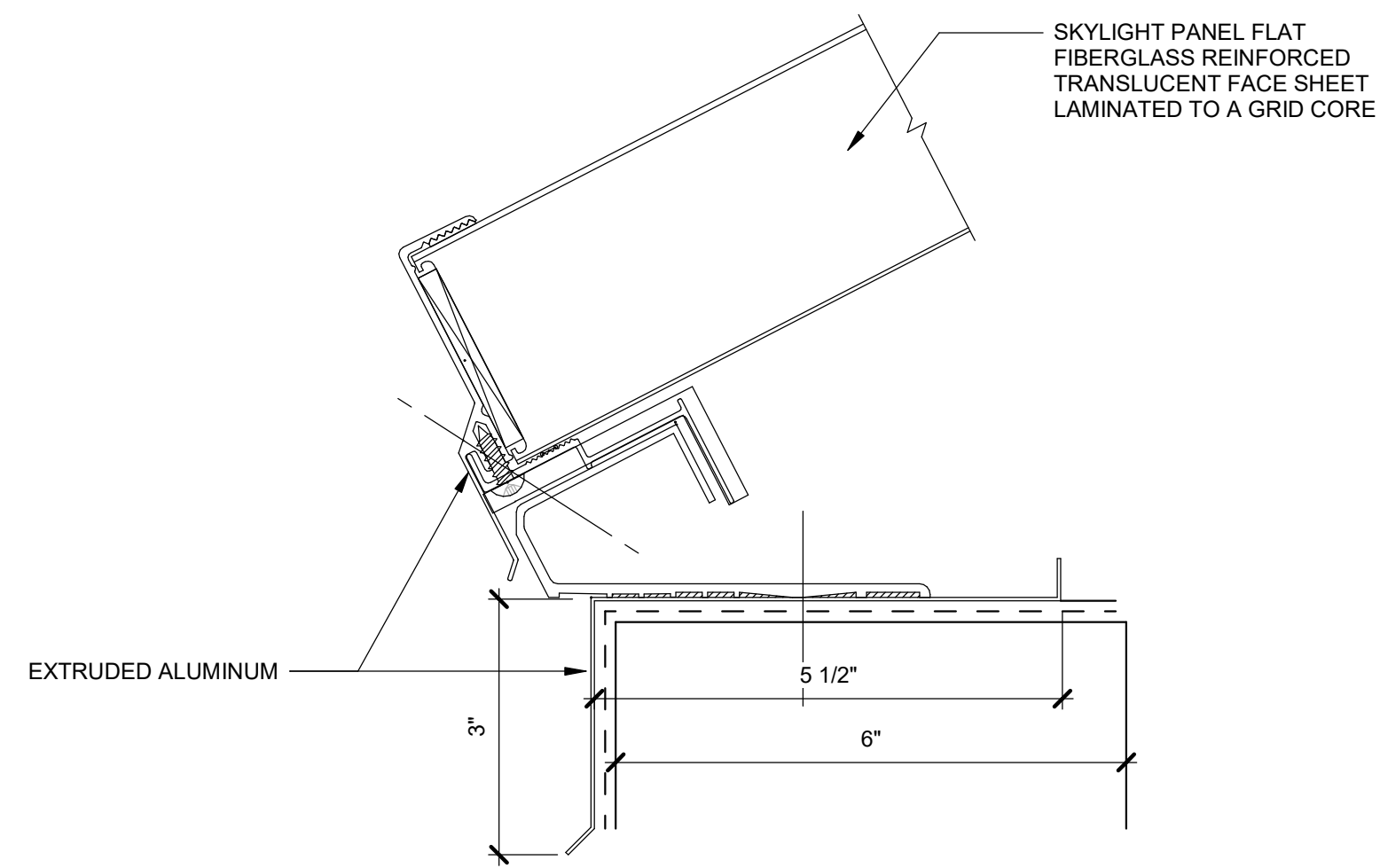
SKYLIGHT SECTION
AND DETAILS

A-302

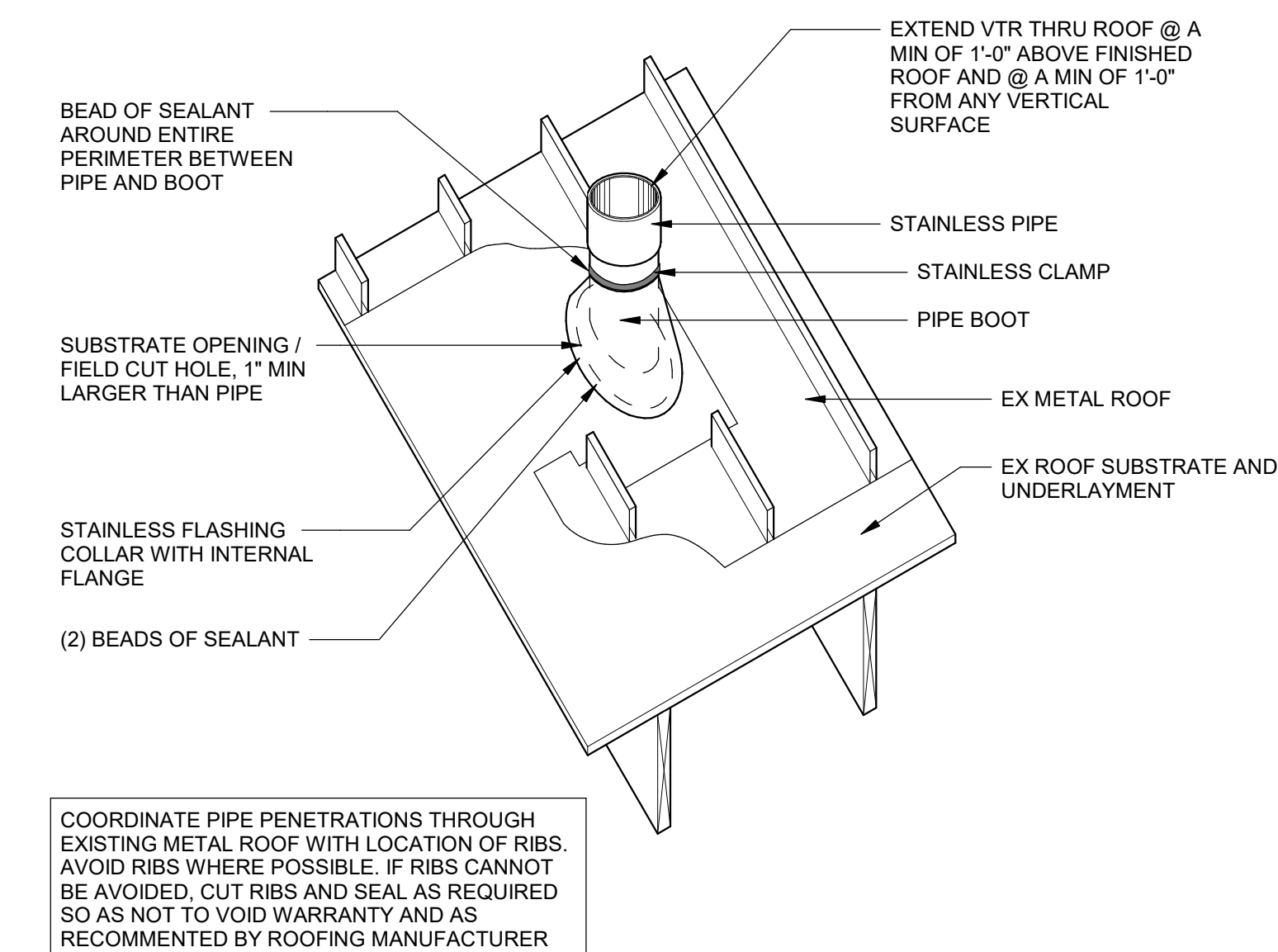
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7 ROOF HATCH DETAIL
SCALE: 1/4" = 1'-0"

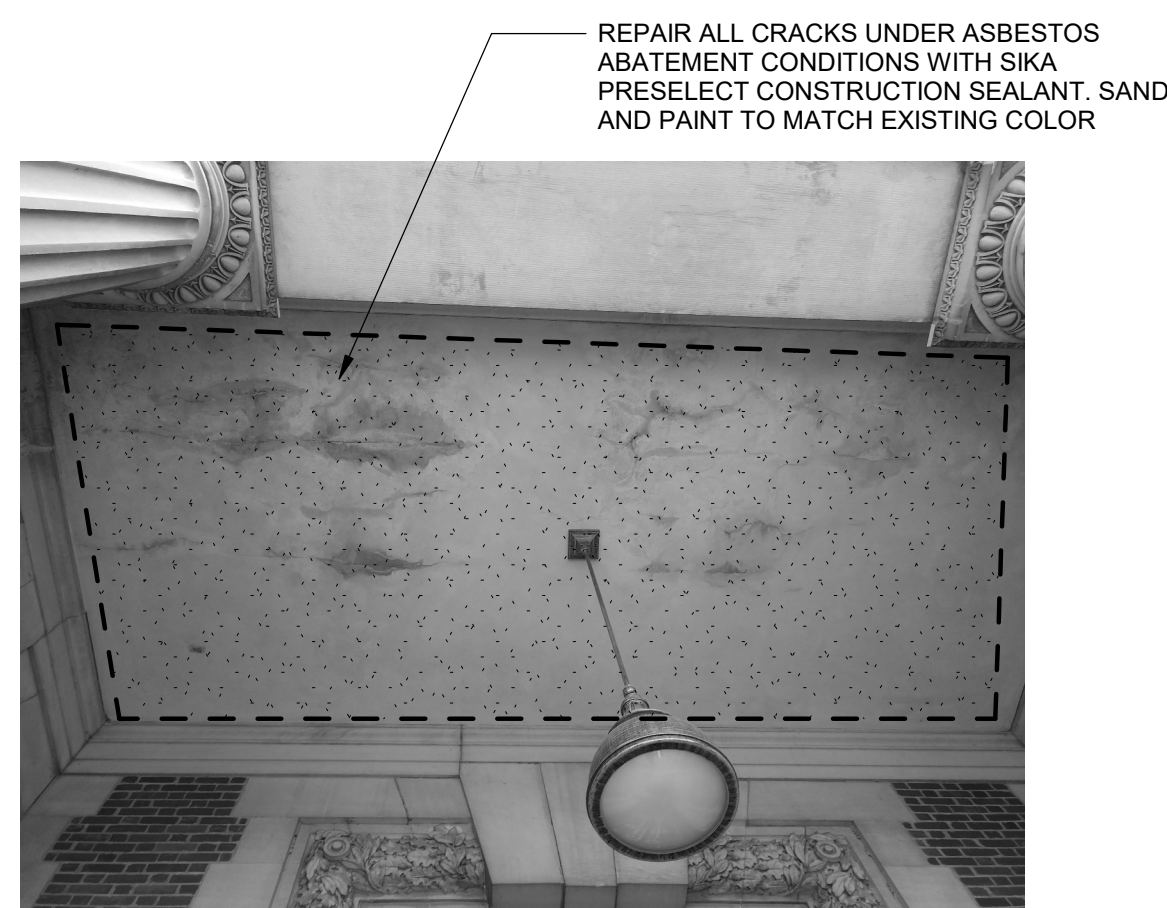


5 KALWALL SYSTEM SECTION DETAIL 2
SCALE: 6" = 1'-0"

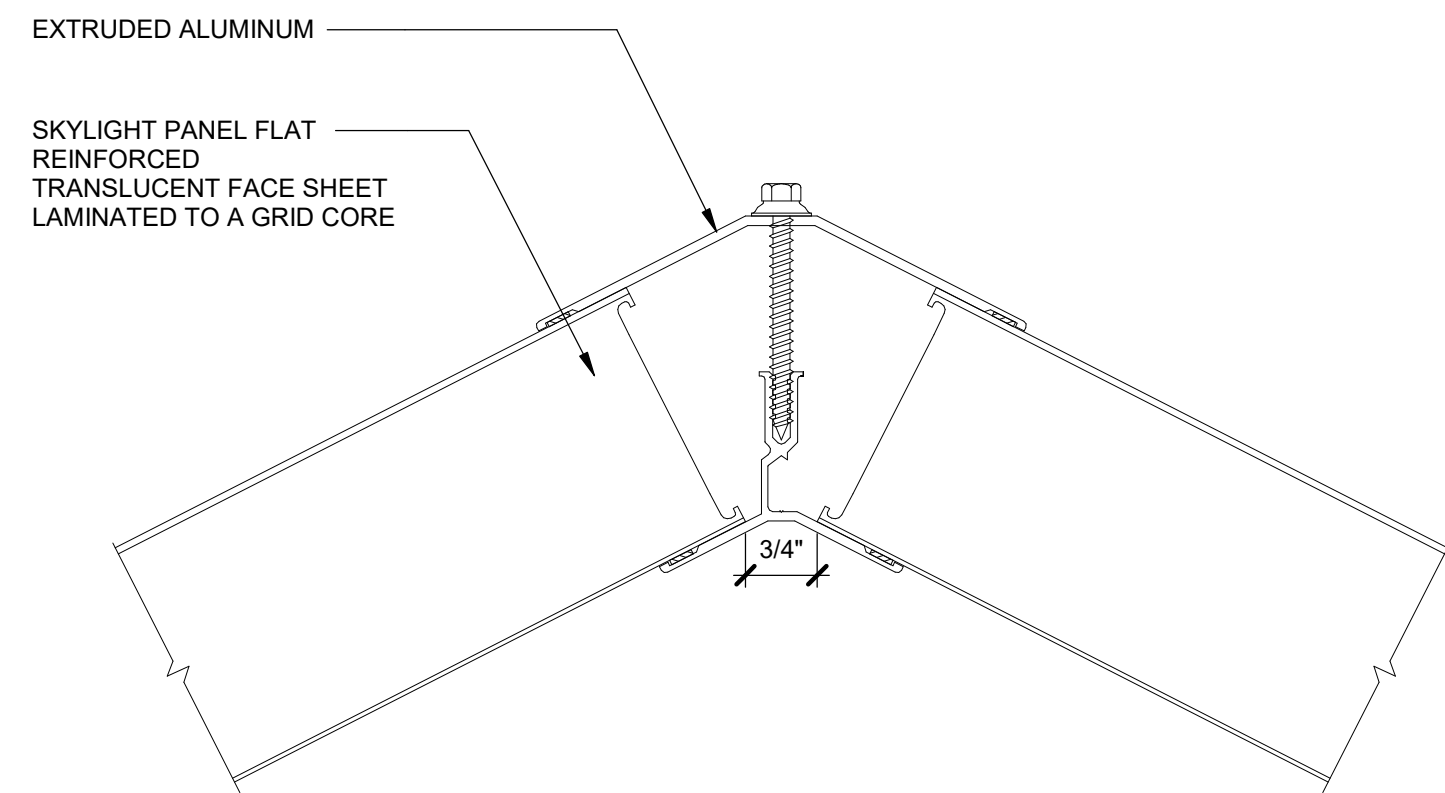


2 VENT PIPE DETAIL
SCALE: 3/4" = 1'-0"

COORDINATE PIPE PENETRATIONS THROUGH EXISTING METAL ROOF WITH LOCATION OF RIBS. AVOID RIBS WHERE POSSIBLE. IF RIBS CANNOT BE AVOIDED, CUT RIBS AND SEAL AS REQUIRED SO AS NOT TO VOID WARRANTY AND AS RECOMMENDED BY ROOFING MANUFACTURER

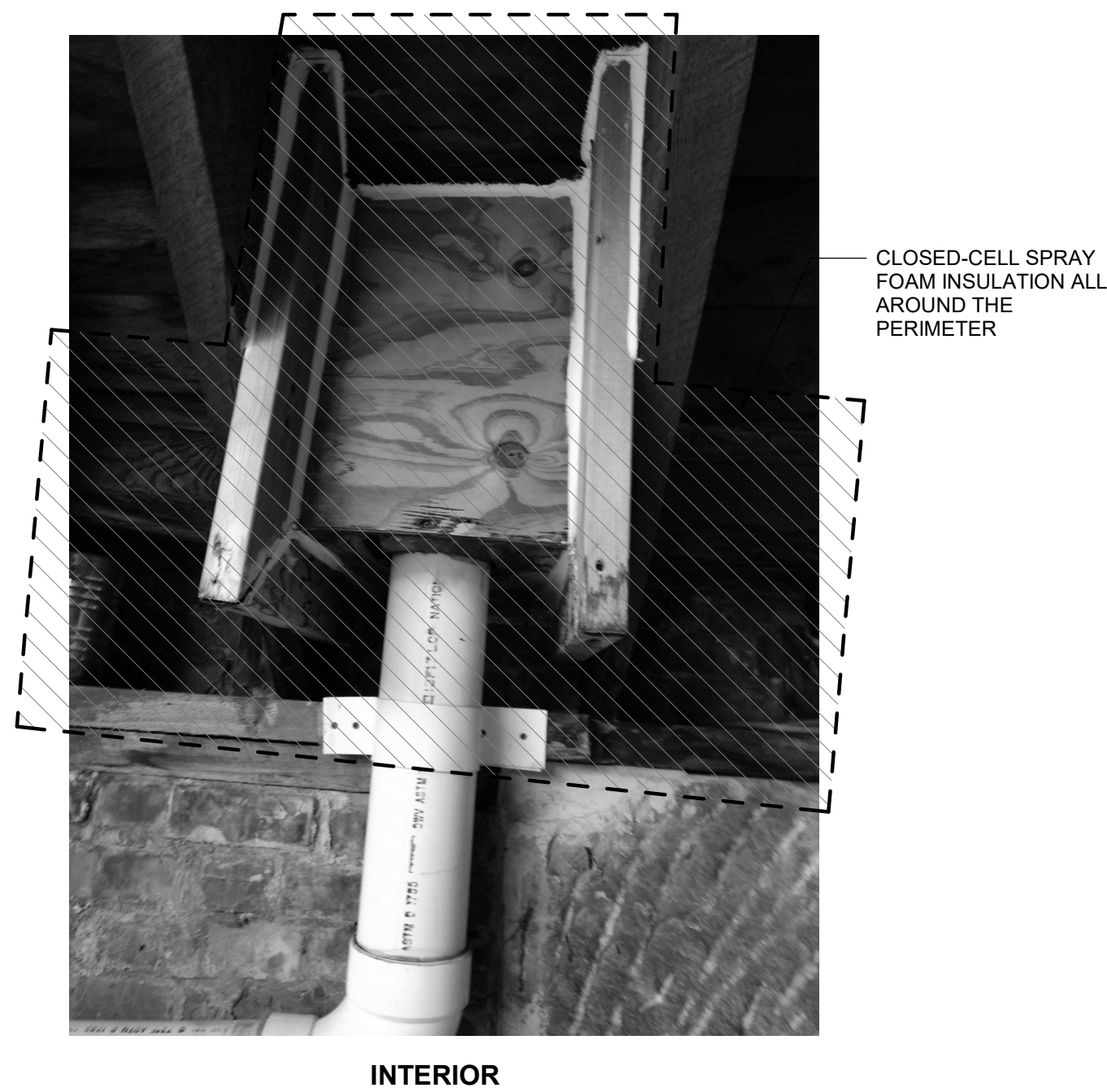


REPAIR ALL CRACKS UNDER ASBESTOS ABATEMENT CONDITIONS WITH SIKA PRESELECT CONSTRUCTION SEALANT, SAND AND PAINT TO MATCH EXISTING COLOR



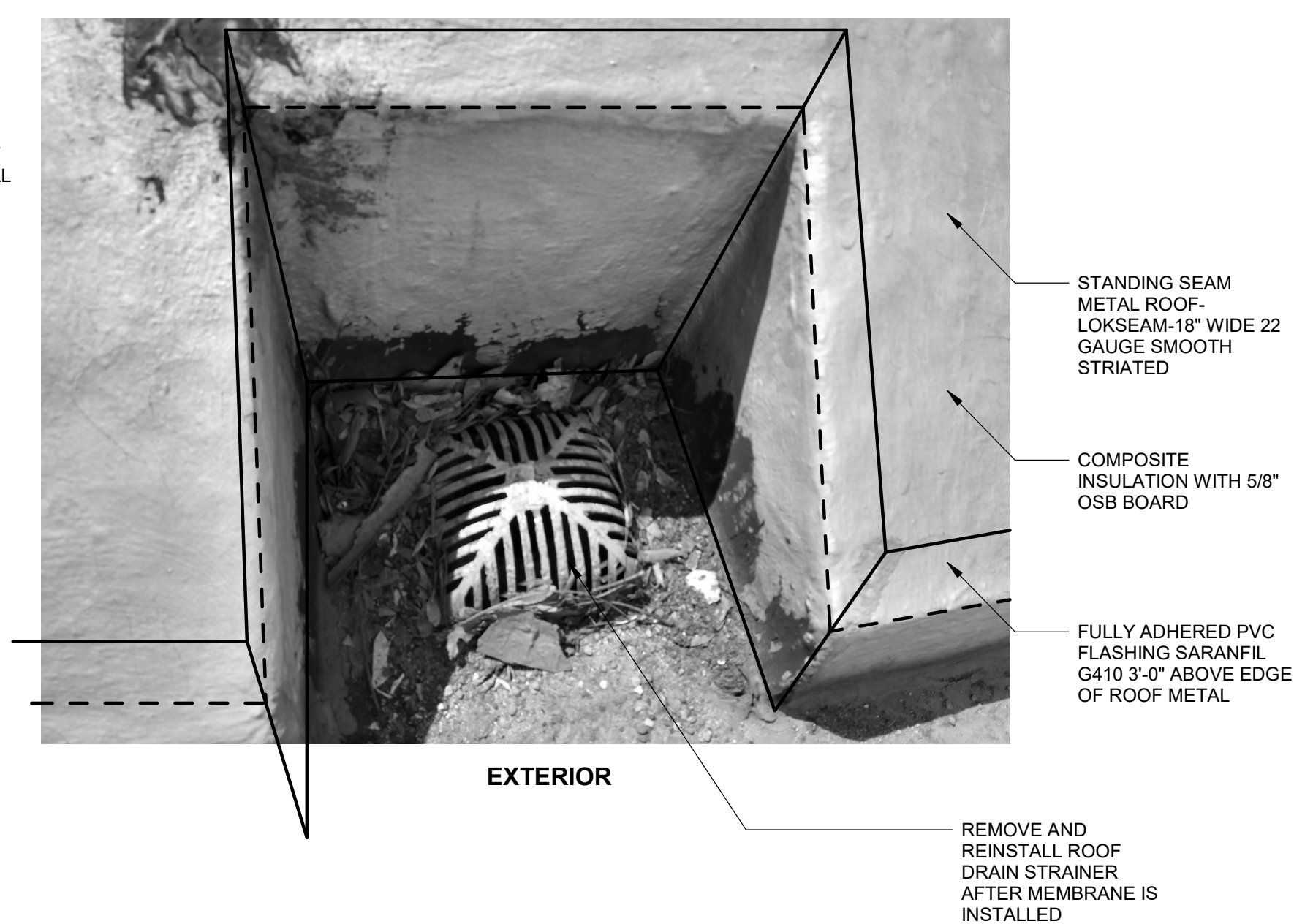
4 KALWALL SYSTEM SECTION DETAIL 1
SCALE: 6" = 1'-0"

6 ENTRYWAY CEILING
SCALE: NONE



CLOSED-CELL SPRAY FOAM INSULATION ALL AROUND THE PERIMETER

INTERIOR



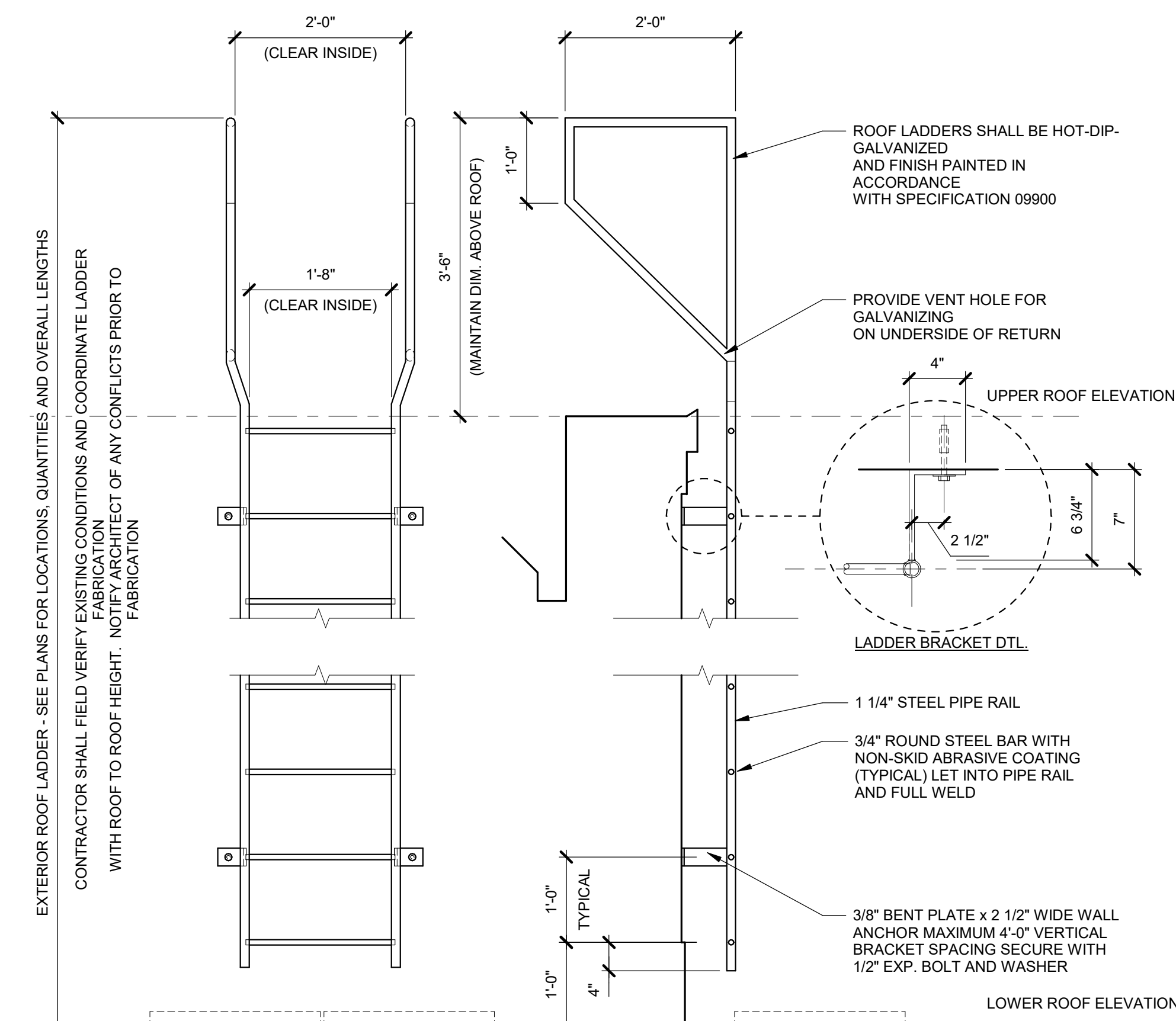
STANDING SEAM METAL ROOF- LOKSEAM-18" WIDE 22 GAUGE SMOOTH STRIATED

COMPOSITE INSULATION WITH 5/8" OSB BOARD

FULLY ADHERED PVC FLASHING SARANFIL G410 3'-0" ABOVE EDGE OF ROOF METAL

REMOVE AND REINSTALL ROOF DRAIN STRAINER AFTER MEMBRANE IS INSTALLED

EXTERIOR



1 ROOF ACCESS LADDER DETAIL
SCALE: 3/4" = 1'-0"

95% CONSTRUCTION DOCUMENTS
05.26.2022

Project Number: 22029

Drawn By: SLB

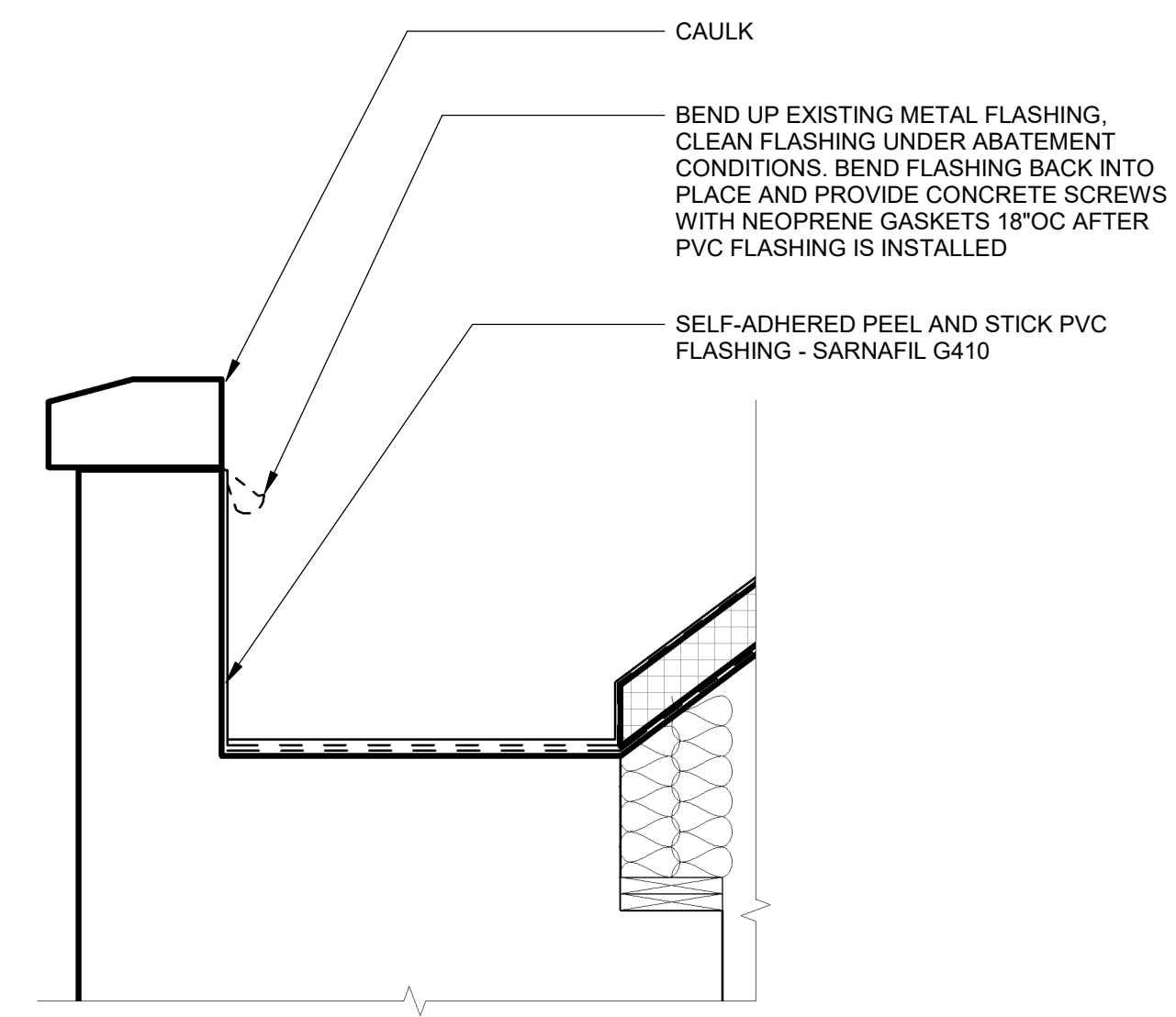
Designed By: EFO

Reviewed By: --

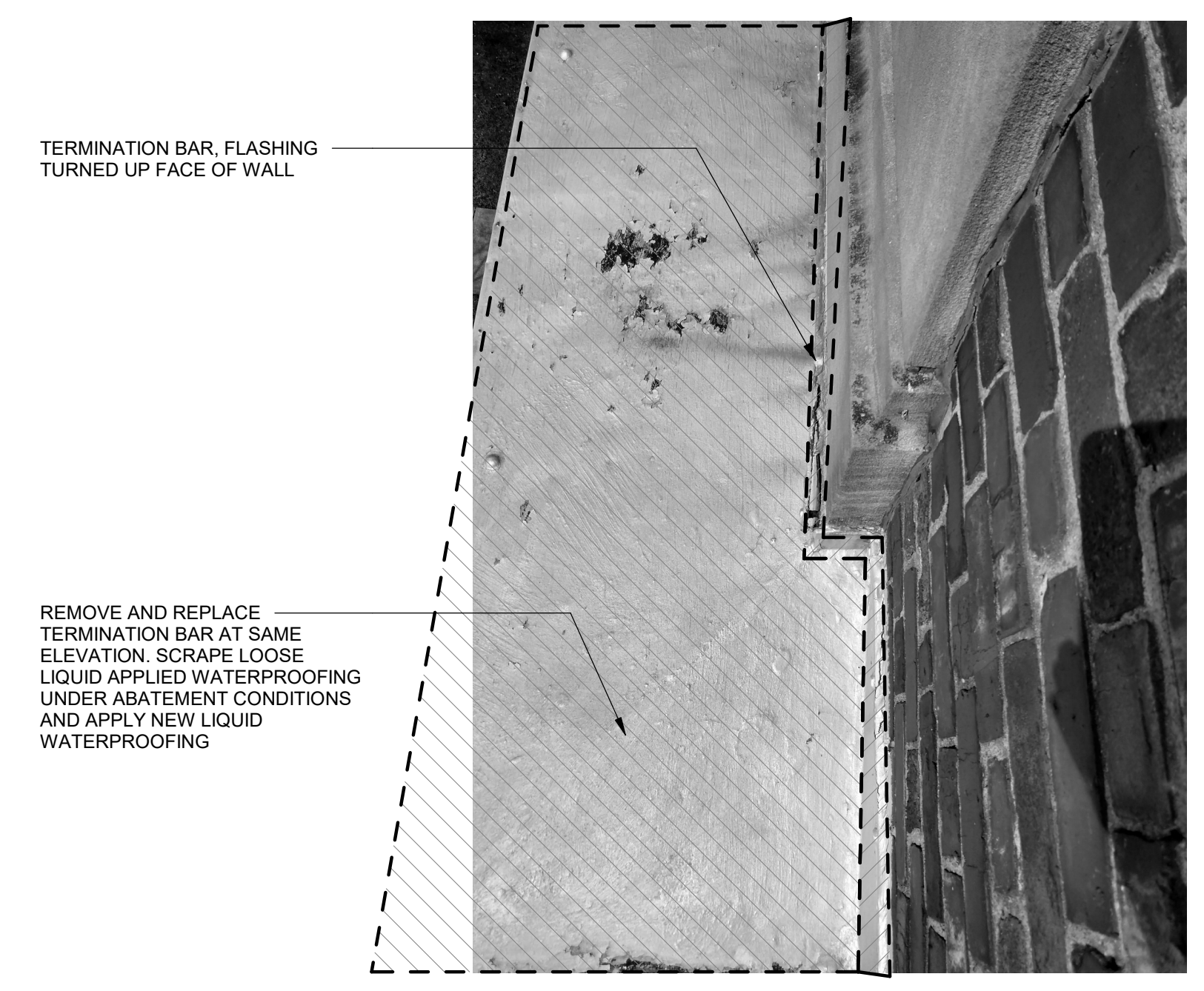
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ARCHITECTURE
DETAILS

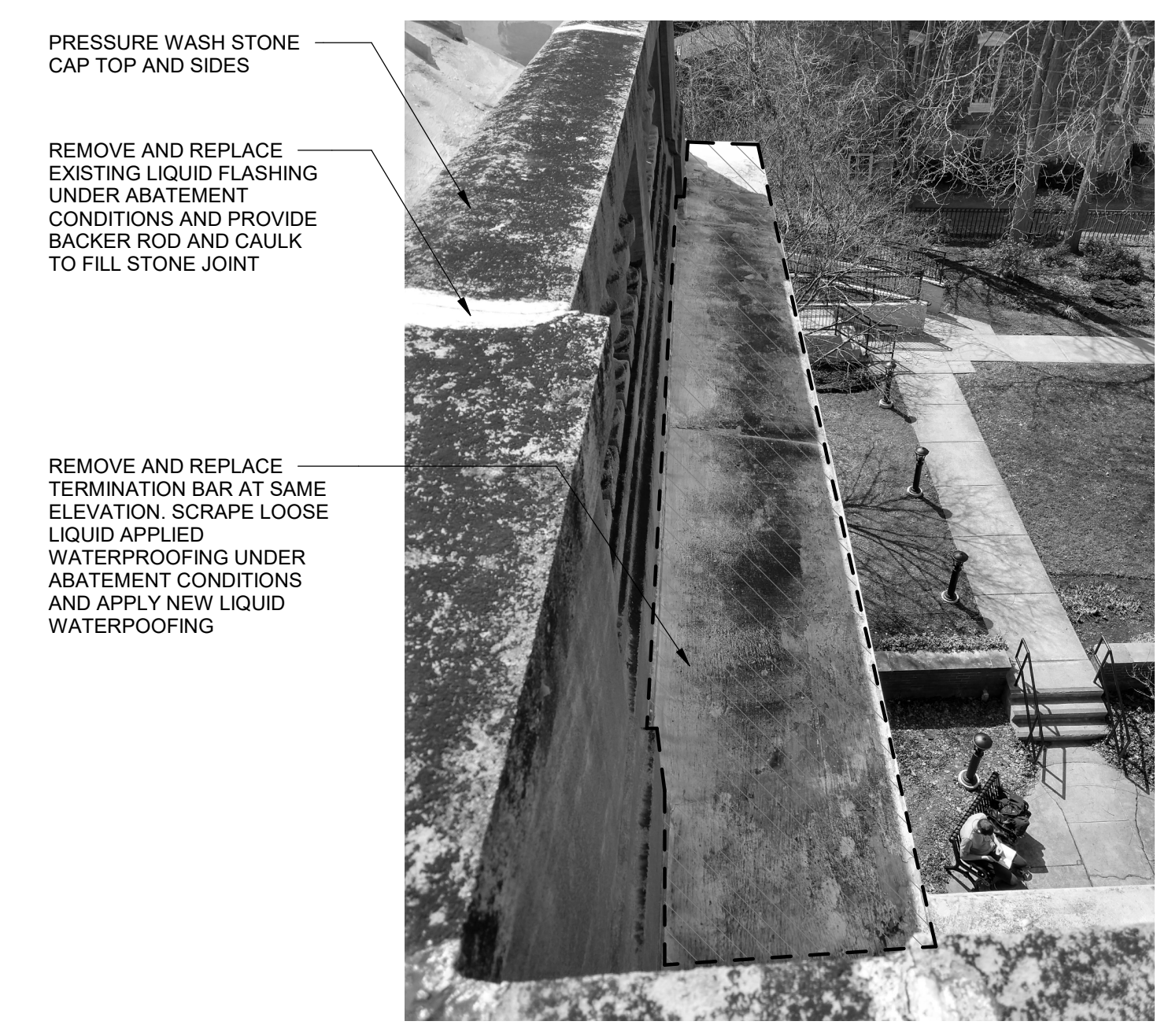
Seymour Library Foundation
Seymour Library-Replace Roof & Skylight
176 Genesee St. Auburn, NY 13021



6 DETAIL AT PARAPET WALL
SCALE: 3/4" = 1'-0"



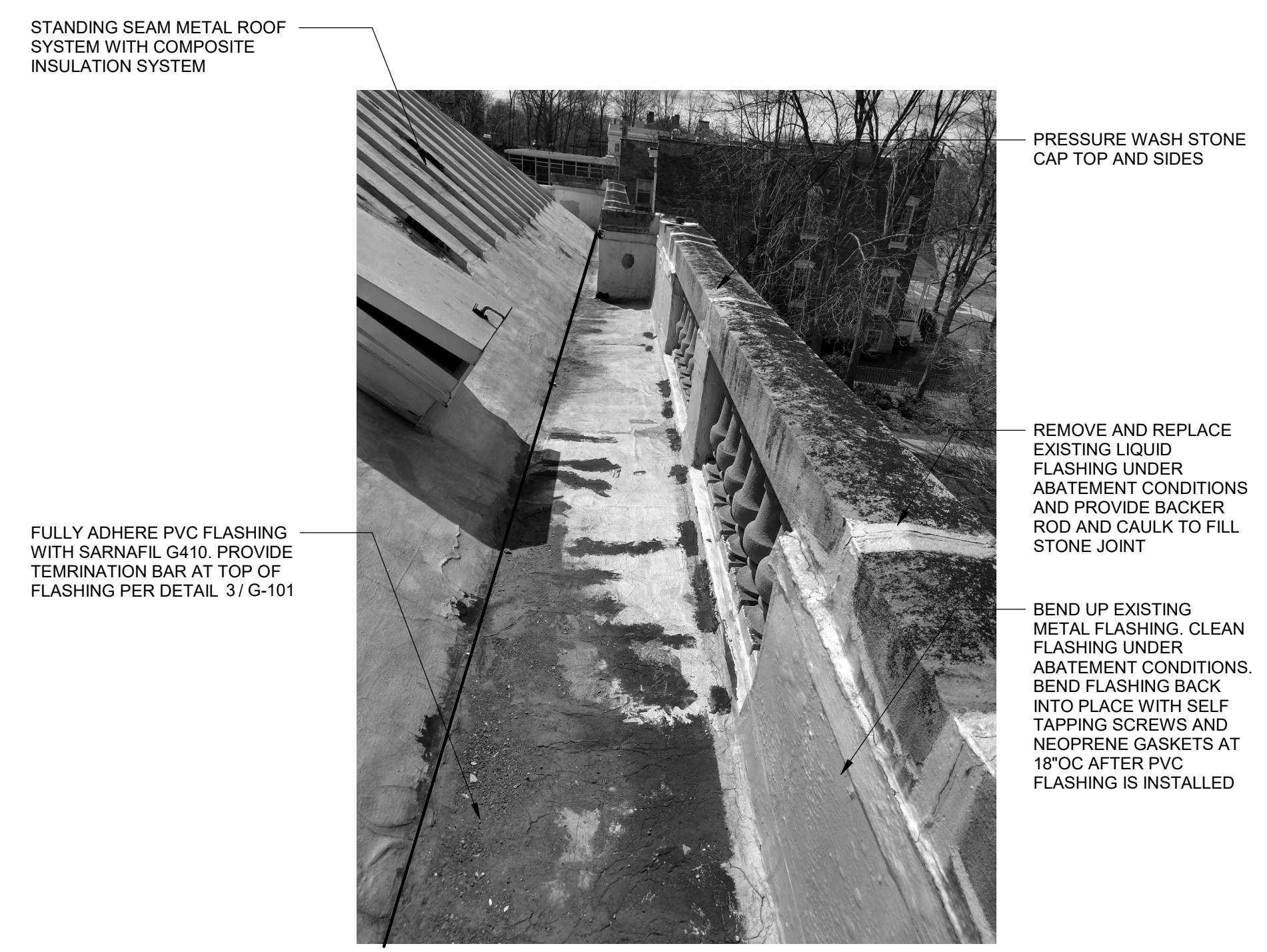
4 LEDGE OF BALLUSTRADE
SCALE: NONE



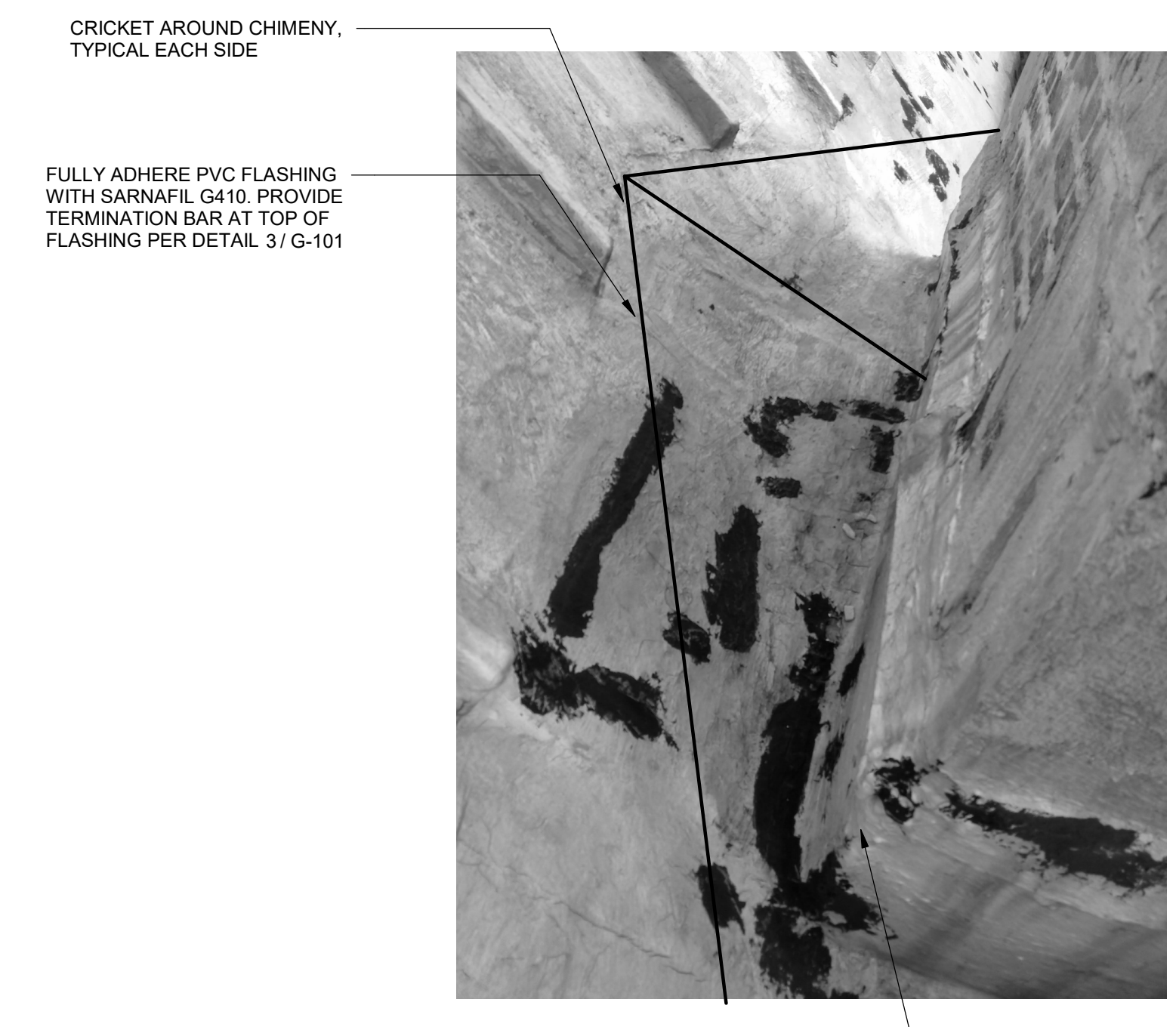
2 TOP OF CORNICE
SCALE: NONE



5 CORNICE /COPING
SCALE: NONE



3 ENTRYWAY BALLUSTRADE
SCALE: NONE



1 CRICKET DETAIL
SCALE: NONE

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Description

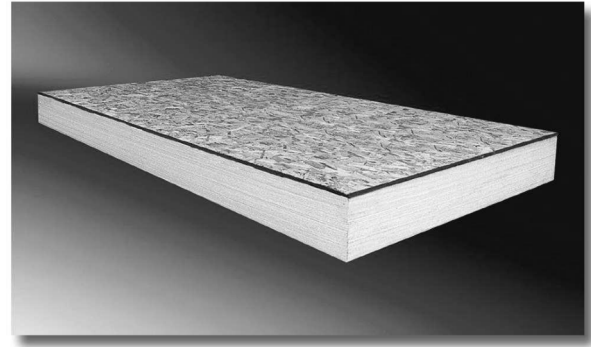
InsulLam[™] is a premium composite insulation consisting of a closed-cell, lightweight and resilient expanded polystyrene (EPS) bonded to an APA/TECO-rated oriented strand board (OSB) or plywood. The InsulLam foam core is cut from the same high-quality stock as our InsulFoam[®] brand roof insulations and, upon request, will meet or exceed the requirements of ASTM C578, *Standard Specification for Rigid, Cellular Polystyrene Thermal Insulation*. The OSB is available in nominal thicknesses of 7/16" and 5/8". The plywood is available in a nominal thickness of 5/8". InsulLam has excellent dimensional stability, compressive strength and water resistant properties. InsulLam can also be manufactured with an assortment of other cover boards.


Uses

InsulLam is a high performance nailbase insulation, and is an excellent substrate for a variety of steep-and-low slope roof systems. InsulLam is acceptable for single ply roof applications that employ mechanically fastened, ballasted or adhered EPDM, TPO, PVC or CSPE membranes, as well as low-sloped built-up and modified bitumen membrane systems. InsulLam is also well-suited for vaulted and cathedral ceilings. InsulLam can also be used as an underlayment for shingle, tile, slate and metal roofing systems. **InsulLam is not a structural panel, and is suitable only for installation over fully supported structural decks.** Consult the roof manufacturer for additional guidelines.

Advantages

-  **System-Enhancing.** The use of InsulLam in low-slope applications may make a roof system eligible for an enhanced warranty from the membrane manufacturer. InsulLam provides an additional resistance to misuse, abuse and adverse weather conditions, such as high winds and hail, that is not available with traditional foam insulations.
-  **Environmentally Friendly.** The InsulFoam core contains no formaldehyde or ozone-depleting CFCs or HCFCs, contains recycled material, and is 100% recyclable if ever removed or replaced.
-  **Stable R-Value.** Designers are well served knowing the product's thermal properties will remain stable over its entire service life. There is no thermal drift, so the product is eligible for an Insulfoam 20-year thermal performance warranty.
-  **Proven Performance.** The same fundamental EPS chemistry has been in use since the mid-1950s, so the actual performance of the product is well known.
-  **Water-Resistant.** The InsulFoam core does not readily absorb moisture from the environment.



-  **Code Approvals.** Insulfoam products are recognized by the International Code Council Evaluation Service (ICC-ES), and have numerous Underwriters Laboratory and Factory Mutual Approvals. Please contact your local Insulfoam representative for details.

Sizes



InsulLam is available in 4' x 8' sizes with overall thickness from 1.5" to 7", and is readily available in custom lengths and widths with little to no impact on lead time.

R-Values

TYPICAL THICKNESSES AND THERMAL VALUES FOR INSULLAM					
Nominal Thicknesses (including 7/16" OSB)	3.00"	4.00"	5.00"	6.00"	
R-Value	@ 75 °F	10.50	14.40	18.20	22.10
	@ 40 °F	11.30	15.50	19.60	23.80

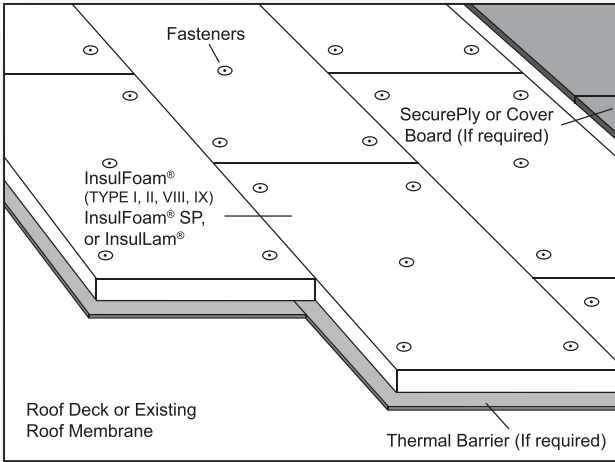
* Values are based on the use of a Type I InsulFoam. Greater R-values will be obtained if higher density material used.

Installation Recommendations

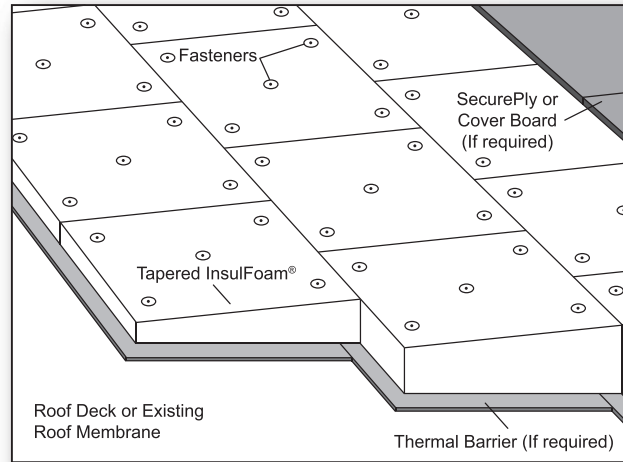
-  **Install InsulLam insulation with continuous side joints and end joints staggered so they are offset by a minimum of 12" from the end joints in adjacent rows.**
-  **A minimum of 8 fasteners per 4' x 8' panel should be used when attaching InsulLam to either 22-gauge (min.) metal decks or 1" wood decks. A minimum of 12 fasteners per board should be used when attaching to 1/2" wood decks. Recommended fastening patterns are available in the Insulfoam Roofing Manual. Contact the roof manufacturer for additional recommendations.**

SINGLE LAYER – MECHANICALLY ATTACHED

Flat Insulation



Tapered Insulation



General

This specification is intended for use over any substrate suitable to receive and support a mechanically attached roof insulation assembly and subsequent roof membrane. It is provided to serve as a guideline for designers and installers.

Installation Considerations

- InsulFoam insulations are shipped in plastic film wraps, which are intended for temporary protection during shipping. All material should be protected from the elements and stored in a dry location.
- Install only as much insulation as can be covered by a roof membrane system, and/or made watertight by the end of each day.
- Insulfoam insulations should not be exposed directly to solvent-based or petroleum-based adhesives and sealants.
- Allow approximately a 1/4" space between InsulFoam insulation and vertical surfaces or roof projections. Do not force or jam product into place.
- Review the layout of all Tapered InsulFoam systems before loading and installing panels.
- For re-cover applications, care should be taken to ensure that no moisture is trapped in the existing or new roof system.

InsulFoam insulations are compatible with most membrane systems; however, we recommend consultation with the membrane manufacturer for any limitations or approvals for use with their products.

Insulation Specifications

InsulFoam	InsulFoam SP	Tapered InsulFoam	InsulLam
Direct-to-Deck			
1NIM	1NSM	1NTM	1NLM
DensDeck Thermal Barrier			
1DIM	1DSM	1DTM	1DLM
Gypsum Thermal Barrier			
1GIM	1GSM	1GTM	1GLM
Perlite Thermal Barrier			
1PIM	1PSM	1PTM	1PLM

Note: For mechanically attached systems that incorporate a thermal barrier, cover board and/or SecurePly with InsulFoam insulation, it is possible to attach all layers to the substrate using a single fastener of sufficient length.

Thermal Barrier Installation (If required)

Some designs require the use of a thermal barrier between the insulation and occupied areas of the building. For guidance, consult local building codes, the membrane manufacturer and the Thermal Barrier information in the Insulfoam Roofing Manual.

Mechanically Attached Insulation

Install InsulFoam insulation with continuous side joints and end joints, staggered so that they are offset by a minimum of 12" from the end joints in adjacent rows. Insulation should abut tightly against adjacent boards. Joints greater than 1/2" should be filled with the same insulation that is being used in the field of the roof. If insulation is being installed over a thermal barrier, an existing layer of insulation, or under a cover board, all joints must be offset a minimum of 6" between layers. Use an approved mechanical fastener of sufficient length to penetrate into or through the deck by the amount

prescribed for the specific fastener. Fasteners should never be closer than 6" from the edges of the insulation board, and should be placed in a pattern that achieves the desired approval. Use appropriate insulation plates with the fasteners. Care must be taken to avoid over-driving or under-driving the fastener and plate assembly. When installing InsulFoam insulations directly to a metal deck, the edges of the insulation parallel to the deck ribs must be solidly supported and centered on the ribs. Additionally, for metal deck installations, ensure that the insulation has a thickness that is adequate to span the rib openings. For acceptable minimum thicknesses of InsulFoam installed directly over metal decks, refer to the Roof Decks section in the Insulfoam Roofing Manual.

SecurePly Installation (If required)

Some specifications require the use of a slip sheet. SecurePly should be rolled out in a manner to completely cover the underlying insulation. The SecurePly must have 2" (minimum) side and end laps. To prevent movement from wind or roof top construction traffic, it may be necessary to tack SecurePly in place with a minimal quantity of mechanical fasteners.

When SecurePly is used in conjunction with these mechanically attached specifications, the insulation specification would be modified with the two-letter suffix SL, to identify that SecurePly has been loosely laid over the insulation, or SM to indicate that the fasteners have been installed through the SecurePly.

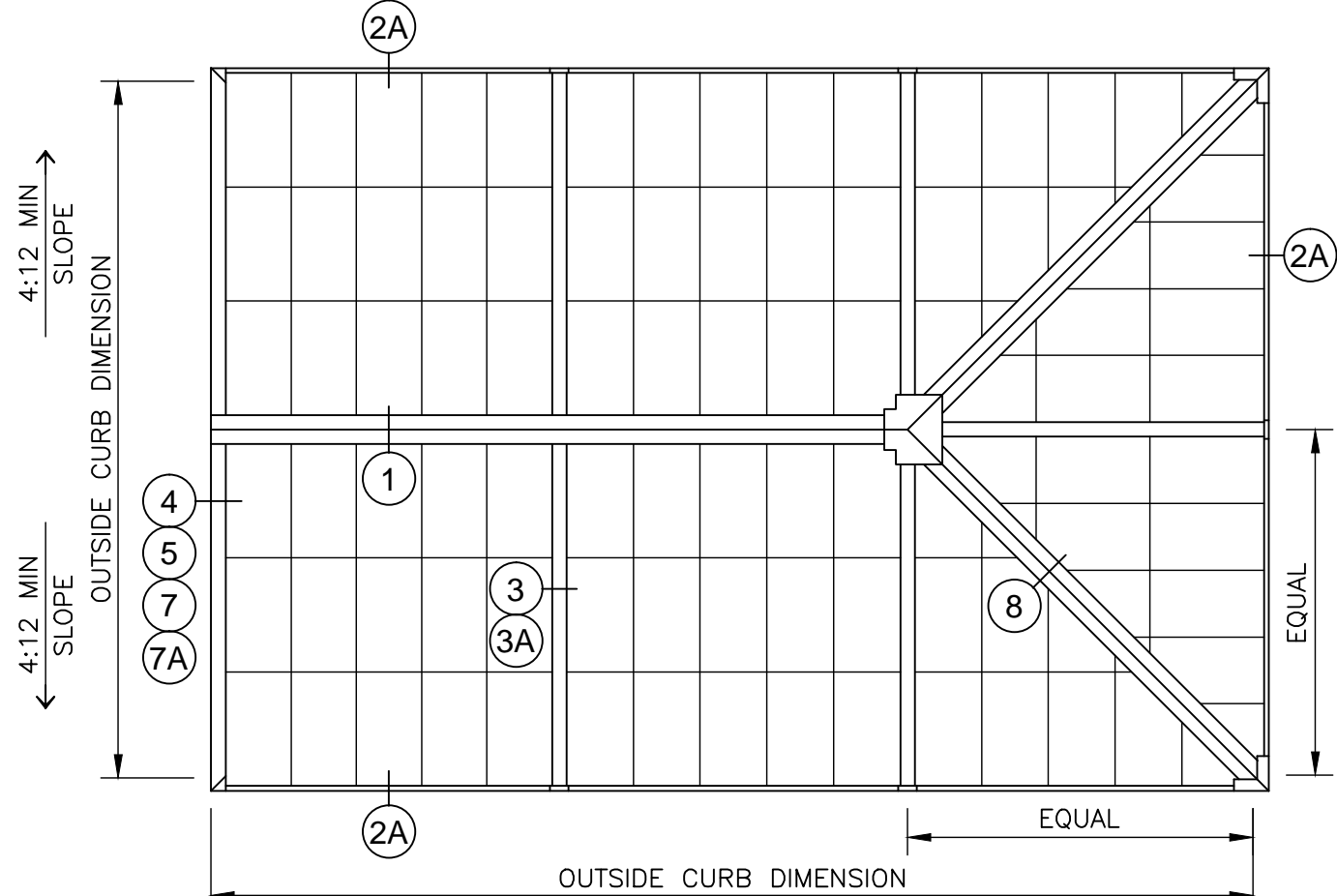
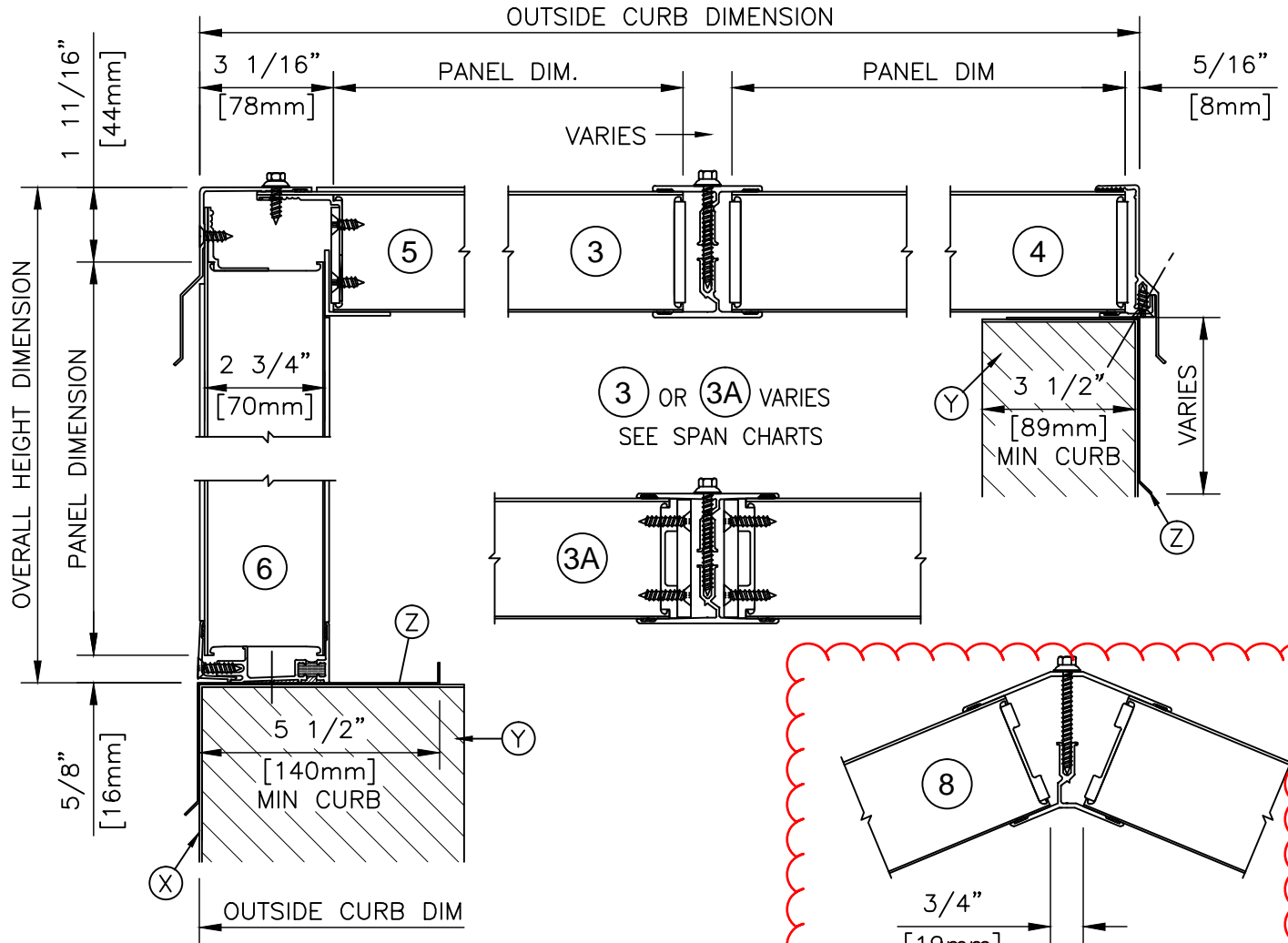
Cover Board Installation (If required)

Some specifications require the use of a cover board. Cover boards may be mechanically attached, asphalt attached or adhered over mechanically attached InsulFoam and Tapered InsulFoam. For cover board installation procedures, refer to the Cover Board Specification information in the Insulfoam Roofing Manual.

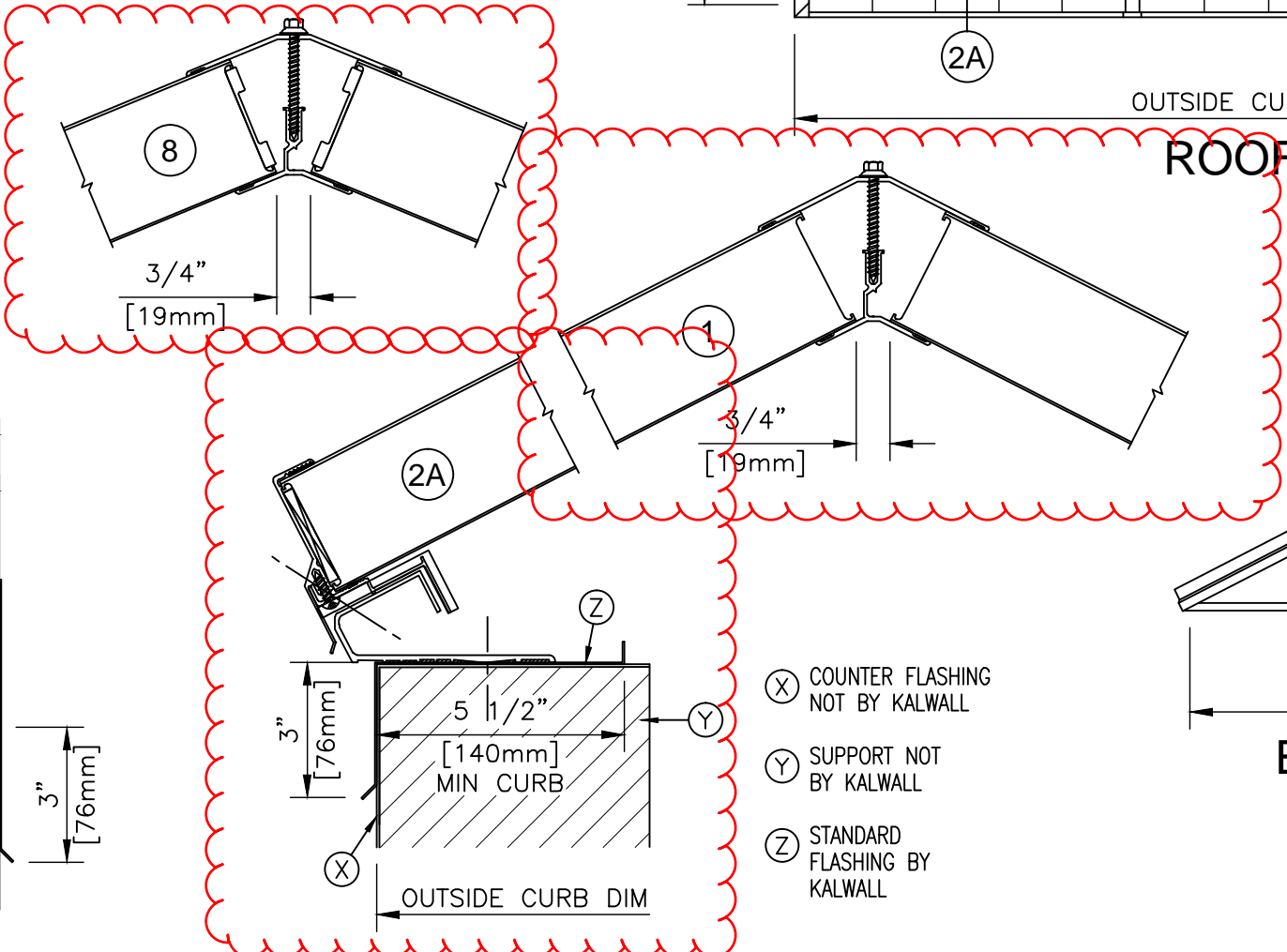
When cover boards are used in conjunction with these specifications, the insulation specification would be modified with a two-letter suffix to identify the cover board type and attachment method. Refer to the Cover Board Specifications information.



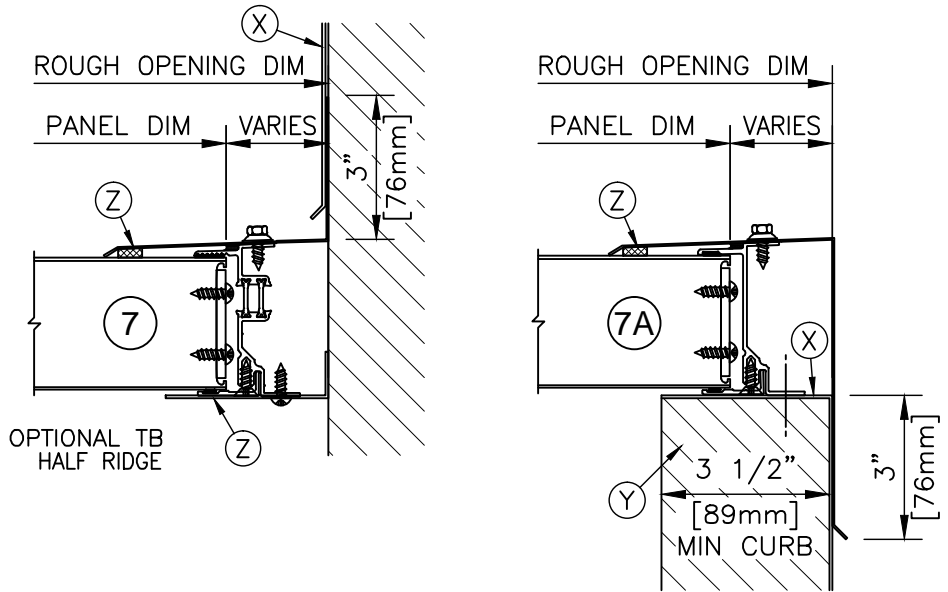
SELF SUPPORTING RIDGE ROOFS



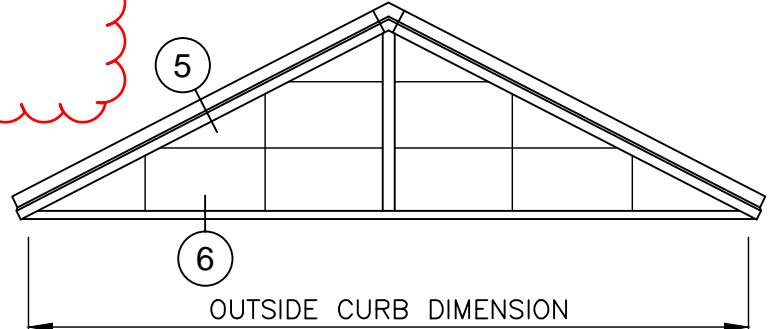
ROOF PLAN



HIP END OPTION
 SPANS EXCEEDING 14'-0" [4267mm] AT 40 PSF [1915Pa] SNOW LOAD WILL REQUIRE EXPOSED 3" X 7" BOX BEAMS.
 27.25° MINIMUM PITCH WITH HIP ENDS



- (X) COUNTER FLASHING NOT BY KALWALL
- (Y) SUPPORT NOT BY KALWALL
- (Z) STANDARD FLASHING BY KALWALL



ENDWALL ELEVATION

KALWALL[®]
 high performance translucent building systems



**SINGLE SKIN PANEL
BROCHURE**

THE MBCI ADVANTAGE

Since 1976, MBCI has partnered with our customers to deliver high quality metal building components backed by meaningful relationships and trusted performance. With our comprehensive portfolio and end-to-end expertise in building solutions, MBCI supports our customers throughout the project life cycle.



PROJECT: Magnolia Parkway Storage **LOCATION:** Magnolia, TX **PANEL PROFILE:** Ultra-Dek®, PBR

Contents

4	Case Studies
7	Standing Seam Metal Roofing
10	Concealed Fastening Systems
13	Exposed Fastening Systems
16	Underhung Canopies
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18	Retrofit Solutions
20	Structural Systems
21	Service That Makes a Difference

Cover Photo

PROJECT: X-Cor Aerospace **LOCATION:** Midland, TX **PANEL PROFILE:** 7.2 Panel **COLOR:** Tundra

CASE STUDIES



AXIOM APARTMENTS

Axiom Apartments faced many challenges in the exterior and interior renovations. The exteriors were extremely worn and maintenance costs were becoming out of control. Bob Ross Realty turned to MBCI for a metal panel solution.

Learn more at:
mbci.com/Axiom-Apartments



BENNY'S TRANSMISSION

Benny's Transmission & Auto was sheltered by a 41-year-old galvanized roof which had started to deteriorate. To avoid closing the shop and risk losing revenue, the owner selected MBCI's Retro-R® panel to be installed over their existing roof.

Learn more at:
mbci.com/Benny-27s-Transmission

Showcasing the industry-leading manufacturer of metal roof and wall systems.



INSPIRE ROCK GYM

InSPIRE Rock Gym opened its new cutting-edge facility with 63-foot-high walls, making it home to one of the tallest rock walls in the state. The metal panels provided the desired aesthetics and performance to allow them to achieve greater heights.

Learn more at:
mbci.com/InSPIRE-Rock-Gym



EAST TEXAS FOOD BANK

The East Texas Food Bank's existing warehouse lacked sufficient space, so leadership facilitated a renovation and expansion. Driving factors for choosing the MBCI panels included aesthetics, durability/low maintenance and cost-efficiency.

Learn more at:
mbci.com/ETFB



STANDING SEAM METAL ROOFING

When your design requires a roofing system that is both aesthetically pleasing and structurally sound, choose one of MBCI's standing seam metal roof (SSR) systems. Our SSR systems are some of the most durable and weathertight roof systems available in the industry, providing longevity while enhancing the appearance of the building.

MBCI offers two types of standing seam metal roofs: vertical leg structural and trapezoidal structural. Each system carries the Underwriters Laboratories Wind Uplift (UL 90), Fire Resistance and Impact Resistance ratings covering a wide range of roof designs. Additional ratings have been given to the individual panel systems.

Special clips are available for thermal roof expansion and contraction during extreme temperature changes. All trim is both weathertight and aesthetically pleasing, giving the roof a clean, finished appearance.

Above Photo

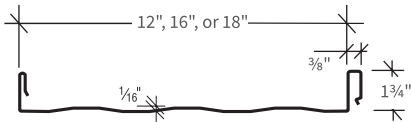
PROJECT: Galeton Fire Station **LOCATION:** Galeton, CO **PANEL PROFILE:** BattenLok® HS, PBU **COLOR:** Coal Black, Ash Gray

Vertical Leg Structural Standing Seam Metal Roof Systems

The vertical leg systems blend the aesthetics of an architectural panel with the strength of a structural panel. These panels have earned several UL uplift ratings, assuring reliability of performance, while also providing flexibility to meet design challenges.

Each of these SSR systems is designed to be installed over open framing. However, the MBCI LiteFrame®, 5/8" plywood or a composite roof assembly may be used as an alternate substructure.

LOKSEAM®

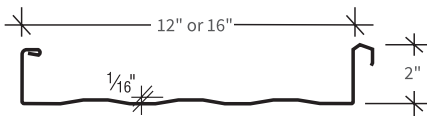
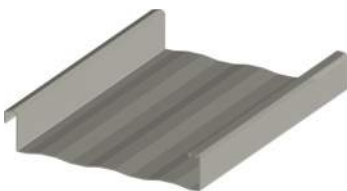


LokSeam® is a snap-together standing seam roof system with a 1¾" tall vertical rib for use on roofs with a minimum slope of 3:12. Available in 12-inch, 16-inch and 18-inch widths, LokSeam® panels can be installed over open framing or a solid substructure and are capable of transitioning from roof to fascia with the use of a rib cover. LokSeam® does not require a solid substructure for support.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 12", 16", 18"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22 (12", 16", 18"), 26 (12" (optional))
- **Texture:** Smooth Striated (standard); Embossed Striated (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

SUPERLOK®



SuperLok® is a mechanically field-seamed system that combines a 2" tall slim rib with exceptional uplift resistance. MBCI designed the SuperLok® system to withstand the most rigorous weather conditions. This panel can be installed directly over purlins or bar joists, and does not require a solid substructure for support.

In addition to the UL 90 rating, the SuperLok® system meets a variety of ratings as tested under FM Global Corporation Standard 4471.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 12", 16"
- **Minimum Slope:** ½:12
- **Panel Attachment:** Concealed Fastening System, Low, High (reference product catalog)
- **Gauges:** 24 (standard); 22, 26 (optional)
- **Texture:** Smooth Striated (standard); Embossed Striated (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

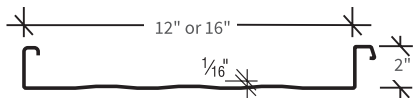


PROJECT (above): Audubon National Wildlife Refuge **LOCATION:** Coal Harbor, ND **PANEL PROFILE:** BattenLok® HS **COLOR:** Classic Green



PROJECT: East Texas Food Bank **LOCATION:** Tyler, TX **PANEL PROFILE:** BattenLok® HS **COLOR:** Slate Gray

BATTENLOK® HS

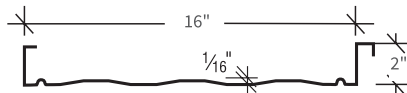


BattenLok® HS is a mechanically field-seamed, high strength structural standing seam roof system. The BattenLok® HS panels have a two-inch tall vertical seam and are available in both 12-inch and 16-inch widths. BattenLok® HS can be installed directly over purlins or bar joists and is capable of transitioning from roof to fascia. BattenLok® HS does not require a solid substructure for support.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 12", 16"
- **Minimum Slope:** 1/2:12
- **Panel Attachment:** Concealed Fastening System, Low, High (fixed or floating), Utility (no insulation clearance)
- **Gauges:** 24 (standard); 22 (optional)
- **Texture:** Smooth or Embossed; with Striations or Striations with Pencil Ribs (16" only)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

CURVED BATTENLOK®



When your roof calls for a curved standing seam metal roof, Curved BattenLok® is an ideal choice. The Curved BattenLok® profile is a water shedding, curved standing seam metal roof system with a two-inch tall standing seam that is field-seamed during the installation process. Striations are standard and added for aesthetic value.

Curved BattenLok® is a structural roofing panel that may be curved to a minimum radius of 20 feet and can be installed directly over purlins or joists. This curved standing seam metal roof system can also be installed over wood decks and metal decks with rigid insulation. Open framing applications eliminate costly curved deck surfaces and membrane underlayments. For large projects and/or long panels, the curving process for the curved standing seam metal roof system may best be accomplished at the job site.

Product Specifications

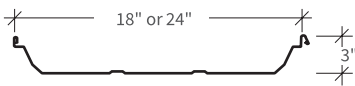
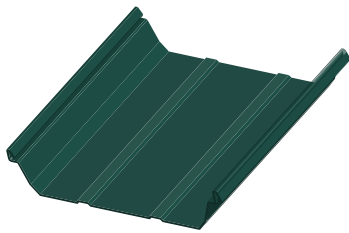
- **Application:** Roof
- **Coverage Width:** 16"
- **Panel Attachment:** Concealed Fastening System, Low, High (fixed or floating)
- **Gauges:** 24 (standard); 22 (optional)
- **Texture:** Smooth Striated (standard)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300

Trapezoidal Standing Seam Metal Roof Systems

The trapezoidal SSR systems are designed for strength, durability and weatherability. The standing seams are 3" above the lowest part of the panel, well above the water level as it flows off the roof. The rake/gable at both ends of each roof system eliminates the necessity of finishing in the low, flat part of the panel where the greatest possibilities for leaks occur in many other systems.

The trapezoidal SSR systems can be installed before or after the exterior walls are in place. All trim is attached after the roof is installed. With a recommended minimum slope of ¼:12, these systems can be used on all types of construction, including metal, masonry or wood for either new or retrofit construction.

ULTRA-DEK®

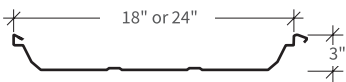


The Ultra-Dek® roof panel is a snap-together, trapezoidal leg standing seam roof system. Ultra-Dek® panels are available in 18-inch and 24-inch widths. Ultra-Dek® requires a minimum slope of ¼:12 and is ideal for industrial, commercial and architectural applications. Ultra-Dek® can be erected on various types of construction.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 18", 24"
- **Minimum Slope:** ¼:12
- **Panel Attachment:** Concealed Fastening
- **Gauges:** 24 (standard); 22, 26 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

DOUBLE-LOK®



The Double-Lok® roof panel is a mechanically field-seamed, trapezoidal leg standing seam roof system. Double-Lok® panels are available in 18-inch and 24-inch widths and require a minimum slope of ¼:12. Double-Lok® panels are ideal for industrial, commercial and architectural applications.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 18", 24"
- **Minimum Slope:** ¼:12
- **Panel Attachment:** Concealed Fastening System, Low, High, Fixed and Sliding and a 2" Stand off Clip (reference product catalog)
- **Gauges:** 22, 24
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic



PROJECT: Logos Public School **LOCATION:** Medford, OR **PANEL PROFILE:** Double-Lok® **COLOR:** Almond

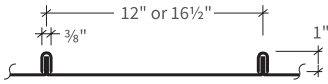
CONCEALED FASTENING SYSTEMS

Metal roofs and walls that use concealed fastener panels combine an elegant design with the toughness of steel. These panels are primarily used in architectural applications, but are also an appealing option for residential and commercial applications. Concealed fastener panels provide excellent weather resistance and increased durability. These panels can be applied over conventional or wood-framed structures and are usually narrower than exposed fastener panels and are offered in a variety of unique reveals.

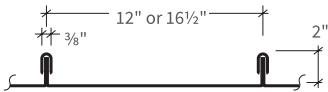
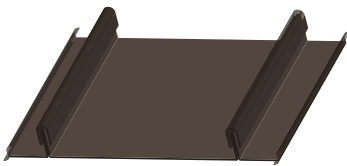


PROJECT: Panera Bread **LOCATION:** Philadelphia, PA **PANEL PROFILE:** Masterline 16" **COLOR:** Slate Gray

CRAFTSMAN™ SERIES



Small Batten



High Batten

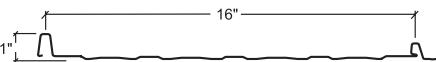
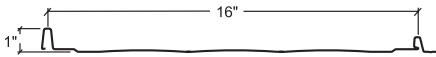
The Craftsman™ Series is a snap-on batten roof system, available in small (SB) and high batten (HB).

The Craftsman™ Series is a water-shedding system and can be used for roofs and fascias only when installed over a water-proofed solid substructure with a minimum roof slope of 3:12. The Craftsman™ Series design makes complicated building transitions simple without the necessity of flashings. Slope changes from roof to fascia to soffit can be made with one continuous pan and batten.

Product Specifications

- **Application:** Roof, Fascia
- **Coverage Widths:** 12", 16½"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22, 26 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

SLIMLINE®

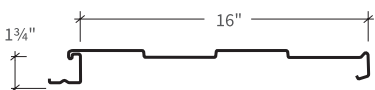


The Slimline® roof panel system offers a sleek contemporary profile ideal for residential and light commercial applications. Slimline® panels must be specified as striated or striated with minor ribs and cannot be endlapped.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 16"
- **Rib Height:** 1"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 29 (standard); 26 (optional)
- **Texture:** Striated (standard); Minor Rib Striations (optional)
- **Coatings:** Galvalume Plus®, Signature® 200

DESIGNER™ SERIES



The Designer™ Series panels provide the toughness of metal while creating an attractive, flexible and functional wall or fascia panel. The Designer™ Series is offered in fluted panels, which are equally effective for new construction or retrofitting existing buildings.

Product Specifications

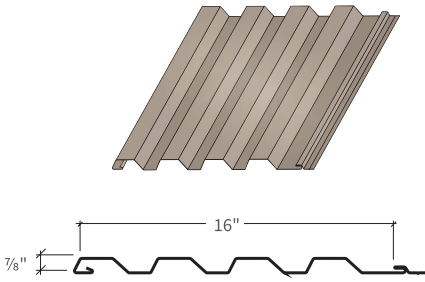
- **Application:** Wall
- **Coverage Widths:** 16"
- **Coverage Length:** 5'-0" to 35'-0"
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

MASTERLINE 16®

MasterLine 16® is a concealed-fastened metal wall panel that provides an interesting shadow line, enhancing the aesthetics of the panel. While primarily designed for horizontal applications, it can also be installed vertically to give a distinguished architectural design. The panels provide 16-inch coverage and are available with factory-applied mastic in the side laps. Panels may be attached to metal studs, with or without sheathing, as well as to subgirts.

Product Specifications

- **Application:** Wall
- **Coverage Width:** 16"
- **Coverage Length:** 5'-0" to 35'-0"
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 18, 20, 22 (optional)
- **Texture:** Smooth (standard); Embossed (optional; 24 and 22 gauge only)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

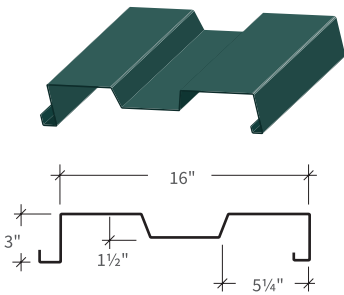


SHADOWRIB™

ShadowRib™ is a three-inch deep panel that combines aesthetics, economy and function to bring definition to metal structures. ShadowRib™ is a proven performer and a versatile tool to the designer. Structural strength in the ShadowRib™ panel is accomplished without sacrificing appearance or design flexibility. The fluted face creates distinctive shadow lines.

Product Specifications

- **Application:** Wall
- **Coverage Width:** 16"
- **Coverage Length:** 5'-0" to 40'-0"
- **Panel Attachment:** Concealed Fastening System (outside); ShadowRib™ Panel Clip (inside)
- **Gauges:** 24 (standard); 22 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

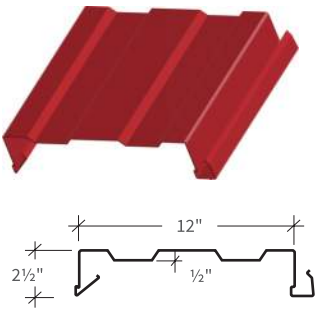


NUWALL®

The NuWall® wall panel can be used for either new or retrofit construction. This concealed-fastened system creates a clean, uninterrupted wall on a building.

Product Specifications

- **Application:** Wall
- **Coverage Width:** 12"
- **Coverage Length:** 5'-0" to 40'-0"
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

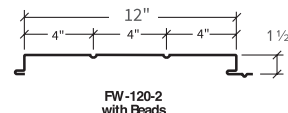
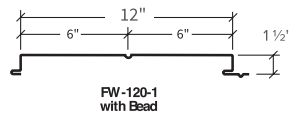
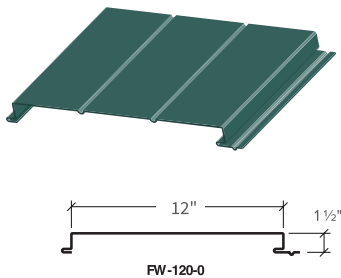


FW-120

The FW-120 panel is a concealed-fastened wall and liner panel that provides a flat appearance. FW-120 is commonly used for architectural, commercial and industrial markets and is available in a flat profile with no beads, one bead or two beads.

Product Specifications

- **Application:** Wall and Fascia
- **Coverage Width:** 12"
- **Coverage Length:** 5'-0" to 30'-0"
- **Panel Attachment:** Concealed Fastening System by use of FW-120 Clip
- **Gauges:** 24 (standard); 22, 20 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coating:** Signature® 300



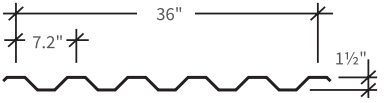
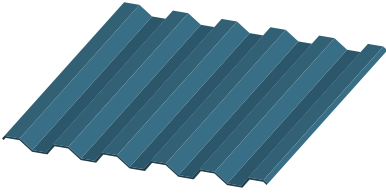


EXPOSED FASTENING SYSTEMS

MBCI exposed fastening systems help provide contemporary and environmentally-friendly aesthetics. Oftentimes these panels can be installed both vertically and horizontally, giving you numerous options for your design. To see all of our exposed-fastening options, visit us online at mbc.com or shop.mbc.com.

PROJECT: Axiom Apartments **LOCATION:** San Antonio, TX **PANEL PROFILE:** PBU **COLOR:** Harbor Blue

7.2 PANEL

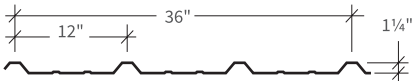


When your design calls for a commercial or industrial exposed fastener panel, the 7.2 Panel is an ideal choice. This panel offers versatility and functionality for roofs and walls. The symmetrical rib 7.2 Panel offers excellent spanning and cantilever capabilities, making it an excellent choice for carports and walkway canopies. When used on walls, the 7.2 Panel is typically ordered as “reverse rolled” and can be installed either vertically or horizontally.

Product Specifications

- **Applications:** Roof and Wall
- **Coverage Width:** 36"
- **Rib Spacing:** 7.2" on Center
- **Rib Height:** 1 1/2"
- **Minimum Slope:** 1/2:12
- **Panel Attachment:** Exposed Fastening System
- **Gauges:** 24 (standard); 22, 26, 29 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

PBR

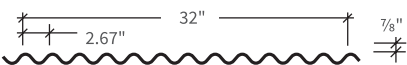
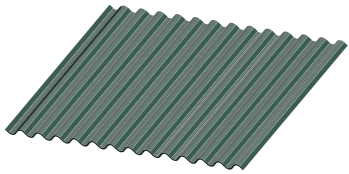


The PBR panel is commonly used for a wide variety of architectural, agricultural, commercial and industrial applications. PBR is a structural, exposed-fastened panel that can be used for both roof and wall applications. The minimum roof slope for PBR is 1/2:12.

Product Specifications

- **Applications:** Roof and Wall
- **Coverage Width:** 36"
- **Rib Spacing:** 12" on Center
- **Rib Height:** 1 1/4"
- **Minimum Slope:** 1/2:12
- **Panel Attachment:** Exposed Fastening System
- **Gauges:** 26 (standard); 22, 24, 29 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300

PBC

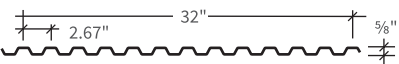


The PBC panels can be used for both roof and wall applications. PBC panels are attached to a building structure with exposed fasteners and is often used in horizontal applications on walls.

Product Specifications

- **Applications:** Roof and Wall
- **Coverage Width:** 32"
- **Rib Spacing:** 2.67" on Center
- **Rib Height:** 7/8"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Exposed Fastening System
- **Gauges:** 26 (standard); 22, 24, 29 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300

PBD



The PBD panel is an exposed-fastened panel system that can be used for roof and wall applications. When used in wall applications, panels can be installed vertically or horizontally. The ribs in the PBD panel are symmetrical from top to bottom, which makes this panel ideal as a roof liner.

Product Specifications

- **Applications:** Roof and Wall
- **Coverage Width:** 32"
- **Rib Spacing:** 2.67" on Center
- **Rib Height:** 5/8"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Exposed Fastening System
- **Gauges:** 26 (standard); 22, 24, 29 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300



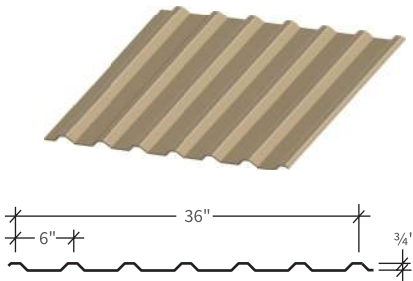
PROJECT: Legacy Junior High School **LOCATION:** Layton, UT **PANEL PROFILE:** PBU, Artisan® Series **COLOR:** Laurel Green, Tundra

PBU

The PBU panel is an exposed fastener system that can be used for both roof and wall applications and can be installed directly over purlins or joists. PBU offers the versatility of being used in both vertical and horizontal applications to give designers a contemporary appearance for their building project. PBU is recommended for 1:12 or greater roof slopes.

Product Specifications

- **Applications:** Roof and Wall
- **Coverage Width:** 36"
- **Rib Spacing:** 6" on Center
- **Rib Height:** 3/4"
- **Minimum Slope:** 1:12
- **Panel Attachment:** Exposed Fastening System
- **Gauges:** 26 (standard); 22, 24, 29 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300

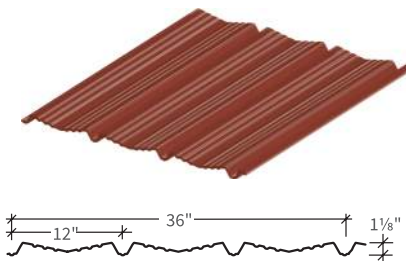


AVP

The AVP panel is used for wall application and features pencil ribs, providing improved aesthetics to building design.

Product Specifications

- **Application:** Wall
- **Coverage Width:** 36"
- **Rib Spacing:** 12" on Center
- **Rib Height:** 1 1/8"
- **Panel Attachment:** Exposed Fastening System
- **Gauges:** 26 (standard); 22, 24, 29 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300



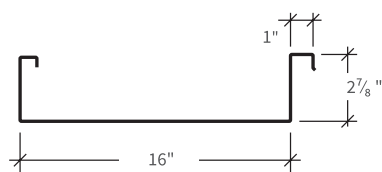
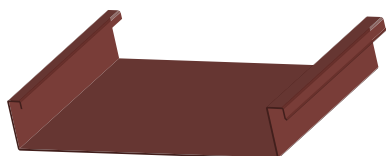
UNDERHUNG CANOPIES

MBCI offers two separate panel profiles for underhung canopies, the Classic® Series and QwikLok™.



PROJECT: Texaco Food Mart **LOCATION:** Beaumont, TX **PANEL PROFILE:** QwikLok™

CLASSIC® SERIES

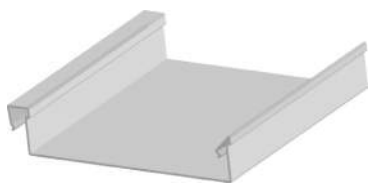


The Classic® Series is a time-tested performer. Through the years, this versatile and valuable panel has been used for canopies, walkway covers and soffits. The Classic® Series creates a clean, flush appearance when used as a canopy system.

Product Specifications

- **Applications:** Canopies, Walkway Covers and Soffits
- **Coverage Widths:** 16"
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

QWIKLOK™



QwikLok™ is ideal for underhung applications; no more fighting with trying to install two panels at one time. Unlike conventional roofing cover, QwikLok™ can be assembled from the underside of the structure one panel at a time, producing a flush appearance with no exposed fasteners.

Product Specifications

- **Applications:** Canopies, Walkway Covers and Soffits
- **Coverage Width:** 12"
- **Panel Attachment:** Concealed Fastening System
- **Gauge:** 24
- **Texture:** Smooth (standard); Embossed (optional)
- **Coating:** High Gloss White

SOFFITS

MBCI offers two separate panel profiles to be used as soffits. The Artisan® Series is simplistic and offers uniform dimensions and a clean appearance. The FlexLoc® panel system combines a clean, flat appearance with an easy-to-engage seam.



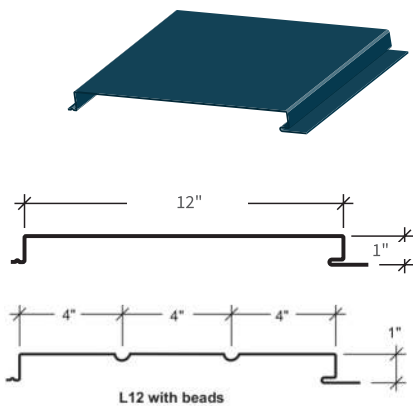
PROJECT: Champions Academy and Childcare **LOCATION:** Cypress, TX **PANEL PROFILE:** Artisan® Series **COLOR:** Burnished Slate

ARTISAN® SERIES

The simplicity of the Artisan® Series panel is its best design feature. Uniform dimensions and a clean appearance allow the designer to plan modules, eliminate complicated pieces and follow wall curvatures. The Artisan® panel can be vertical, horizontal, perpendicular or skewed to the building line, allowing the designer multidimensional freedom to create. This panel is available in two profiles, a flat profile and a profile with two beads.

Product Specifications

- **Applications:** Soffits and Interior Liners
- **Coverage Widths:** 12"
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 26, 22 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

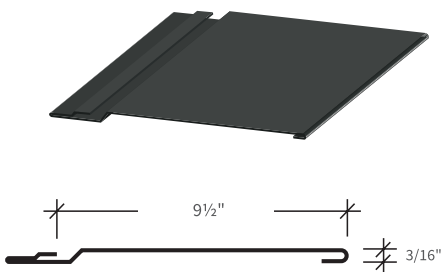


FLEXLOC®

Available in 9½-inch widths, the FlexLoc® panel is clipped down to a waterproofed solid substrate when used in roof applications.

Product Specifications

- **Applications:** Soffits and Curved Applications
- **Coverage Widths:** 9½"
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22 (optional)
- **Texture:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic



PROJECT: Taylor Power Systems **LOCATION:** Richland, MS **PANEL PROFILE:** NuRoof® Retrofit System **COLOR:** Everglade, Silver Metallic



RETROFIT SOLUTIONS

Whether your current roof is leaking, has problematic rainwater discharge, expensive maintenance costs, deficient energy efficiencies or all of these issues, MBCI's NuRoof® Retrofit System can help.

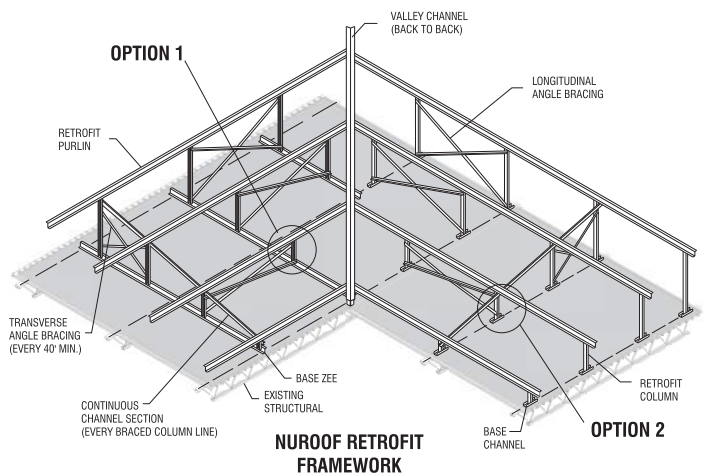
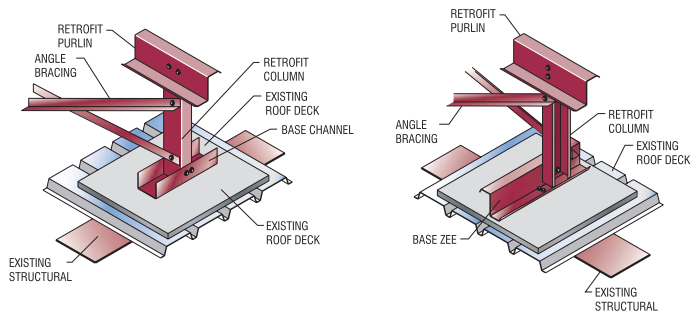


PROJECT: Dallas County Waste Water Treatment Facility **LOCATION:** Dallas, TX
PANEL PROFILE: BattenLok® HS with a NuRoof® Retrofit System **COLOR:** Champagne Metallic

The NuRoof® framing system utilizes light-gauge (16 ga. to 12 ga.) steel framing installed directly over the existing roof's framing members to create a sloped plane. Regardless of whether your roof substrate is steel, wood or concrete, MBCI's NuRoof® system can be employed to satisfy the building owner's requirements. MBCI has the experience required to design a retrofit framing system that will comply with the original load requirements of the existing roof. The NuRoof® framing system has been designed to allow for a UL 90 rating using certain spacing requirements as well as meeting a variety of live and wind load requirements.

The existing roof's physical footprint, framing system and other rooftop conditions will most likely determine the new roof's geometry. A low-sloped application is typically driven by economy and designed to discharge rainwater from the roof. High-slope applications are designed to improve and update the look of an existing building in conjunction with improving the performance of the roof.

Once a NuRoof® framing system has been installed, one of MBCI's standing seam metal roofs is typically installed, creating a ventilated attic space while providing an architecturally appealing roof.



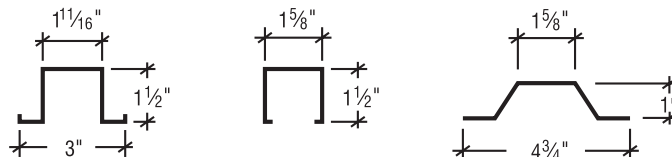
STRUCTURAL SYSTEMS



LITEFRAME®

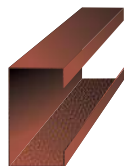
Flexibility is the key to establishing discriminating profiles for mansard and fascia applications. LiteFrame® gives the designer total control to create shapes that enhance a building's character. Virtually any combination of hat sections, channel sections and sub-girts can be made, allowing the designer to make a statement with stature and style.

This light-gauge structural framing was designed for preformed metal panels. MBCI precision roll forms LiteFrame® in 20-foot lengths, but custom lengths are available. Hat sections and channel sections are easily assembled to make strong structural-type framing members.



STANDARD AND CUSTOM STRUCTURAL SHAPES

MBCI manufactures a complete line of structural shapes roll-formed to dimensions common to the metal building industry. Additionally, custom shapes can also be formed to accommodate specific project requirements.



Cee Profile

Cee Sections:

- **Coverage Widths:** 2 1/2", 3", 3 1/2", 4" (varies based on depth)
- **Depth:** 4" - 12"
- **Gauges:** 12, 13, 14 and 16



Zee Profile

Zee Sections:

- **Coverage Widths:** 2 1/2", 3", 3 1/2"
- **Depth:** 3.5" - 12"
- **Gauges:** 12, 13, 14 and 16



SERVICE THAT MAKES A DIFFERENCE

MBCI was founded on its commitment to service. The additional effort from our staff sets MBCI apart from the competition. MBCI's Project Service team is staffed and prepared to provide professional assistance to the architectural and contracting communities. From the initial project concept, Project Services will assist in developing budget criteria and product selection as well as estimating and shop drawings.



**AIA
CONTINUING
EDUCATION**

MBCI's educated sales personnel are authorized to conduct AIA Continuing Education classes for the many courses we offer. Contact us by phone or through our website to schedule a meeting or lunch-and-learn today.

**CERTIFIED
INSTALLER
PROGRAM**

The MBCI Certified Installer courses cover every aspect of putting our sophisticated systems on your roof, from materials and handling, weathertightness and technical requirements to installation steps and specific detail conditions.

**SINGLE SOURCE™
WARRANTY**

When you specify one of MBCI's Single Source™ Warranties, you can have confidence that your project will be covered by the most comprehensive warranty available. MBCI will conduct timely inspections to guarantee that the approved details are being used and the roof is being properly installed. Any discrepancies found during these inspections that would prevent issuance of the warranty will be quickly brought to the architect's attention. Should a leak occur after the warranty has been issued, the owner can rely on MBCI to handle.



PROJECT: Axiom Apartments **LOCATION:** San Antonio, TX **PANEL PROFILE:** PBR **COLOR:** Galvalume Plus

GREEN BUILDING BENEFITS

MBCI's metal panels are energy efficient, recyclable, durable, lightweight and cost-effective. Our panels are comprised of 25 percent to 35 percent recycled materials and our single skin panels are virtually 100 percent recyclable.

Cool metal roofing provides energy savings, offering both economical and environmental benefits. As a proud ENERGY STAR® Partner, our cool roof colors have reflectivity performance that met ENERGY STAR criteria for roof pitches greater than 2:12.

Our insulated metal panels (IMPs) have high R-values, which provide superior thermal performance and reduced energy consumption, allowing for smaller greenhouse gas emissions and reduced energy costs for building owners. IMPs also mitigate thermal drift, which is common when using unfaced polyisocyanurate rigid board insulation.

IMPs qualify as continuous insulation (ci) where required by the International Energy Conservation Code® (IECC) and ASHRAE 90.1. This allows for insulation to be free from significant thermal bridging. And, because of their unique self-sealing side joints, IMPs also function as an important part of a Continuous Air Barrier (CAB) system.

TRIM & FLASHING

All trim and flashing is available in the same gauge and finish as our panel offerings. A complete selection of standard trim and made-to-specification flashing in lengths up to 20 feet, three inches is available upon request. All flashing is designed to minimize exposed fasteners.

TECHNICAL INFORMATION

MBCI conforms to industry-accepted metal and finish coating standards. Physical properties are available upon request. MBCI is committed to an aggressive, independent physical testing program to continually comply with guidelines on water penetration, uplift ratings and structural performance.

MATERIALS & COATINGS

The base metal is 22-, 24- or 26-gauge steel manufactured from either high-strength Galvalume® produced to ASTM A792/A792M-AZ50 or AZ55, Grade 50 or HDG produced to ASTM A653/A653M-G90 structural aluminum. Finishes include baked enamel, urethane and Plastisol. All materials are available smooth or stucco-embossed.

All metal architectural panels have wide, flat surfaces to meet the demands of today's design. While MBCI has recognized and responded to this requirement, we have a responsibility to advise that a wide and perfectly flat appearance is not always possible. In some wide products, panel distortion—called oil canning—may occur and require additional aesthetic tolerance and/or additional support behind the panel face. Heavier gauges, narrower widths, striations and embossing minimize oil canning.

PAINT FINISHES

MBCI offers one of the largest color selections in the industry. Each of our paint colors qualifies as a cool roof on sloped roofs above 2:12. Our applied finishes work as an excellent alternative to masonry or tilt-wall construction and are available on our insulated metal panels.

Signature® 300/Signature® 300 Metallic

This fluorocarbon paint system combines ceramic pigmentation with polyvinylidene fluoride (70 percent of resin solids) for a superior, long-lasting finish. Outstanding performance and durability are achieved through this proprietary resin technology. Signature® 300 is recognized as providing unsurpassed performance in critical areas such as color retention, film erosion rate and chemical resistance.

Signature® 200

Signature® 200 is a thermoset coating system composed of polyester resin modified by copolymerization with a functional silicone resin intermediate. With high quality ceramic pigmentation, Signature® 200 offers optimum exterior protection plus superior resistance to chemical corrosion and ultraviolet radiation. Signature® 200 represents the most sophisticated silicone polyester coating system in the industry.

PAINT WARRANTIES

Forty-year limited paint warranties are available upon written request and project qualification for all paint colors except Brite Red, which has a 25-year warranty. A 10-year warranty is available for applied finishes. (Outside the continental United States, please inquire.)





Descriptions and specifications contained herein were in effect at the time this publication was approved for printing. In a continuing effort to refine and improve products, MBCI reserves the right to discontinue products at any time or change specifications and/or designs without incurring obligation. To ensure you have the latest information available, please inquire or visit our website at www.mbc.com. Application details are for illustration purposes only and may not be appropriate for all environmental conditions, building designs or panel profiles. Projects should be designed to conform to applicable building codes, regulations and accepted industry practices. If there is a conflict between this manual and project erection drawings, the erection drawings will take precedence. Some of MBCI single skin product is manufactured by CENTRIA.

www.mbc.com | shop.mbc.com



Sarnafil® G 410 SELF-ADHERED MEMBRANE AND WALL FLASHING

Improve your installation productivity and eliminate solvents, VOCs and odors with the Sarnafil G 410 Self-Adhered thermoplastic roofing membrane and wall flashing.

These new self-adhered products provide all of the benefits of a Sarnafil adhered roofing system without the hassle and mess of liquid adhesives. Simply peel back the adhesive release liner and bond the sheet to an approved substrate.

The Sarnafil G 410 Self-Adhered products are the easier, faster way to install an adhered roofing system.

- No solvents, VOCs or odors
- Install in temperatures as low as 20°F
- Wall flashing can be used on any roof system
- No membrane adhesives to ship or store
- No cure time
- One-step process
- Reduces waste
- No hazmat transportation
- Reduces labor

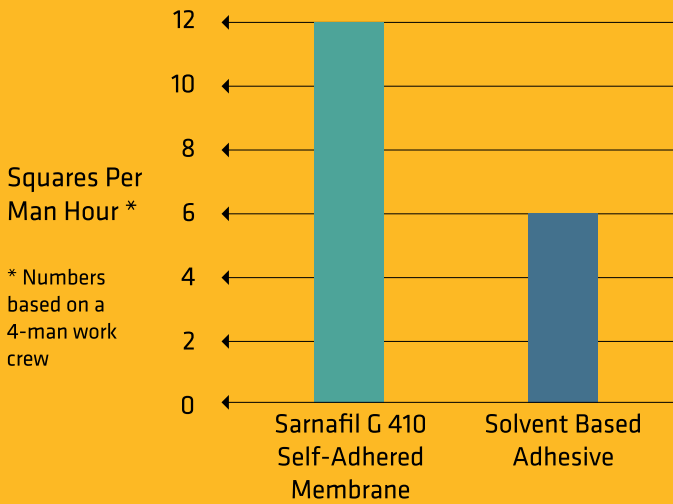


Sarnafil

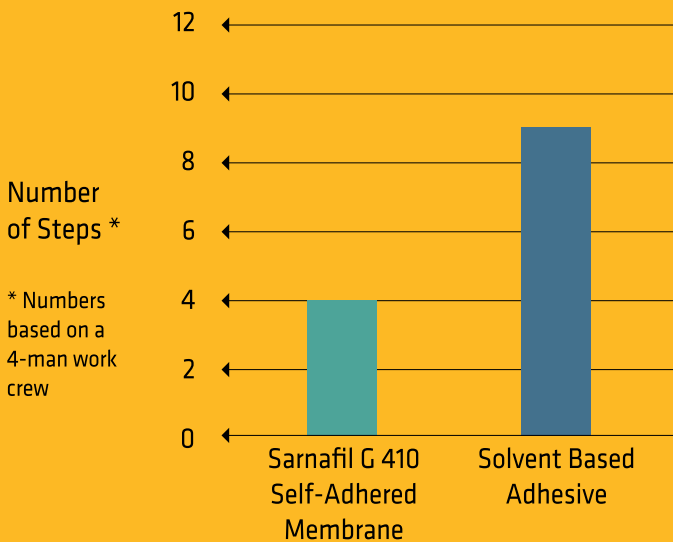
BUILDING TRUST



COVERAGE RATES



APPLICATION STEPS



COLD WEATHER PERFORMANCE

In many cases, installing an adhered system during cold parts of the year is extremely difficult due to low daily temperatures. Sika's Sarnafil G 410 SA membranes offer the ability to install an adhered system in temperatures as low as 20°F, allowing for a wider install window.

A VERSATILE OPTION

Sarnafil G 410 Self-Adhered products are ideal for any project, but especially for those buildings that are sensitive to adhesive odors and fumes:

- Schools and universities
- Healthcare facilities
- Office buildings
- Pharmaceutical facilities
- Retail facilities

AVOID VOC-RELATED ISSUES

It's no secret that VOCs from liquid adhesives can be an issue on certain types of jobs. By eliminating the use of membrane adhesives, you also eliminate VOCs and adhesive odors from entering the building.

In addition, the Sarnafil G 410 Self-Adhered products are the perfect solution for high-rise applications where torches and open flames are not allowed.

WALL FLASHING MADE SIMPLE

Boasting the same benefits as the Sarnafil G 410 SA membrane, Self-Adhered Wall Flashing allows for increased productivity and a time-saving installation. The Self-Adhered Wall Flashing does not require adhesive and may be installed with any adhered or mechanically attached Sika roof system.

DISCOVER A BETTER ALTERNATIVE

To learn more about Sarnafil G 410 Self-Adhered roofing products, contact your regional Sika representative or visit usa.sarnafil.sika.com.

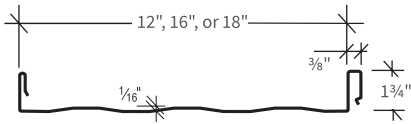


Vertical Leg Structural Standing Seam Metal Roof Systems

The vertical leg systems blend the aesthetics of an architectural panel with the strength of a structural panel. These panels have earned several UL uplift ratings, assuring reliability of performance, while also providing flexibility to meet design challenges.

Each of these SSR systems is designed to be installed over open framing. However, the MBCI LiteFrame®, 5/8" plywood or a composite roof assembly may be used as an alternate substructure.

LOKSEAM®

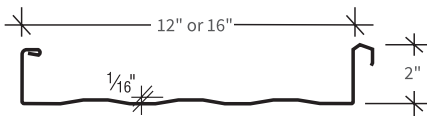
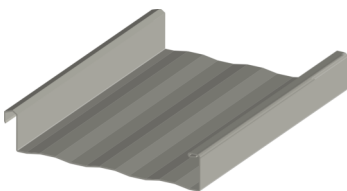


LokSeam® is a snap-together standing seam roof system with a 1 3/4" tall vertical rib for use on roofs with a minimum slope of 3:12. Available in 12-inch, 16-inch and 18-inch widths, LokSeam® panels can be installed over open framing or a solid substructure and are capable of transitioning from roof to fascia with the use of a rib cover. LokSeam® does not require a solid substructure for support.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 12", 16", 18"
- **Minimum Slope:** 3:12
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22 (12", 16", 18"), 26 (12" optional)
- **Texture:** Smooth Striated (standard); Embossed Striated (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

SUPERLOK®



SuperLok® is a mechanically field-seamed system that combines a 2" tall slim rib with exceptional uplift resistance. MBCI designed the SuperLok® system to withstand the most rigorous weather conditions. This panel can be installed directly over purlins or bar joists, and does not require a solid substructure for support.

In addition to the UL 90 rating, the SuperLok® system meets a variety of ratings as tested under FM Global Corporation Standard 4471.

Product Specifications

- **Application:** Roof
- **Coverage Widths:** 12", 16"
- **Minimum Slope:** 1/2:12
- **Panel Attachment:** Concealed Fastening System, Low, High (reference product catalog)
- **Gauges:** 24 (standard); 22, 26 (optional)
- **Texture:** Smooth Striated (standard); Embossed Striated (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic



PROJECT (above): Audubon National Wildlife Refuge **LOCATION:** Coal Harbor, ND **PANEL PROFILE:** BattenLok® HS **COLOR:** Classic Green





















